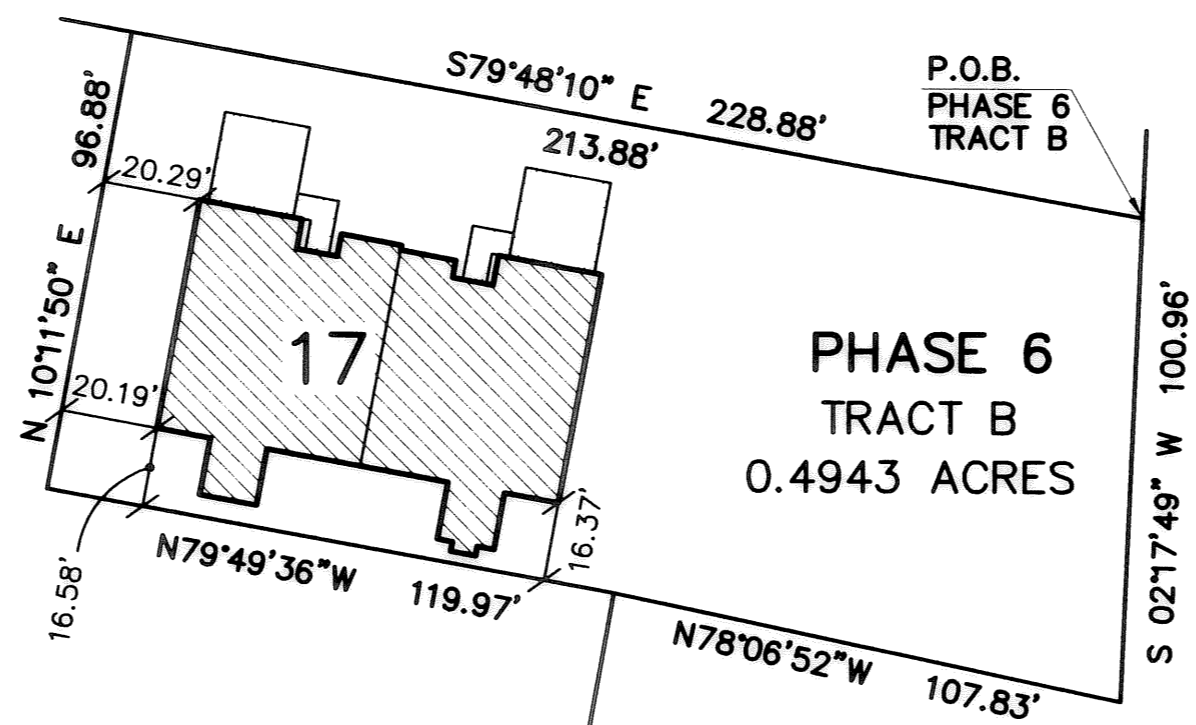
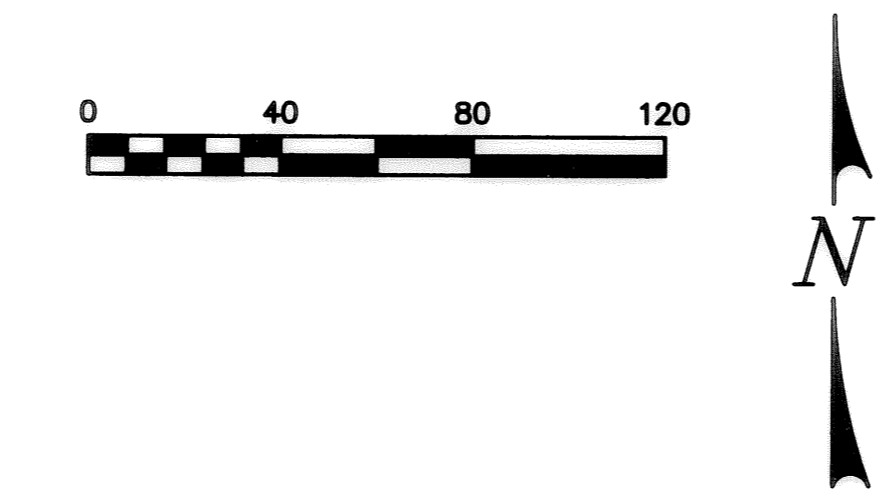
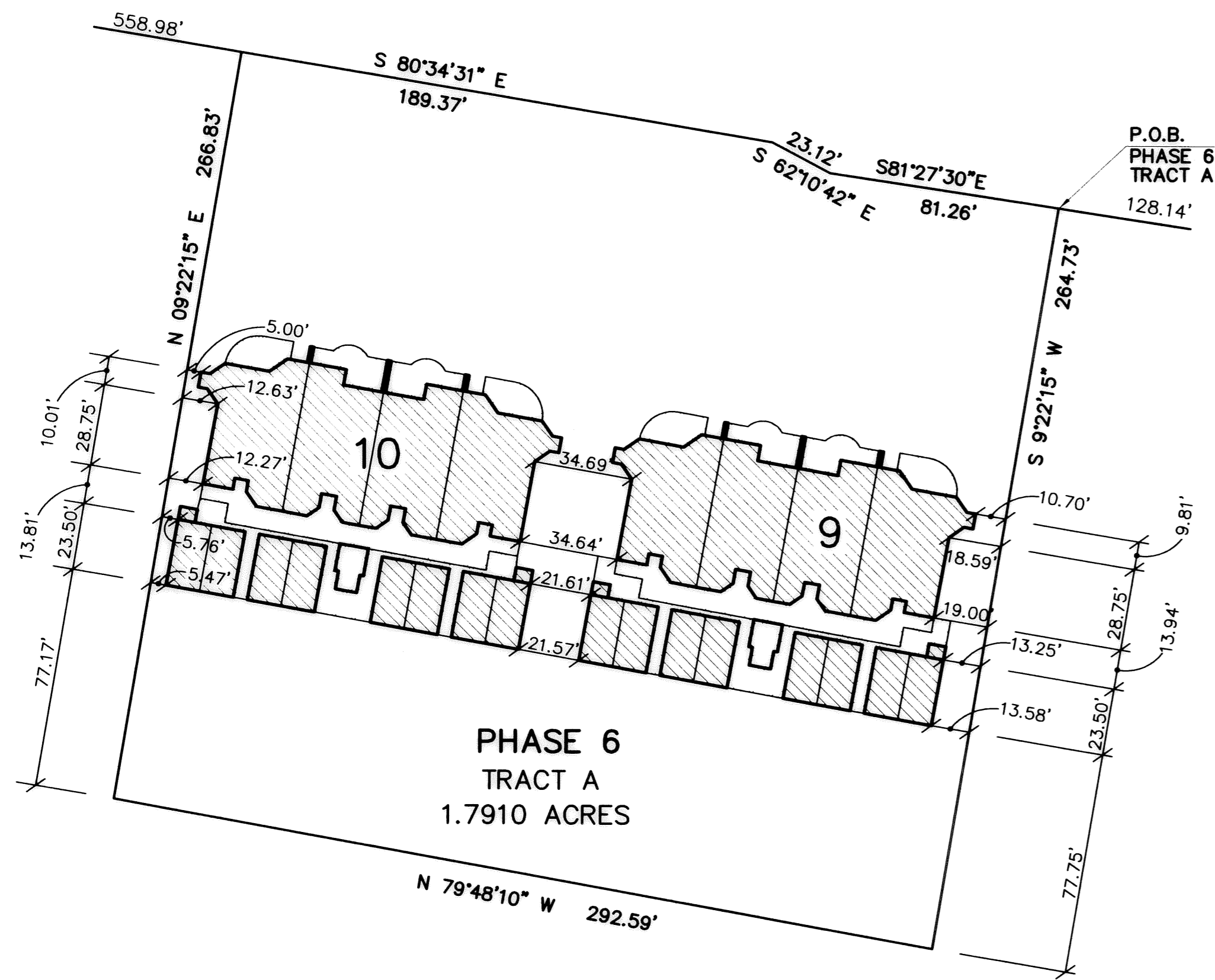




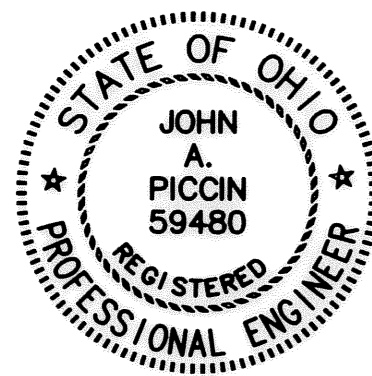
VERMILION SHORES CONDOMINIUMS - PHASE 6  
 CITY OF VERMILION, COUNTY OF LORAIN, STATE OF OHIO  
 PART OF ORIGINAL BROWHELM TOWNSHIP LOTS 4 & 5  
 EXHIBIT "B" - CONTINUED



- LEGEND:**
- BUILDING UNIT
  - LIMITED COMMON AREA
  - COMMON AREA

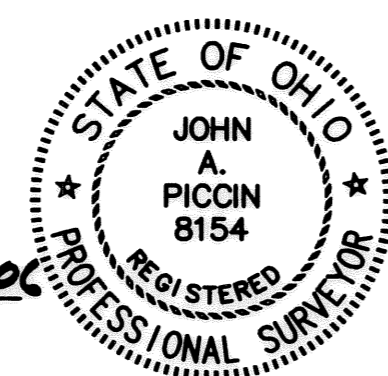
**CERTIFICATION**

THIS IS TO CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENTS THE BUILDING(S) CURRENTLY UNDER CONSTRUCTION AND THAT THERE ARE NO ENCROACHMENTS ON ADJACENT PROPERTIES.



*John A. Piccin*  
 REGISTERED ENGINEER No. 59480  
 REGISTERED SURVEYOR No. 8154

5-02-2006  
 DATE

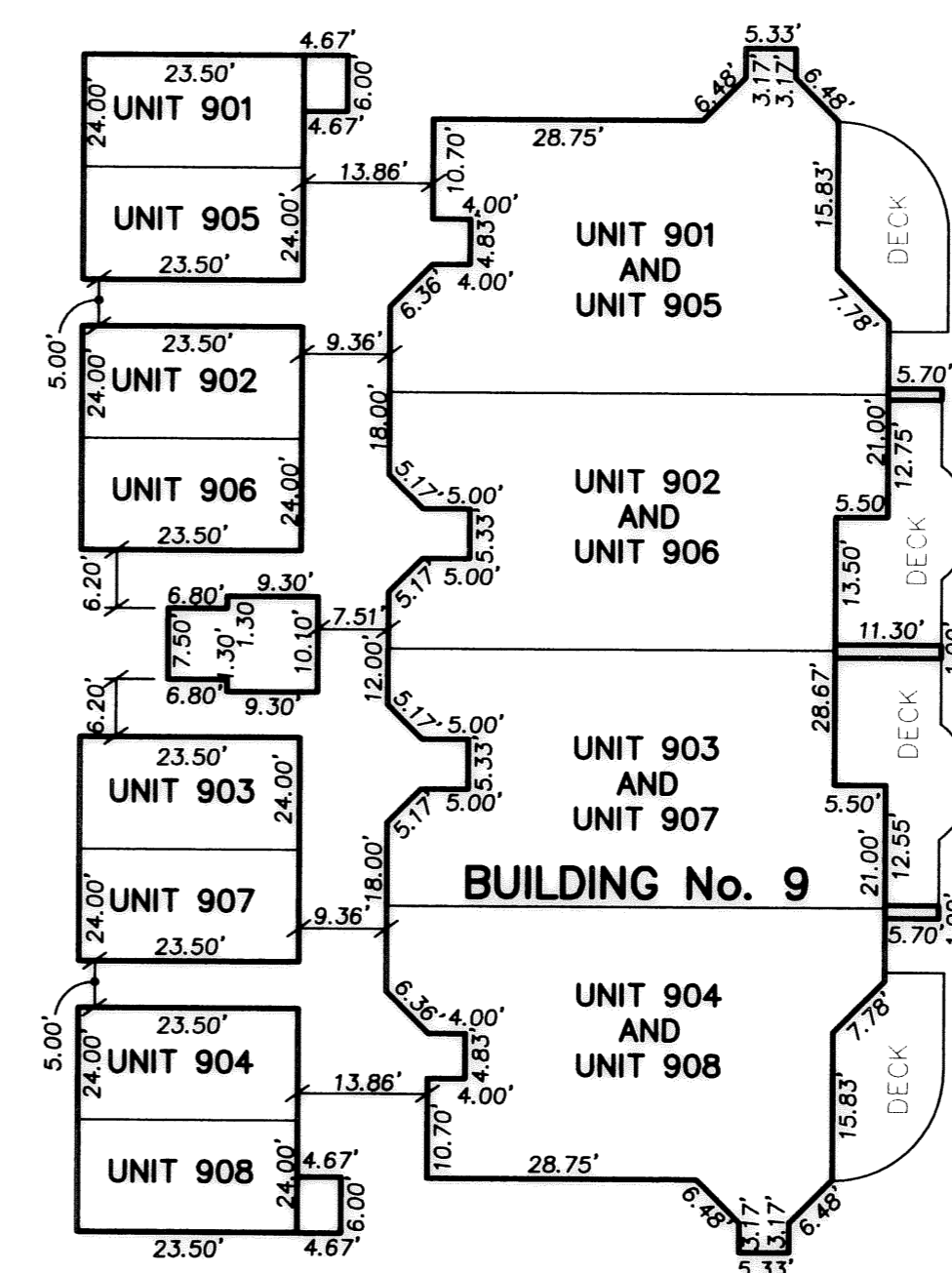
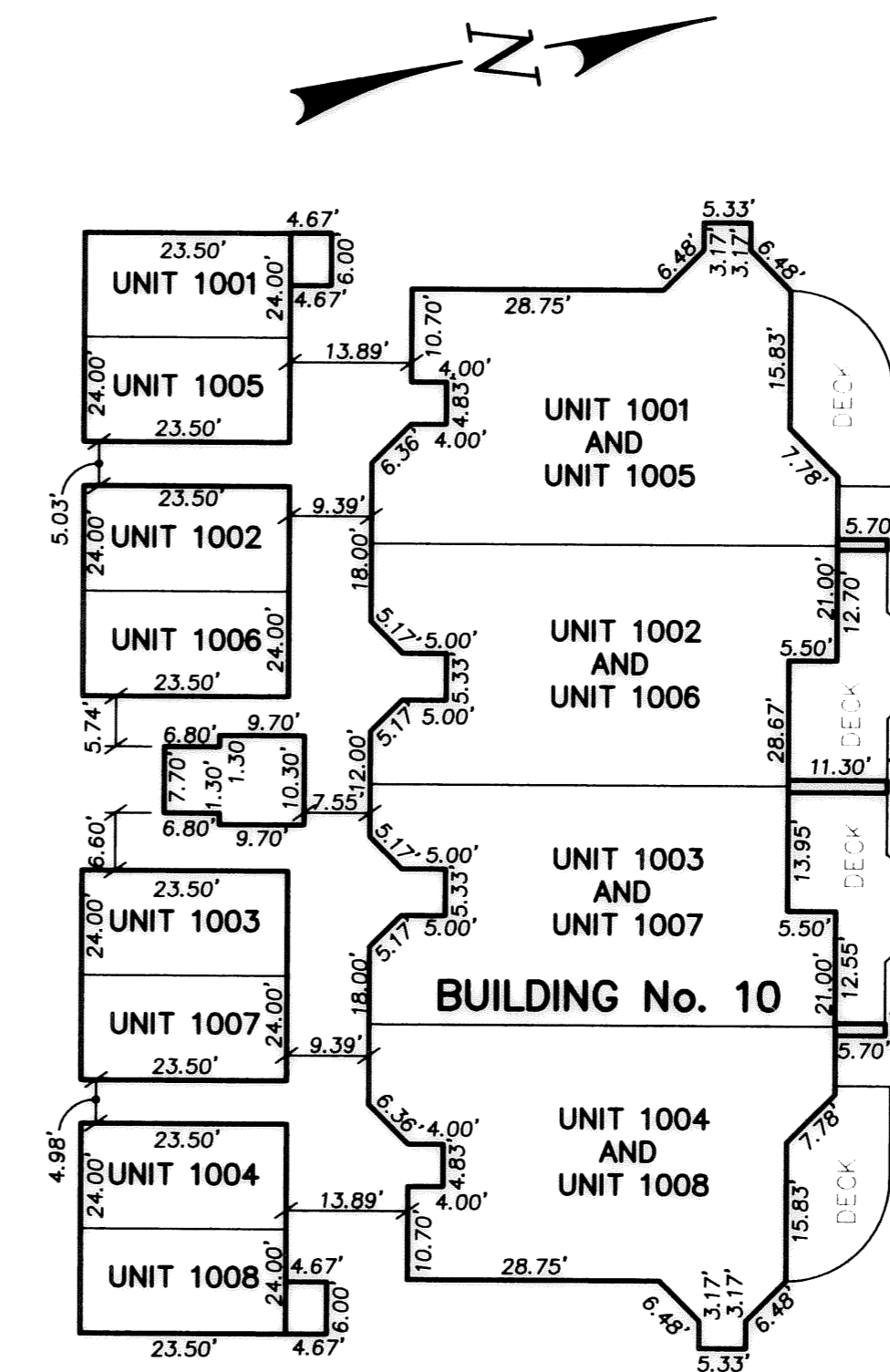


**NOTES:**

COMMON AREAS AND LIMITED COMMON AREAS ARE AS DEFINED IN EXHIBIT "B" OF THE DECLARATION.

ALL BUILDINGS ARE CURRENTLY UNDER CONSTRUCTION.

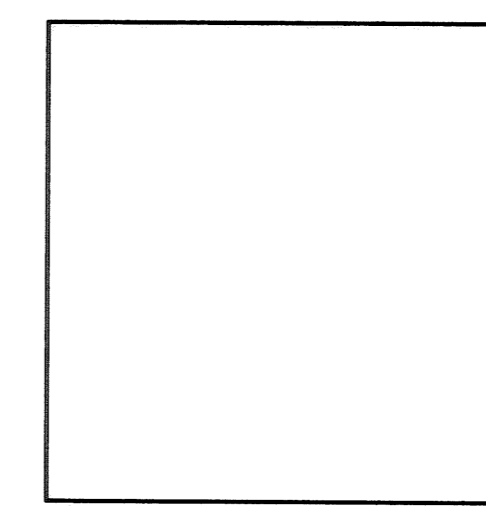
DIMENSIONS ARE SHOWN FROM THE BUILDING PERPENDICULAR TO THE BOUNDARY LINE.



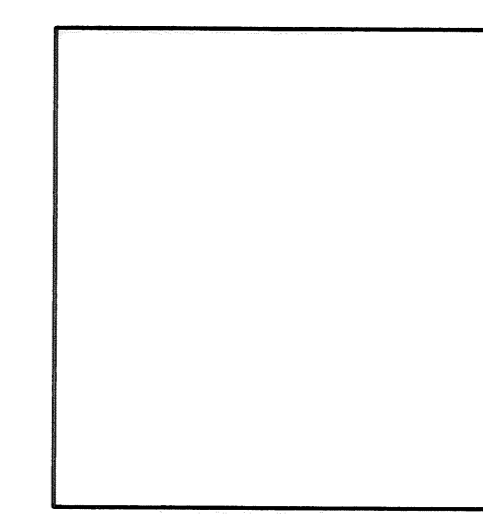
**BUILDING DETAILS**



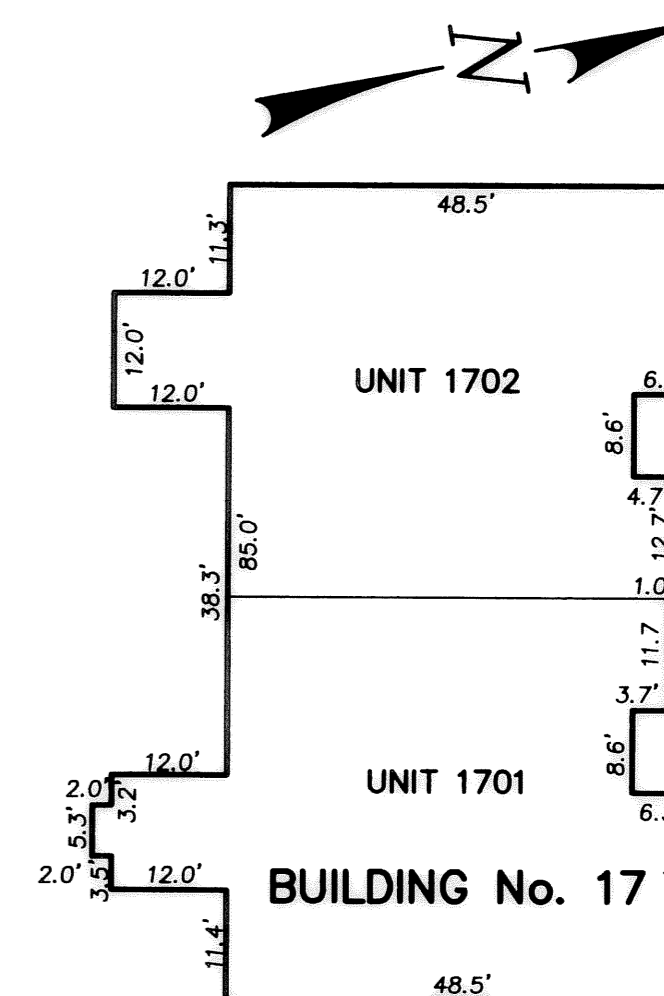
**NOTE:**  
 ALL BUILDING ANGLES ARE 90° OR 45°, UNLESS NOTED OTHERWISE



LORAIN COUNTY AUDITOR



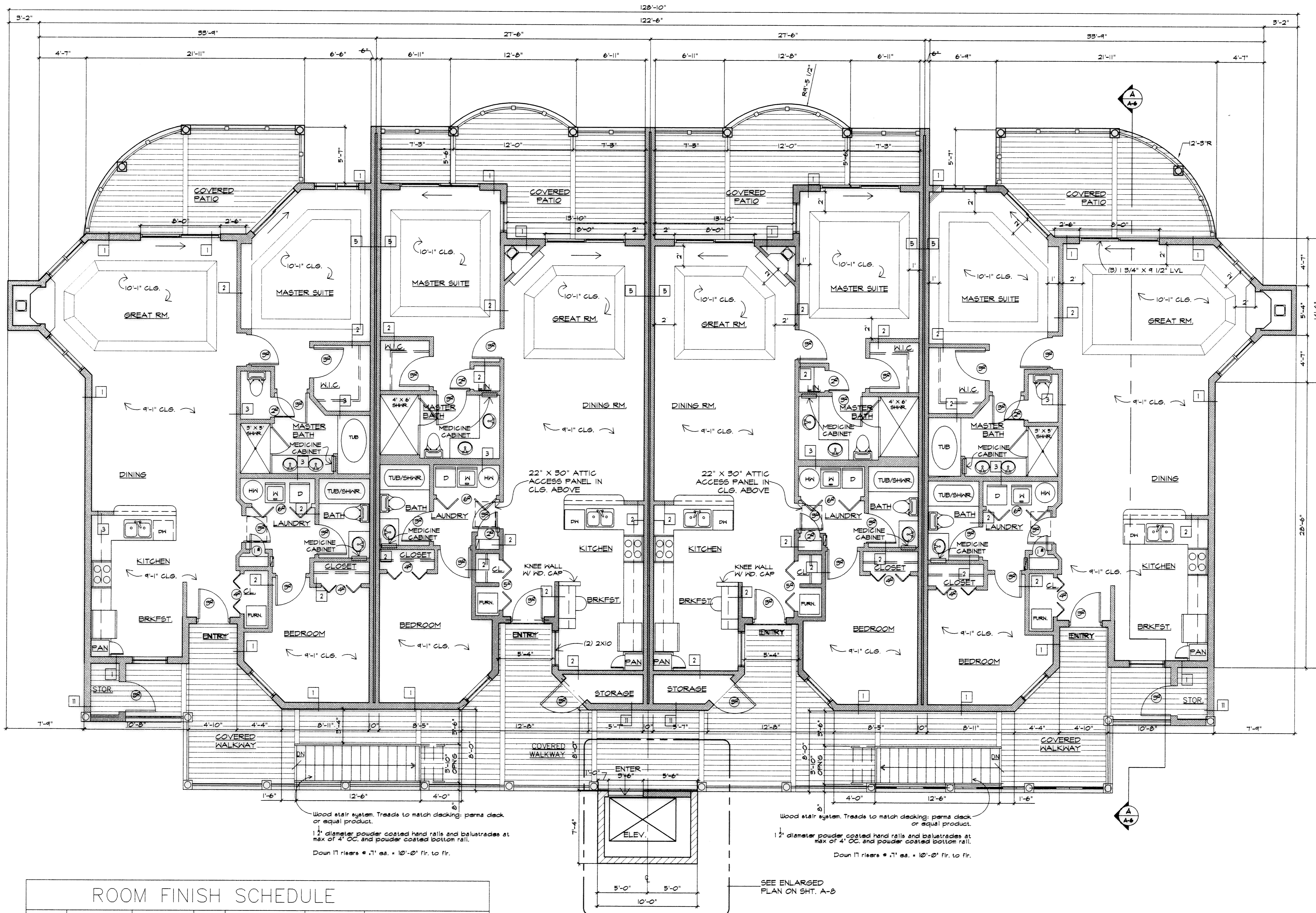
LORAIN COUNTY RECORDER



DEVELOPER: GILTZ & ASSOCIATES INC. 4835 MUNSON ST. N.W. CANTON, OHIO 44718 (330) 494-6688	
VERMILION SHORES PHASE 6 CITY OF VERMILION LORAIN COUNTY, OHIO	
CHENEY AND PICCIN ENGINEERING, INC. 86 EAST CHEROKEE DRIVE POWELL, OHIO 43065 (614) 798-8000	
DATE MAY 2, 2006	PROJECT MANAGER JP
DRAWN BY JP	CHECKED BY EPC
REVISION DESCRIPTION	
DATE	INITIAL
SHEET TITLE S2	
SHEET 2 OF 14	







- WALL TYPES:**
- 2 X 6 WOOD STUDS @ 16" O.C. W/ R21 FIBERGLASS INSULATION, 1/2" GYP. BD. @ INT. 7/16" O.S.B. BOARD W/ JUMBO TEX WRAP @ EXTERIOR. EXTERIOR FINISH AS NOTED. SEE WALL SECTIONS AND EXTERIOR ELEVATIONS.
  - 2X4 WOOD STUDS AT 16" O.C. W/ 1 LAYER 1/2" GYP. BD. EA. SIDE. WET AREAS TO HAVE MR BOARD.
  - PLUMBING WALL: 2X6 WOOD STUDS AT 16" O.C. W/ 1 LAYER 1/2" MOISTURE RETARDANT GYP. BD. @ WET SIDE OF WALL. 1 LAYER 1/2" GYP. BD. @ OTHER SIDE.
  - CMU WITH SUBSTRATE AND EXTERIOR FINISH. SEE BUILDING SECTION AND EXT. ELEVATION.
  - UL Design No. U251. Two layers 5/8" class X gypsum board; applied vertically. Inner layer attached to studs with 6d nails spaced @ 6 in. O.C. Outer layer attached to studs over inner layer with 6d nails spaced @ 8 in. O.C. All joints in inner layers staggered with the joints in outer layers and from joints on opposite side. Extend full height to roof deck. Seal with fire resistant sealant. Insulation - Sound batte Min. 1" thick, min 25 pcf unfaced mineral fiber insulation, pressure fit in the wall cavity between studs and plates. Bearing Plates: Nom. 2X10's.
  - 2x4 WOOD STUDS WITH 1/2" GYP BD EACH SIDE TO 3'-6" ABOVE FLOOR.
  - 2x4 WOOD STUDS WITH 7/16" O.S.B. BOARD AND EXTERIOR FINISH BO. SIDES. SEE EXTELEV.
  - 2x4 WOOD STUDS WITH 7/16" O.S.B. BOARD AND EXTERIOR FINISH. 1/2" DRYWALL @ INTERIOR. SEE EXT. ELEV.
  - 2x4 WOOD STUDS WITH 7/16" O.S.B. BOARD AND EXTERIOR FINISH TO MATCH GARAGE. SEE EXT. ELEV. FULL BATT INSULATION IN WALLS AND ROOF.
  - ADD 1/2" MR BOARD TO TENANT SEPARATION WALL.
  - 2x4 WOOD STUDS WITH 7/16" O.S.B. BOARD ON INSIDE AND 7/16" O.S.B. WITH EXTERIOR FINISH. SEE EXTERIOR ELEVATIONS.

**NOTE:**

- All floors are to have sound insulation: a 1/2" layer of Homocote. (1/2" backscote under ceramic floors, typ.
- Laundry bi-fold doors to be 6'-0"

ROOM FINISH SCHEDULE						
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
	KITCHEN		CERAMIC TILE	V.B.	WALL COVERING	PT.
	DINING		CARPET	WOOD	PT.	PT.
	GREAT RM.		CARPET	WOOD	PT.	PT.
	MASTER SUITE		CARPET	WOOD	WALL COVERING/C.T.	PT.
	MASTER BATH		CERAMIC TILE	C.T.	PT.	PT.
	LAUNDRY		CERAMIC TILE	V.B.	PT.	PT.
	LAV.		CERAMIC TILE	C.T.	WALL COVERING/C.T.	PT.
	BEDROOM		CARPET	WOOD	PT.	PT.
	BASEMENT		UNFINISHED	UNFINISHED	UNFINISHED	UNFINISHED

**BUILDING NUMBER 9  
UNITS 905 THRU 908**

I CERTIFY THAT WITH THE EXCEPTION OF MINOR ARCHITECTURAL MODIFICATIONS MADE DURING CONSTRUCTION, THE DRAWINGS REPRESENT THE STRUCTURES AS BUILT.

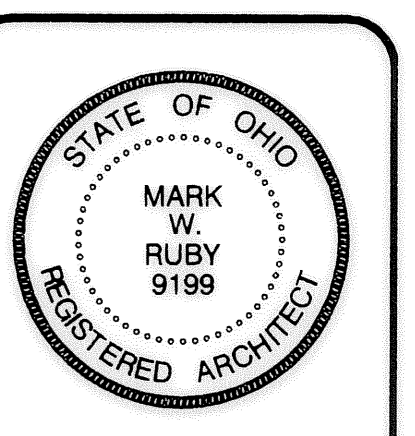
Mark W. Ruby, Architect

**SECOND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

REVISIONS	BY

**MARK W. RUBY**  
ARCHITECT  
1110 COOPER FOSTER PARK ROAD  
AMHERST, OH. 44001  
(440) 986-2091

TITLE  
**VERMILION SHORES CONDOMINIUMS**  
BUILDING #9  
WHISPERING SHORES DR.  
VERMILION, OHIO



DATE 5/2/06  
PROJ. 0433  
SHEET

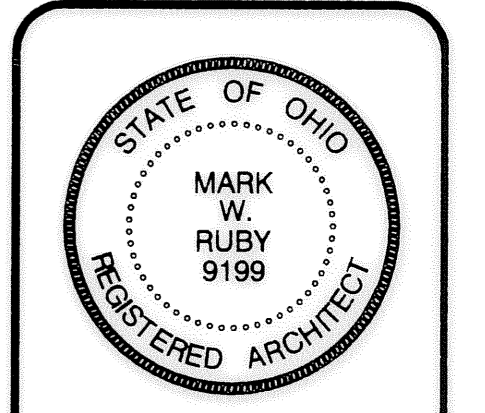
**5 OF 14**

INSTALL 1/2" BACKER BOARD UNDER ALL CERAMIC FLOORS AND  
INSTALL 1/2" HOMOCOTE UNDER ALL OTHER FLOORS

REVISIONS	BY

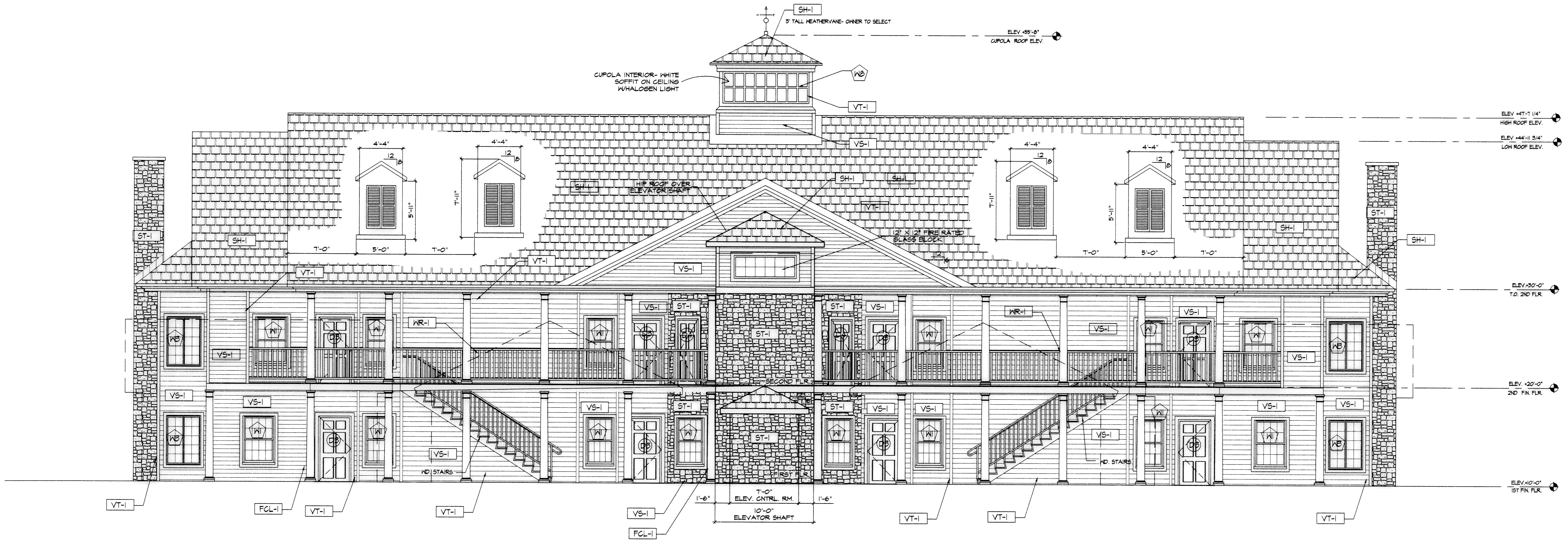
MARK W. RUBY  
ARCHITECT  
1110 COOPER FOSTER PARK ROAD  
AMHERST, OH 44001  
(440) 986-2091

BUILDING #9  
VERMILION SHORES CONDOMINIUMS  
WHISPERING SHORES DR.  
VERMILION, OHIO



DATE 5/2/06  
PROJ. 0433  
SHEET

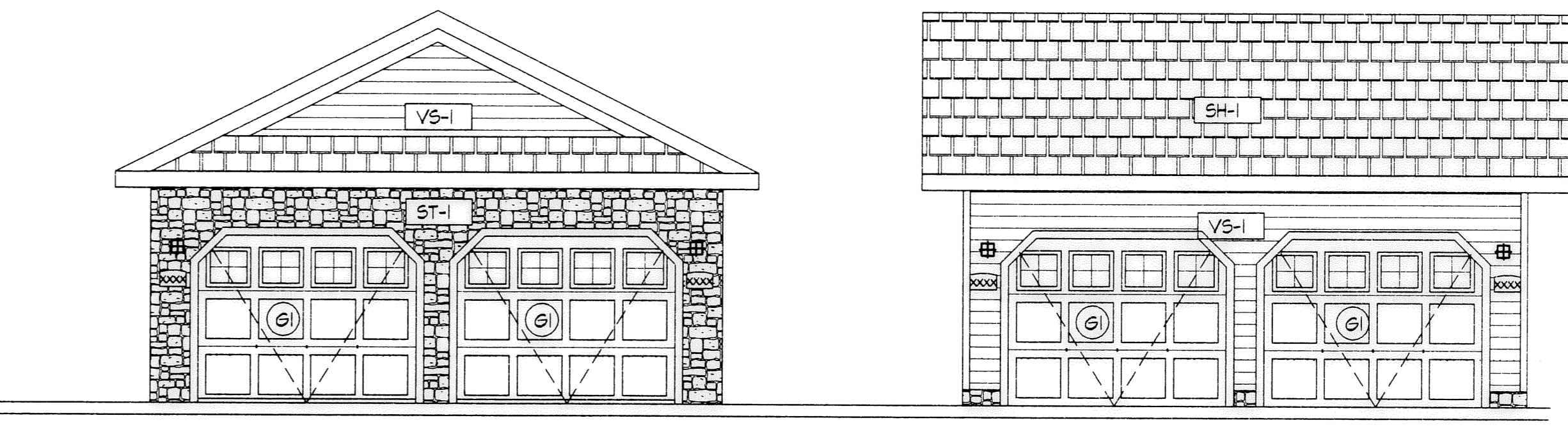
6 OF 14



**SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"

EXTERIOR FINISH MATERIAL SCHEDULE					
CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
SH-I	SHINGLES	CERTAINTED	INDEPENDENCE SHINGLE	DRIFTWOOD	Alt. colonial style, georgian style, weathered wood, final selection by owner
ST-I	CULTURED STONE	OKENS CORNING	CULTURED STONE	COBBLEFIELD-OHIO CSV-2008	Final selection by owner
VS-I	VINYL SIDING	CERTAINTED - CEDAR IMPRESSIONS	RANDOM HAND SPLIT SHAKES	DESERT TAN	Alt. Prairie Sand, Approve by owner
NR-I	POWDER COATED ALUMINUM RAILING	TO BE DETERMINED	TO BE DETERMINED	WHITE	3'-0" high, must support a force of 200 lbs. in any plane and in any direction
CL-I	8" AL. BOX WRAP OVER 6X6 TRTD. HD. POST		PERMACAST FIBERGLASS COL	WHITE	
VT-I	VINYL TRIM	CERTAINTED	3 1/2" Beaded Super Corners	Sandstone beige	Alt. colonial white, final selection by owner
D-I	PLASTIC LUMBER DECK		5/4"		Final selection by owner
G-I	ALUMINUM GUTTERS			match adjacent finish colors	
DS-I	ALUMINUM DOWNSPOUT			match adjacent finish colors	

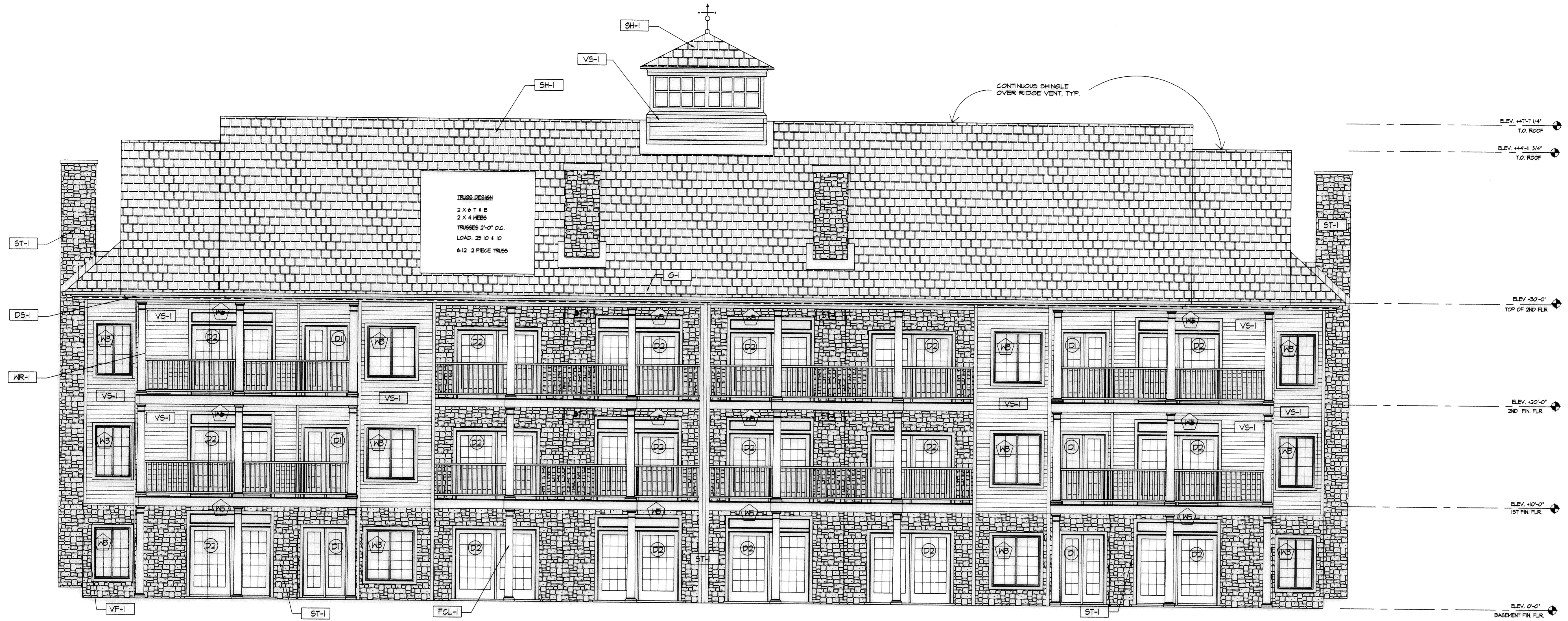
DOOR AND WINDOW SCHEDULE					
CODE	ROUGH OPENING	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
W1	3'-4" x 5'-0"	ANDERSEN	244DH3450	white	Double hung w/ trim kit/mittens
W2	2'-0" x 4'-0"	ANDERSEN	244DH3040	white	Double hung w/ trim kit /mittens
WB	4'-4" x 5'-0 1/2"	ANDERSEN	CN2BLR	white	Casement w/ trim kit /mittens
WH	3'-0 1/2" x 5'-0 1/2"	ANDERSEN	FB080	white	FIXED w/ trim kit /mittens
WT	1' x	ANDERSEN	CUSTOM TRANSOM	white	
NR	NOMINAL	ANDERSEN	CUSTOM ROUND	white	
WT	NOMINAL	ANDERSEN	CUSTOM	white	
WB	NOMINAL	ANDERSEN	CUSTOM	white	
D1	6'-0" x 6'-11"	ANDERSEN	FN680611 L/R	white	Frenchwood gliding patio doors /mittens
D2	6'-0" x 6'-11"	ANDERSEN	FN680611 SASL/SASR	white	Frenchwood gliding patio doors /mittens
DS	3'-0" x 6'-8"	Therma-Tru	210	white	Embossed Steel Door
D4	3'-0" x 6'-8"	Therma-Tru	210	white	Embossed Steel Door
G1	4'-0" x 7'-0"	wayne-dalton	Insulated steel	white	Embossed Steel Door



**GARAGE ELEVATIONS**  
SCALE: 3/16" = 1'-0"

I CERTIFY THAT WITH THE EXCEPTION OF MINOR ARCHITECTURAL MODIFICATIONS MADE DURING CONSTRUCTION, THE DRAWINGS REPRESENT THE STRUCTURES AS BUILT.

Mark W. Ruby, Architect #1199

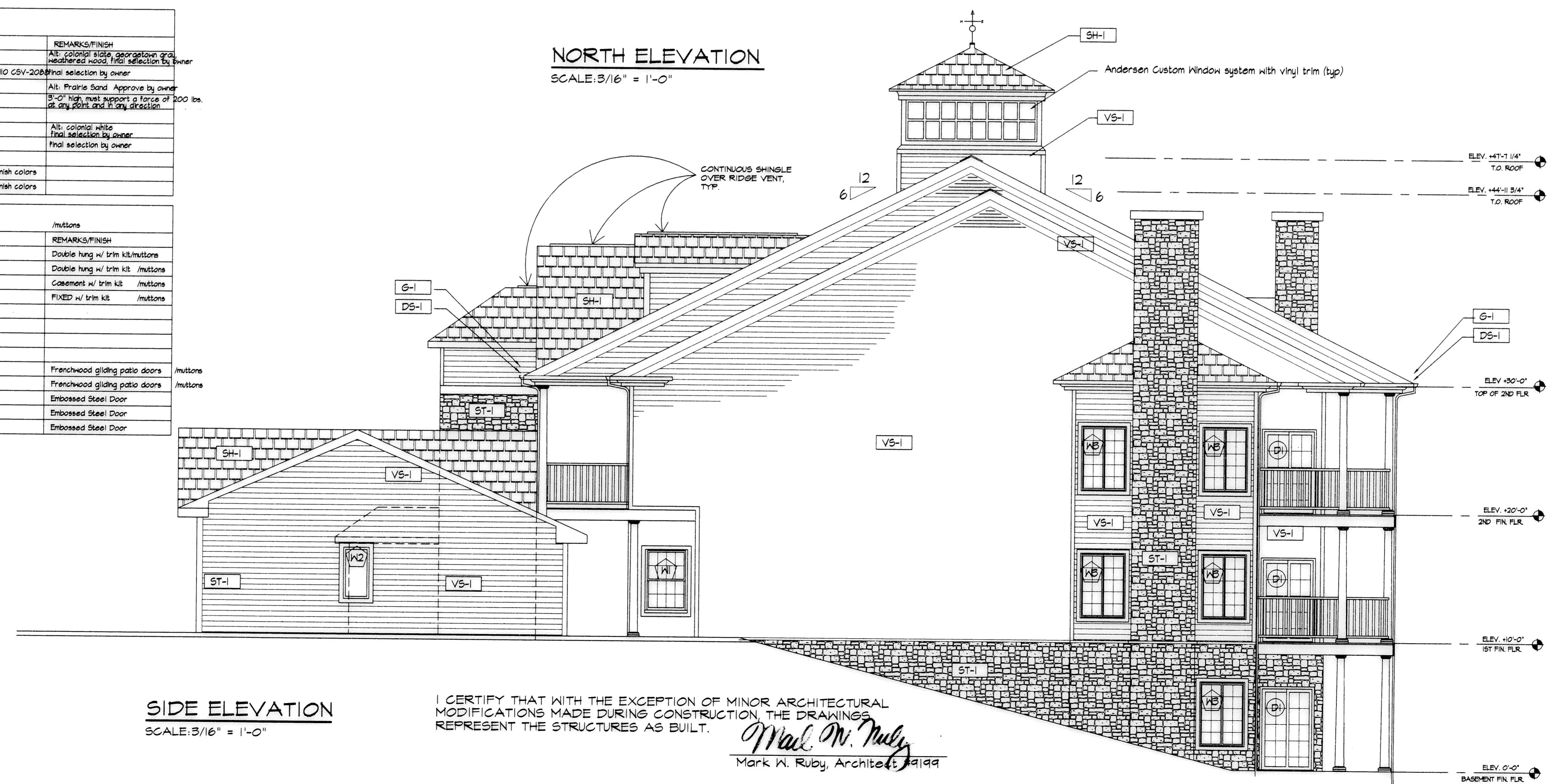


TRUSS DESIGN  
 2 X 6 T & B  
 2 X 4 PEBB  
 TRUSSES 2'-0" O.C.  
 LOAD: 25 10 & 10  
 6/12 2 PIECE TRUSS

EXTERIOR FINISH MATERIAL SCHEDULE					
CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
SH-1	SHINGLES	CERTAINTEED	INDEPENDENCE SHINGLE	DRIFTHOOD	All: colonial slate, argentine gr. weathered wood, final selection by owner
ST-1	CULTURED STONE	OPEN'S CORNING	CULTURED STONE	COBBLEFIELD-OHIO CSV-208	final selection by owner
VS-1	VINYL SIDING	CERTAINTEED - CEDAR IMPRESSIONS	RANDOM HAND SPLIT SHAKES	DESERT TAN	All: Prairie Sand Approve by owner
VR-1	POUNDER COATED ALUMINUM RAILING	TO BE DETERMINED	TO BE DETERMINED	WHITE	5'-0" high must support a force of 200 lbs. in any point and in any direction
CL-1	8" AL. BOX WRAP OVER 6X6 TRTD. POLE	PERMACAST	FIBERGLASS COLUMN	WHITE	
VF-1	VINYL TRIM	CERTAINTEED	3 1/2" Beaded Super Corner	Sandstone beige	All: colonial white, final selection by owner, final selection by owner
D-1	PLASTIC LUMBER DECK		5/4"		
G-1	ALUMINUM GUTTERS				match adjacent finish colors
DS-1	ALUMINUM DOWNSPOUT				match adjacent finish colors

DOOR AND WINDOW SCHEDULE					
CODE	ROUGH OPENING	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
W1	3'-4" x 5'-0"	ANDERSEN	244CHB480	white	Double hung w/ trim kit /muttons
W2	2'-0" x 4'-0"	ANDERSEN	244CHB040	white	Double hung w/ trim kit /muttons
W3	4'-4" x 5'-0 1/2"	ANDERSEN	GH2SLR	white	Casement w/ trim kit /muttons
W4	3'-0 1/2" x 5'-0 1/2"	ANDERSEN	PR050	white	FIXED w/ trim kit /muttons
W5	1' x	ANDERSEN	CUSTOM TRANSOM	white	
W6	NOMINAL	ANDERSEN	CUSTOM ROUND	white	
W7	NOMINAL	ANDERSEN	CUSTOM	white	
W8	NOMINAL	ANDERSEN	CUSTOM	white	
D1	6'-0" x 6'-11"	ANDERSEN	FIN60611 L/R	white	Frenchwood gliding patio doors /muttons
D2	8'-0" x 6'-11"	ANDERSEN	FIN60611 BASL/SASR	white	Frenchwood gliding patio doors /muttons
D3	3'-0" x 6'-8"	Therma-Tru	210	white	Embossed Steel Door
D4	3'-0" x 6'-8"	Therma-Tru	210	white	Embossed Steel Door
D5	4'-0" x 7'-0"	hays-dalton	insulated steel	white	Embossed Steel Door

**NORTH ELEVATION**  
 SCALE: 3/16" = 1'-0"



**SIDE ELEVATION**  
 SCALE: 3/16" = 1'-0"

I CERTIFY THAT WITH THE EXCEPTION OF MINOR ARCHITECTURAL MODIFICATIONS MADE DURING CONSTRUCTION, THE DRAWINGS REPRESENT THE STRUCTURES AS BUILT.  
*Mark W. Ruby*  
 Mark W. Ruby, Architect #1999

REVISIONS	BY

**MARK W. RUBY**  
 ARCHITECT  
 1110 COOPER FOSTER PARK ROAD  
 AMHERST, OH 44001  
 (440) 986-2091

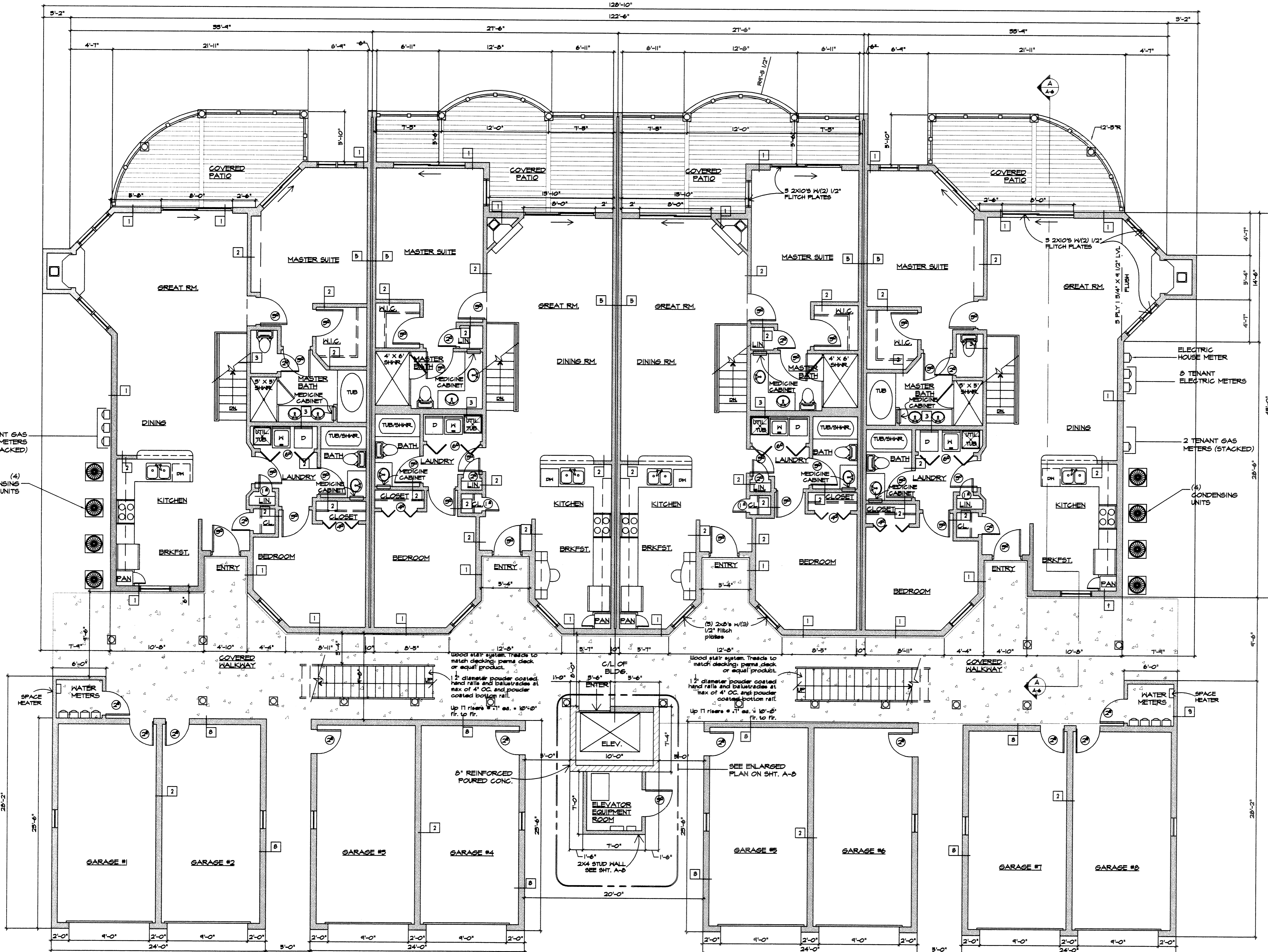
TITLE  
**VERMILION SHORES CONDOMINIUMS**  
 BUILDING #9  
 WHISPERING SHORES DR.  
 VERMILION, OHIO



DATE: 5/2/06  
 PROJ.: 0433  
 SHEET:







WALL TYPES:

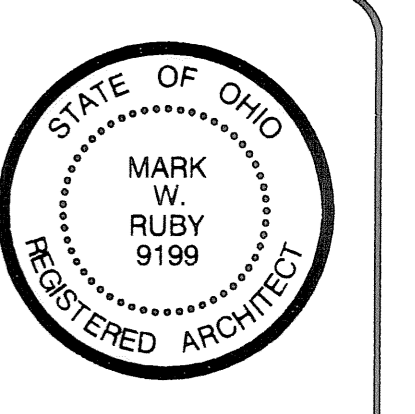
- 1 2 X 6 WOOD STUDS @ 16" O.C. W/ R21 FIBERGLASS INSULATION. 1/2" GYP. BD. @ INT. 1/16" O.S.B. BOARD W/ JUMBO TEX WRAP @ EXTERIOR. EXTERIOR FINISH AS NOTED. SEE WALL SECTIONS AND EXTERIOR ELEVATIONS.
- 2 2X4 WOOD STUDS AT 16" O.C. W/ 1 LAYER 1/2" GYP. BD. EA. SIDE - WET AREAS TO HAVE MR BOARD.
- 3 PLUMBING WALL: 2X6 WOOD STUDS AT 16" O.C. W/ 1 LAYER 1/2" MOISTURE RETARDANT GYP. BD. @ WET SIDE OF WALL. 1 LAYER 1/2" GYP. BD. @ OTHER SIDE.
- 4 CMU WITH SUBSTRATE AND EXTERIOR FINISH. SEE BUILDING SECTION AND EXT. ELEVATION.
- 5 W/ Design No. U2B). Two layers 5/8" class X gypsum board; applied vertically. Inner layer attached to studs with 6d nails spaced 6 in. OC. Outer layer attached to studs over inner layer with 8d nails spaced 8 in. OC. All joints in inner layer staggered with the joints in outer layer and from joints on opposite side. Extend full height to roof deck. Seal with fire resistant sealant. Insulation - Sound batts 1 1/2" in thick, min 2.5 pcf unfaced mineral fiber insulation, pressure fit in the wall cavity between studs and plates. Bearing Plates: Nom. 2x12's.
- 6 2x4 WOOD STUDS WITH 1/2" GYP BD EACH SIDE TO 3'-6" ABOVE FLOOR.
- 7 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH BO. SIDES. SEE EXTELEV.
- 8 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH. 1/2" DRYWALL @ INTERIOR. SEE EXT. ELEV.
- 9 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH TO MATCH GARAGE. SEE EXT. ELEV. FULL BATT INSULATION IN WALLS AND ROOF.
- 10 ADD 1/2" MR BOARD TO TENANT SEPARATION WALL.

NOTE:

- 1. All floors are to have sound insulation: a 1/2" layer of Homosote (1/2" backboard under ceramic floor type.)
- 2. Laundry bi-fold doors to be 6'-0"

**MARK W. RUBY**  
ARCHITECT  
1110 COOPER FOSTER PARK ROAD  
AMHERST, OH 44001  
(440) 986-2091

TITLE  
**VERMILION SHORES CONDOMINIUMS**  
BUILDING #10  
WHISPERING SHORES DR.  
VERMILION, OHIO



DATE 5/2/06  
PROJ. 0434  
SHEET

BUILDING NUMBER 10  
UNITS 1001 THRU 1004

I CERTIFY THAT WITH THE EXCEPTION OF MINOR ARCHITECTURAL MODIFICATIONS MADE DURING CONSTRUCTION, THE DRAWINGS REPRESENT THE STRUCTURES AS BUILT.

Mark W. Ruby, Architect #1119

FIRST FLOOR PLAN  
SCALE: 3/16" = 1'-0"

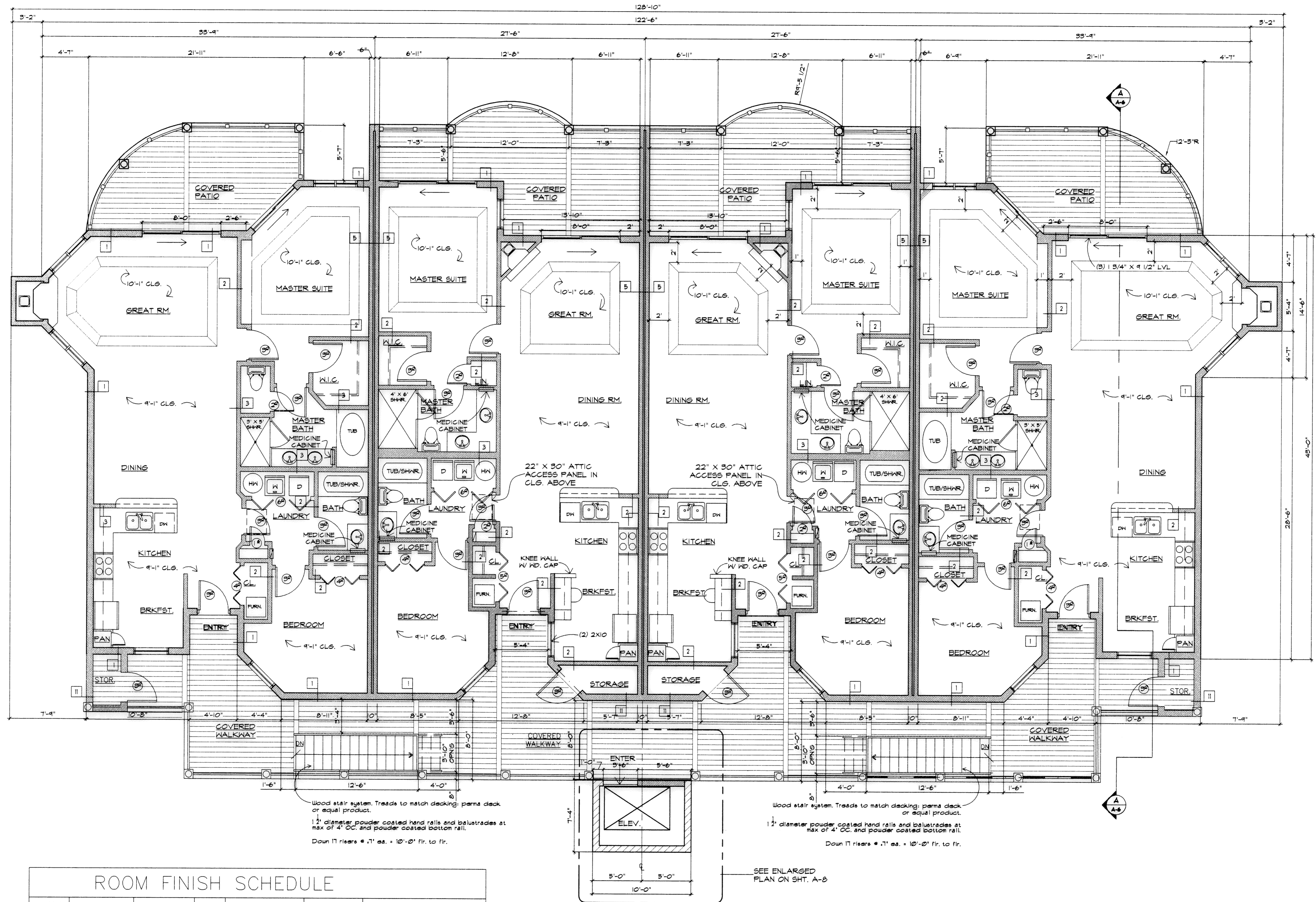
REVISIONS	BY

**MARK W. RUBY**  
ARCHITECT  
1110 COOPER FOSTER PARK ROAD  
AMHERST, OH 44001  
(440) 986-2091

TITLE  
BUILDING # 10  
**VERMILION SHORES CONDOMINIUMS**  
WHISPERING SHORES DR.  
VERMILION, OHIO

STATE OF OHIO  
REGISTERED ARCHITECT  
MARK W. RUBY  
9199

DATE 5/2/06  
PROJ. 0434  
SHEET  
**10 OF 14**



- WALL TYPES:**
- 2 X 6 WOOD STUDS @ 16" O.C. W/ R21 FIBERGLASS INSULATION, 1/2" GYP. BD. @ INT. 1/16" O.S.B. BOARD W/ JUMBO TEX WRAP @ EXTERIOR. EXTERIOR FINISH AS NOTED. SEE WALL SECTIONS AND EXTERIOR ELEVATIONS.
  - 2X4 WOOD STUDS AT 16" OC W/ 1 LAYER 1/2" GYP. BD. EA. SIDE. WET AREAS TO HAVE MR. BOARD.
  - PLUMBING WALL: 2X6 WOOD STUDS AT 16" OC W/ 1 LAYER 1/2" MOISTURE RETARDANT GYP. BD. @ WEST SIDE OF WALL. 1 LAYER 1/2" GYP. BD. @ OTHER SIDE.
  - CMU WITH SUBSTRATE AND EXTERIOR FINISH. SEE BUILDING SECTION AND EXT. ELEVATION.
  - UL Design No. U331. Two layers 5/8" class X gypsum board; applied vertically. Inner layer attached to studs with 6d nails spaced @ 16 in. OC. Outer layer attached to studs over inner layer with 8d nails spaced @ 16 in. OC. All joints in inner layers staggered with the joints in outer layers and from joints on opposite side. Extend full height to roof deck. Seal with fire resistant sealant. Insulation: Sound batts 1 1/2" thick, min 2.5 pcf unfaced mineral fiber insulation, pressure fit in the wall cavity between studs and plates. Bearing Plates: Nom. 2X10's.
  - 2x4 WOOD STUDS WITH 1/2" GYP BD EACH SIDE TO 3'-6" ABOVE FLOOR.
  - 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH BO. SIDES. SEE EXTELEV.
  - 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH. 1/2" DRYWALL @ INTERIOR. SEE EXT. ELEV.
  - 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH TO MATCH GARAGE. SEE EXT. ELEV. FULL BATT INSULATION IN WALLS AND ROOF.
  - ADD 1/2" MR BOARD TO TENANT SEPARATION WALL.
  - 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD ON INSIDE AND 1/16" O.S.B. WITH EXTERIOR FINISH. SEE EXTERIOR ELEVATIONS.

- NOTE:**
- All floors are to have sound insulation: a 1/2" layer of Homosote. (1/2" backerboard under ceramic floors, typ.
  - Laundry bi-fold doors to be 6'-0"

ROOM FINISH SCHEDULE						
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
	KITCHEN	CERAMIC TILE	V.B.	WALL COVERING	PT.	
	DINING	CARPET	WOOD	PT.	PT.	
	GREAT RM.	CARPET	WOOD	PT.	PT.	
	MASTER SUITE	CARPET	WOOD	WALL COVERING/C.T.	PT.	
	MASTER BATH	CERAMIC TILE	C.T.	PT.	PT.	
	LAUNDRY	CERAMIC TILE	V.B.	PT.	PT.	
	LAV	CERAMIC TILE	C.T.	WALL COVERING/C.T.	PT.	
	BEDROOM	CARPET	WOOD	PT.	PT.	
	BASEMENT	UNFINISHED	UNFINISHED	UNFINISHED	UNFINISHED	

**BUILDING NUMBER 10**  
**UNITS 1005 THRU 1008**

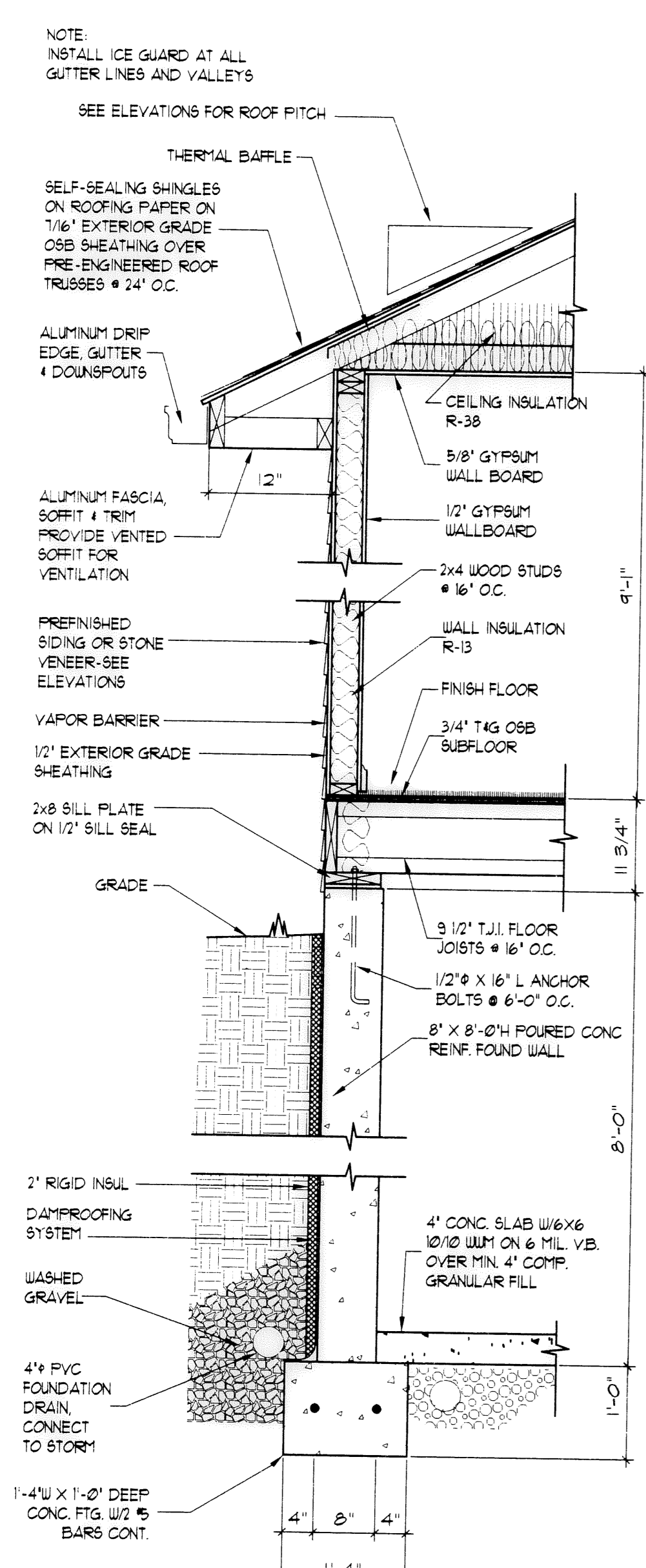
I CERTIFY THAT WITH THE EXCEPTION OF MINOR ARCHITECTURAL MODIFICATIONS MADE DURING CONSTRUCTION, THE DRAWINGS REPRESENT THE STRUCTURES AS BUILT.  
*Mark W. Ruby*  
Mark W. Ruby, Architect # 9199

**SECOND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

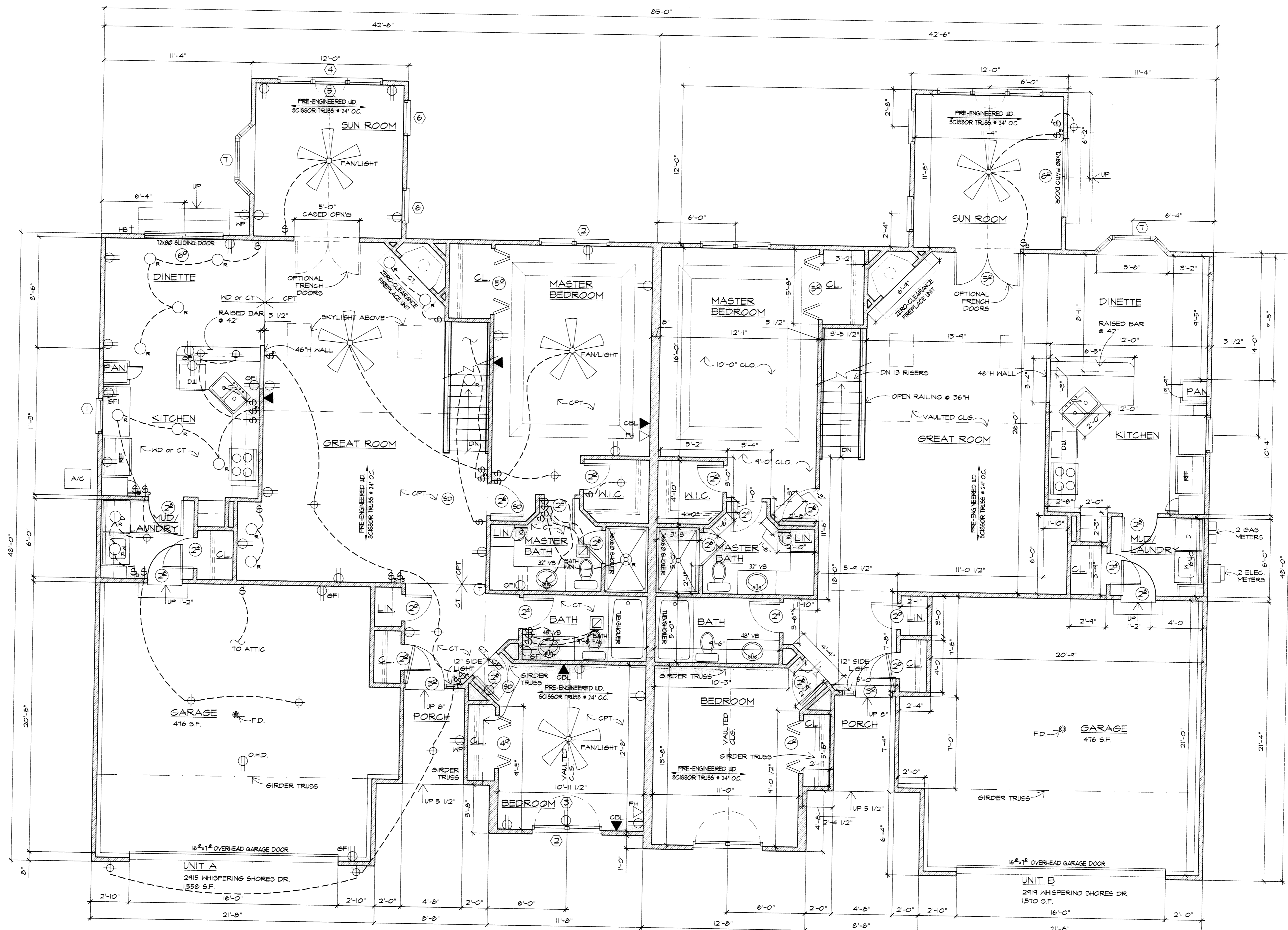
INSTALL 1/2" BACKER BOARD UNDER ALL CERAMIC FLOORS AND  
INSTALL 1/2" HOMOSOTE UNDER ALL OTHER FLOORS







**WALL SECTION**  
SCALE: 3/4" = 1'-0"



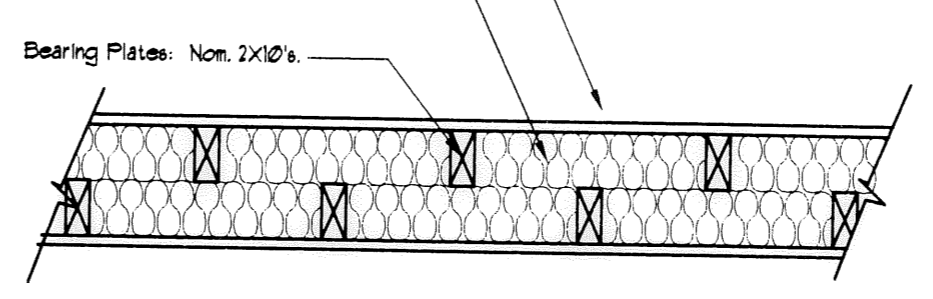
**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE						
MARK	DESCRIPTION	ROUGH OPENING (WxH)	CLEAR AREA REQUIRED	CLEAR AREA PROVIDED	CLEAR OPENING REQUIRED	CLEAR OPENING PROVIDED
1	30210 NARROWLINE DOUBLE HUNG	3'-2 1/8" x 3'-1 1/4"				
2	2846-2 TWIN NARROWLINE DOUBLE HUNG	5'-1 13/16" x 4'-9 1/4"	5/2 SQ. FT.	5/24 SQ. FT.	20" x 24"	30 11/16" x 24 9/16"
3	CTN-2 NARROWLINE CIRCLE TOP	5'-1 13/16" x 3'-0 1/2"				
4	2846-3 TRIPLE NARROWLINE DOUBLE HUNG	8'-5 1/2" x 4'-9 1/4"				
5	CTN28 NARROWLINE CIRCLE TOP	2'-10 1/8" x 1'-3 3/4"				
6	2846 NARROWLINE DOUBLE HUNG	2'-10 1/8" x 4'-9 1/4"				
7	30-C145-20 ANDERSEN CASEMENT 30" BAY	5'-0" x 4'-6 13/16"				

NOTES:  
1. 44" MAX. SILL HEIGHT  
2. AT SUN ROOM

**BUILDING NUMBER 17  
UNITS 1701 & 1702**

U.L. Design No. U325 One layer 5/8" class X gypsum board applied vertically to 2x4 studs @ 16" O.C. attached to studs with 6d nails @ 1 in. O.C. shall extend from top of conc. wall to the underside of the roof sheathing.  
Insulation - Sound batts Min. 1" thick, min 25pcf unfaced mineral fiber insulation pressure fit in the wall cavity between studs and plates.



**TENANT SEPARATION WALL**  
SCALE: 1/2" = 1'-0"

**NOTES**

- Dimensions are rough frame dimensions:  
3 1/2" interior sills  
4" exterior walls  
(unless noted otherwise)
- All points of egress shall be equipped with stairways, handrails and grabrails (if required) which meet requirements of OBOA Residential Building Code Sections 314 and 315.
- All interior headers shall be (2) 2x4's unless noted otherwise on the plans. All exterior headers shall be (2) 2x12's unless noted otherwise on the plans.
- All exhaust fans shall be vented to the exterior.
- All smoke detectors shall be electric with battery backup and shall be interconnected with one another per OBOA Residential Building Code Section 316.

I CERTIFY THAT WITH THE EXCEPTION OF MINOR ARCHITECTURAL MODIFICATIONS MADE DURING CONSTRUCTION, THE DRAWINGS REPRESENT THE STRUCTURES AS BUILT.

Mark W. Ruby, Architect  
1999

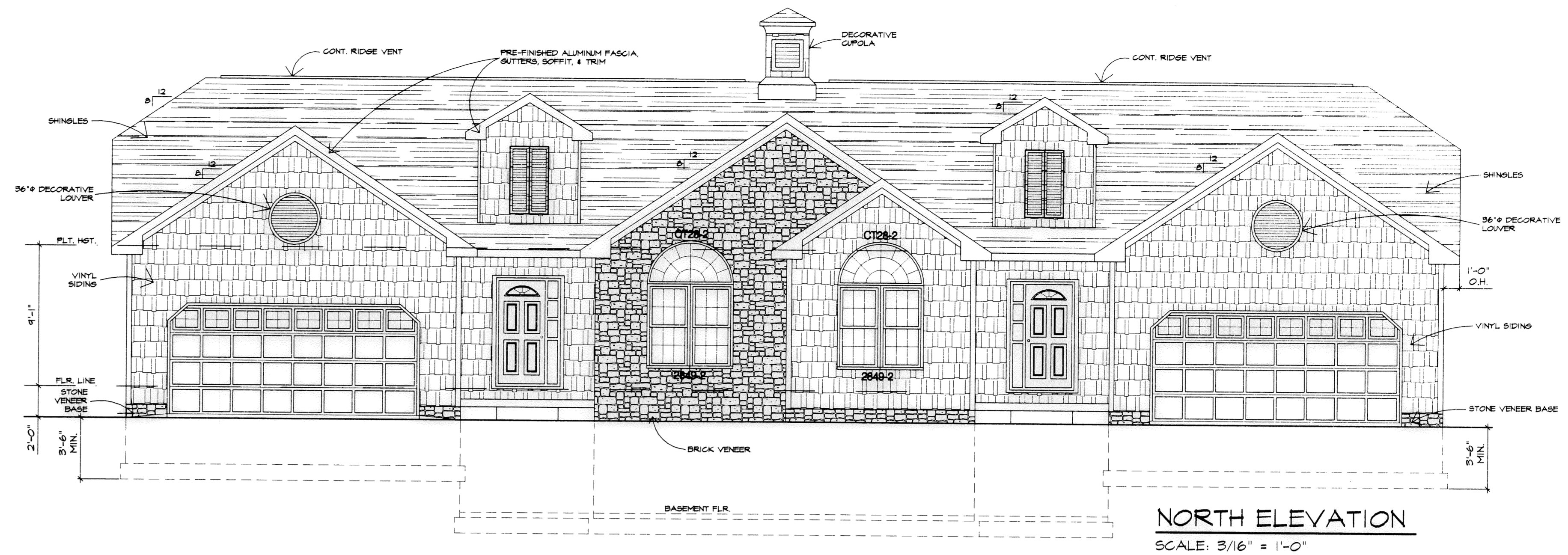
REVISIONS	BY

**MARK W. RUBY**  
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AMHERST, OH 44001  
(440) 986-2091

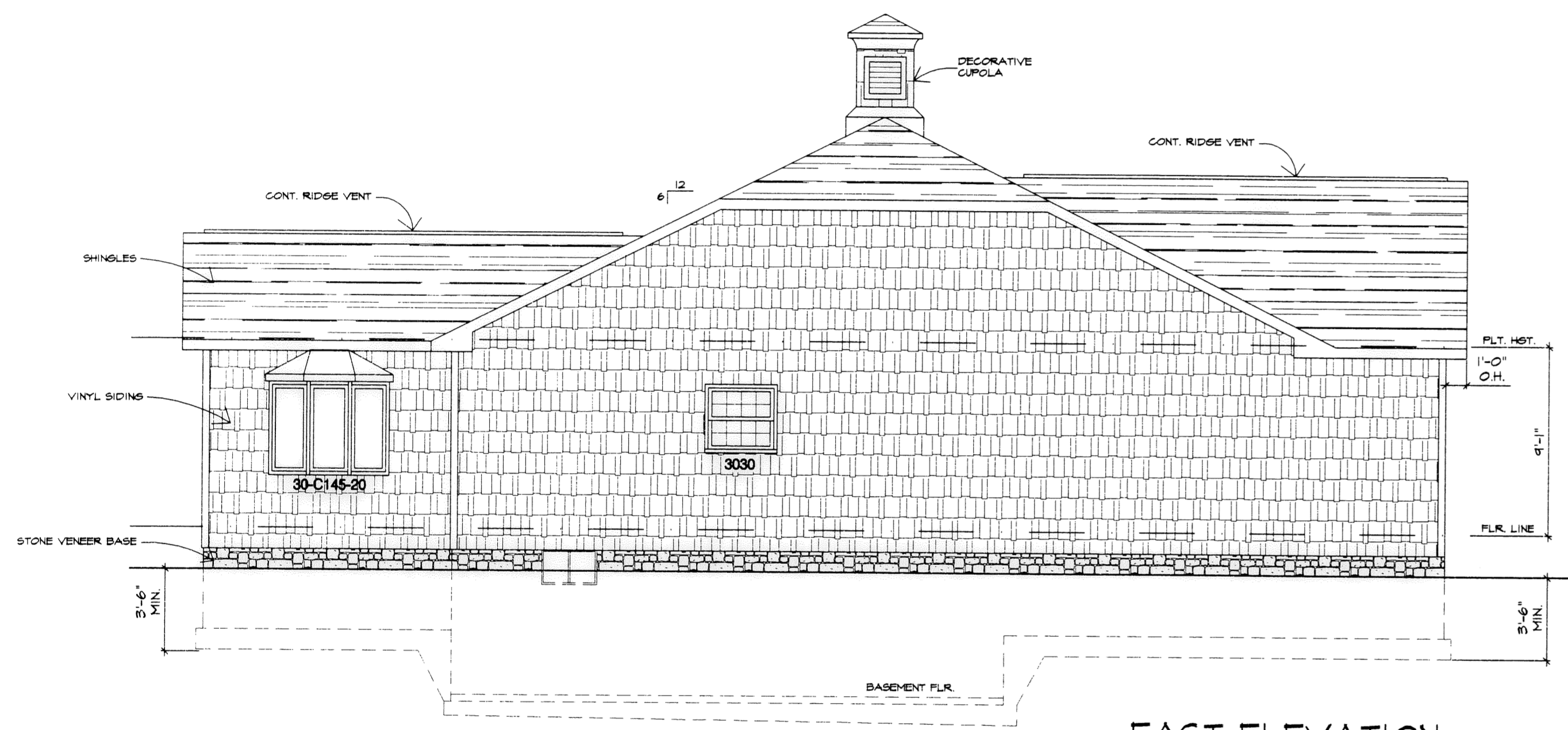
**BUILDING 17  
LAKESIDE VILLAS**  
2865/2869 WHISPERING SHORES DR.  
VERMILION, OHIO



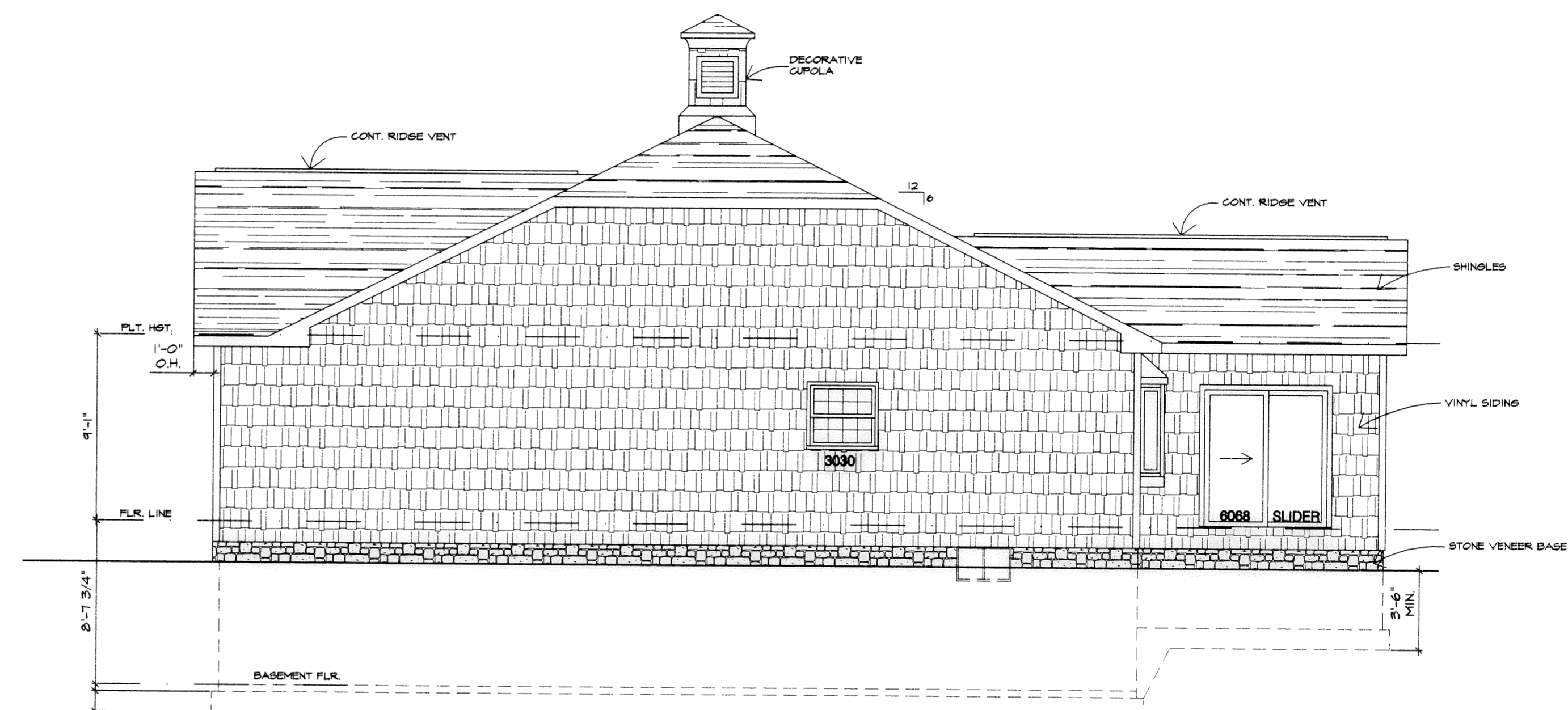
DATE 5/2/06  
PROJ. 0454  
SHEET



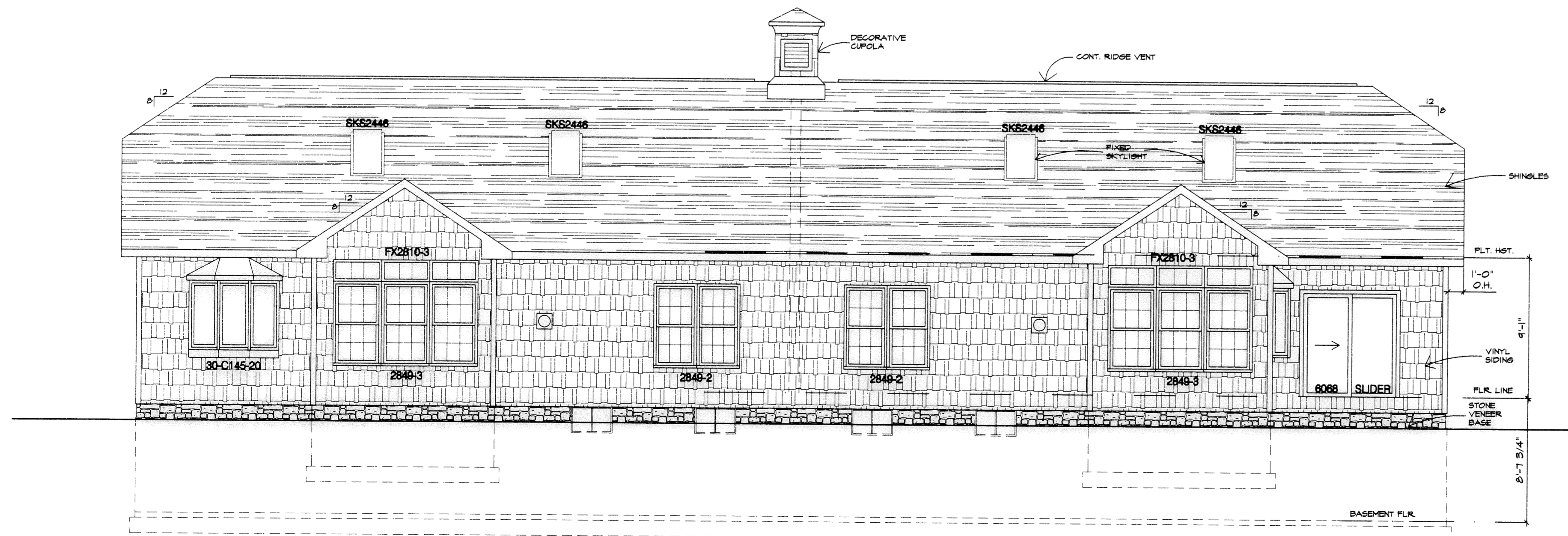
**NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



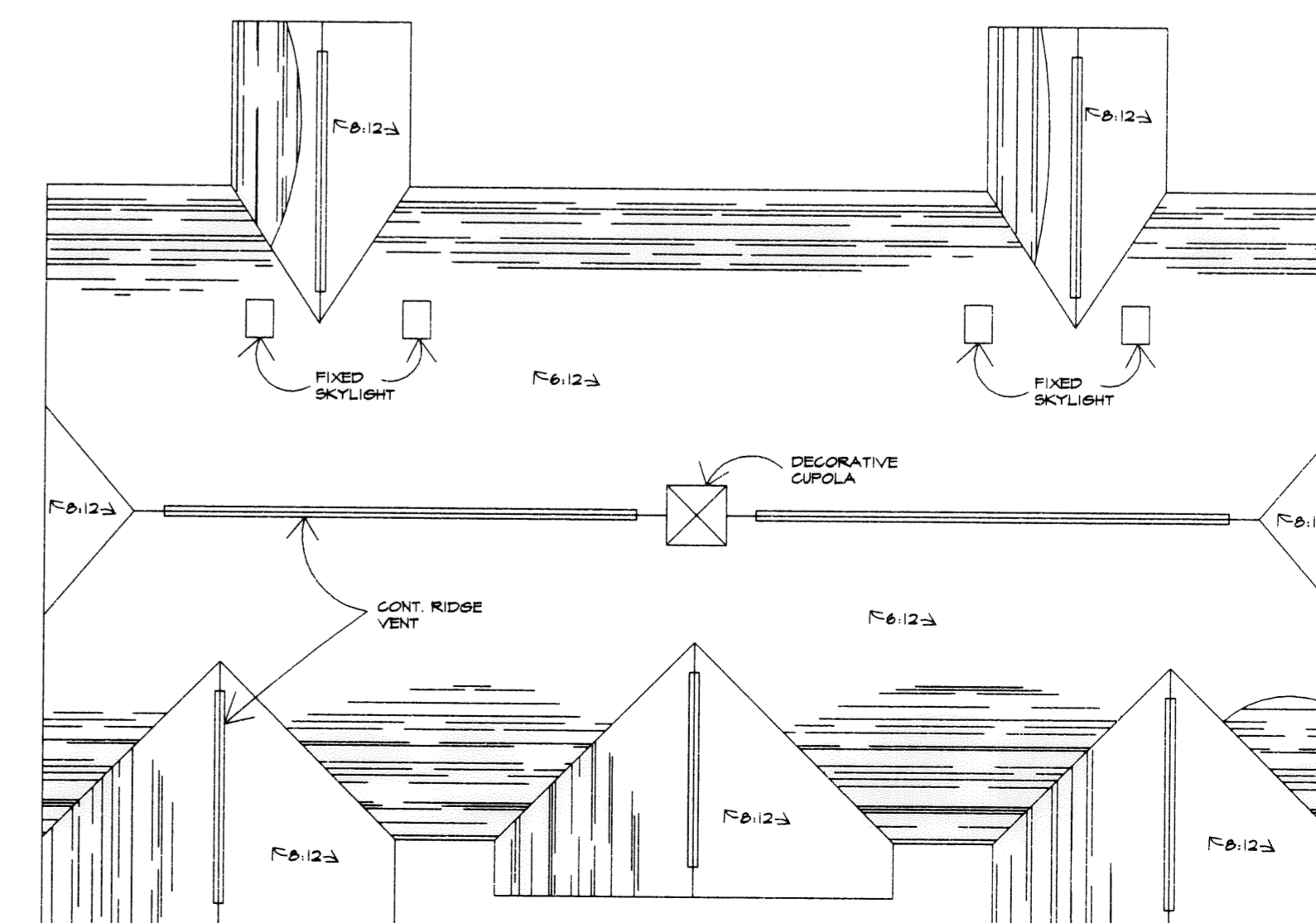
**EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



NOTE: 1'-0" O.H. THROUGHOUT

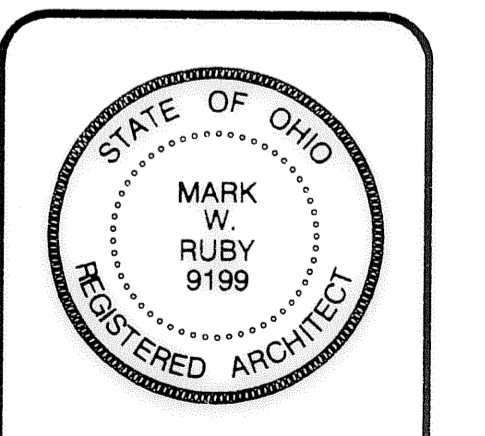
**ROOF PLAN**  
SCALE: N.T.S.

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