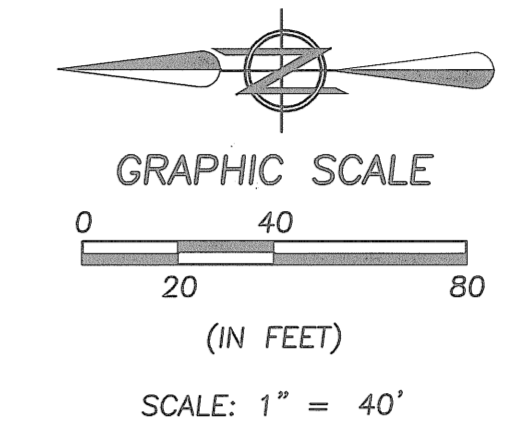
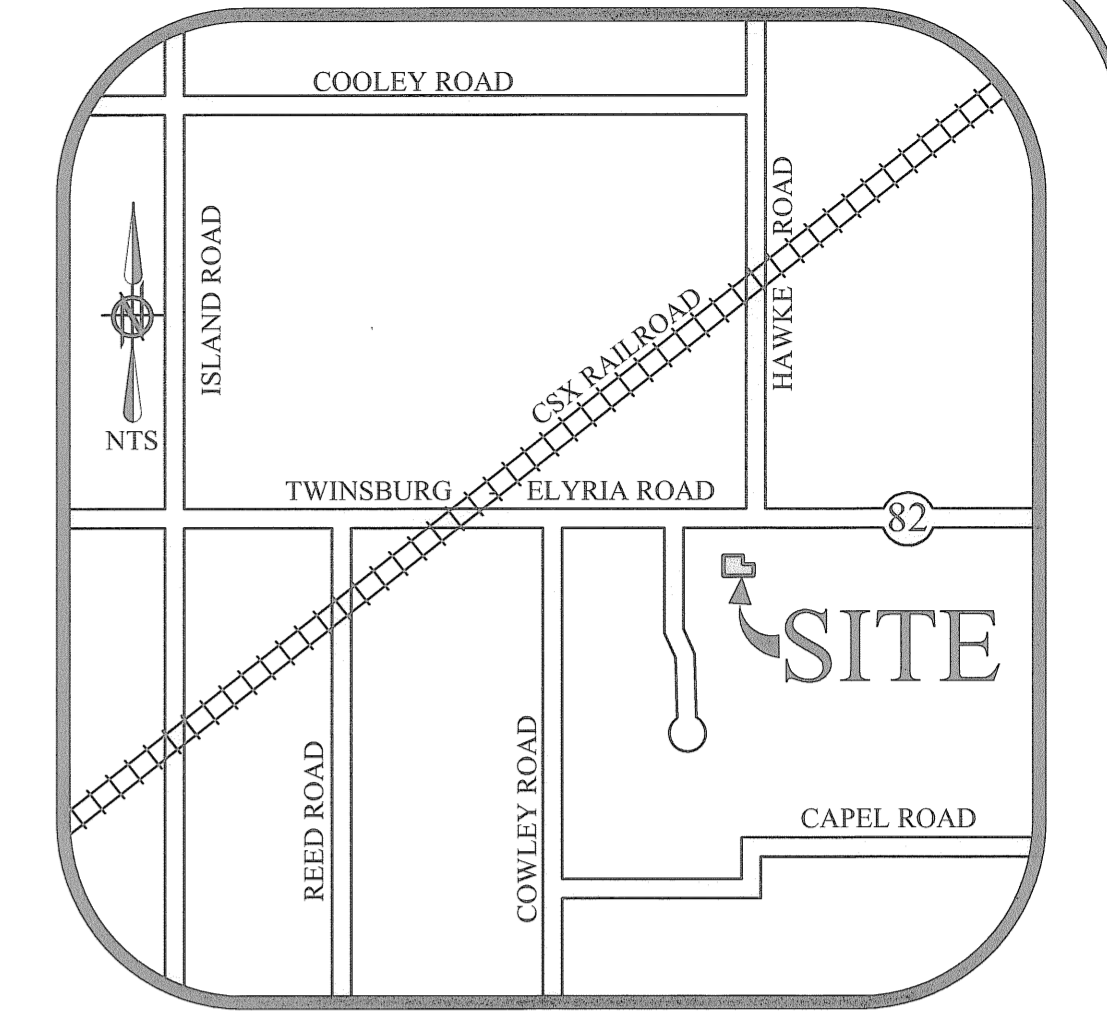
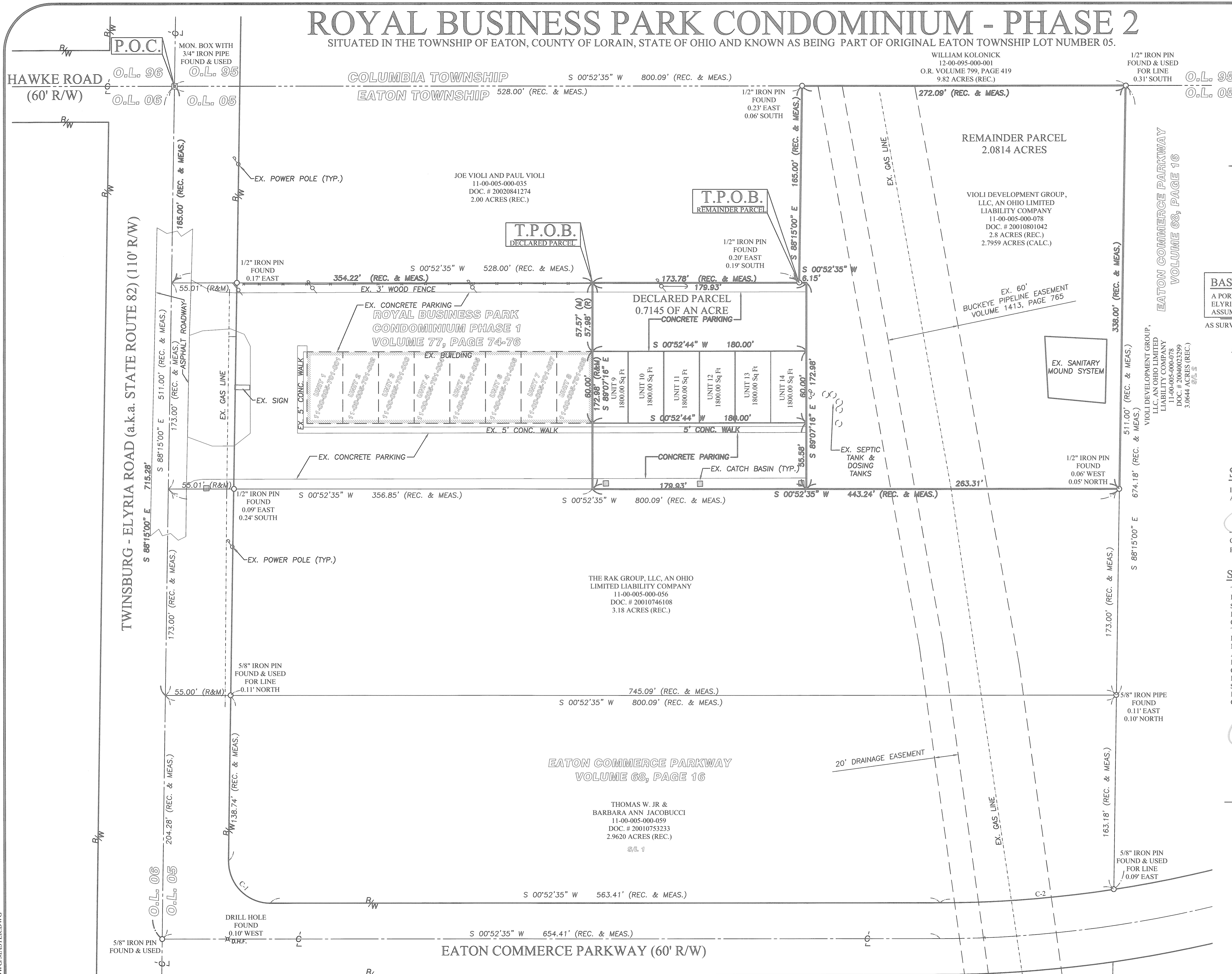


ROYAL BUSINESS PARK CONDOMINIUM - PHASE 2

SITUATED IN THE TOWNSHIP OF EATON, COUNTY OF LORAIN, STATE OF OHIO AND KNOWN AS BEING PART OF ORIGINAL EATON TOWNSHIP LOT NUMBER 05.



BASIS OF BEARINGS:
A PORTION OF THE CENTERLINE OF TWINSBURG - ELYRIA ROAD (a.k.a. STATE ROUTE 82) WHICH WAS ASSUMED TO BE NORTH 88° 15' 00" WEST
AS SURVEYED IN SEPTEMBER OF 2005

ARCHITECT'S CERTIFICATE:

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, PAGES 2, 3, 4, & 5 OF THESE DRAWINGS ACCURATELY SHOW THE BUILDINGS AS CONSTRUCTED.

Ronald Landig
RONALD LANDIG
REGISTERED ARCHITECT NUMBER 3324
10/21/05 DATE

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, PAGE 1 OF 5 OF THESE DRAWINGS ACCURATELY SHOWS THE LOCATION OF IMPROVEMENTS AND RECORDED EASEMENTS.

Christopher M. Hitzel
CHRISTOPHER M. HIRZEL, P.S.
REGISTERED SURVEYOR NO. 8081
10/21/05 DATE

SURVEYOR'S CERTIFICATE:

THIS IS TO CERTIFY THAT, AT THE REQUEST OF THE OWNERS, I HAVE SURVEYED AND PLATTED "ROYAL BUSINESS PARK CONDOMINIUM - PHASE 2" AS SHOWN HEREON, SITUATED IN THE TOWNSHIP OF EATON, COUNTY OF LORAIN, STATE OF OHIO AND KNOWN AS BEING A PARCEL OF LAND DESCRIBED IN A DEED TO VIOLI DEVELOPMENT GROUP, LLC, AN OHIO LIMITED LIABILITY COMPANY AS RECORDED IN DOCUMENT NUMBER 20010801042 OF THE LORAIN COUNTY DEED RECORDS, CONTAINING 2.7959 ACRES OF LAND IN ORIGINAL EATON TOWNSHIP LOT NUMBER 05, BE THE SAME MORE OR LESS, BUT SUBJECT TO ALL LEGAL HIGHWAYS AND EASEMENTS. AT ALL POINTS THUSLY INDICATED ○ IRON PIN MONUMENTS WERE FOUND AND AT ALL POINTS THUSLY INDICATED ● IRON PIN MONUMENTS WERE SET. DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. BEARINGS SHOWN ARE ASSUMED AND USED TO DESCRIBE ANGLES ONLY. THE PLAN REPRESENTS A SURVEY IN WHICH A TRAVERSE OF THE EXTERIOR BOUNDARIES OF THE TRACT AND EACH BLOCK COMPUTED FROM FIELD MEASUREMENTS OF GROUND CLOSED WITHIN A LIMIT OF ERROR OF ONE (1) FOOT TO TEN THOUSAND (10,000) FEET OF THE PERIMETER BEFORE BALANCING THE SURVEY. ALL OF WHICH I CERTIFY TO BE CORRECT. THE SURVEY MEETS THE MINIMUM STANDARDS FOR LAND SURVEYS, IN SECTION 4733-37 OF THE OHIO ADMINISTRATIVE CODE AND ADJACENT PROPERTY DESCRIPTIONS HAVE BEEN CONSIDERED IN PERFORMING THIS SURVEY. ALL OF WHICH I CERTIFY TO BE CORRECT.

Christopher M. Hitzel
CHRISTOPHER M. HIRZEL, P.S.
REGISTERED SURVEYOR NO. 8081
10/21/05 DATE

LEGEND OF SYMBOLS AND LINETYPES

	CENTERLINE OF RIGHT-OF-WAY	-x-	FENCE
	IRON PIPE OR PIN FOUND AS INDICATED	(F) (FND.)	FOUND
	5/8" IRON REBAR W/CAP STAMPED "BRAMHALL 8073" SET	(R) (REC.)	RECORD
	DRILL HOLE FOUND	(M) (MEAS.)	MEASURED
	POINT OF COMMENCEMENT	(C) (CALC.)	CALCULATED
	TRUE PLACE OF BEGINNING		RIGHT-OF-WAY LINE
	MONUMENT BOX WITH IRON PIPE OR PIN FOUND AS INDICATED		

TABLE OF CURVES

CURVE	LENGTH	RADIUS	CHORD	BEARING	TANGENT	DELTA
C-1	55.51'	35.00'	49.87'	N 46°18'48" E	35.54'	90°52'25"
C-2	146.87'	970.00'	146.73'	S 03°27'41" E	73.58'	08°40'31"

I:\082176\DRAWINGS\DWG\MASTER.DWG

DATE	BY	DESCRIPTION
10-07-05	CMH	ISSUE TO CLIENT
10-10-05	CMH	REVISED PER COMMENTS BY CLIENT
10-12-05	CMH	REVISED TO AND P.O.C. & T.P.O.B. PER CLIENT REQUEST FOR LEGALS

DRAWN BY: BDA
CHECKED BY: CMH

BRAMHALL
ENGINEERING AND SURVEYING CO., INC.
37307 HARVEST DRIVE AVON, OHIO 44011
(440) 934 - 7878 (440) 934 - 7879 FAX

PREPARED FOR:
VIOLI DEVELOPMENT GROUP
33549 ROYALTON ROAD
COLUMBIA STATION, OHIO

ROYAL BUSINESS PARK CONDOMINIUM - PHASE 2
TOWNSHIP OF EATON, COUNTY OF LORAIN, STATE OF OHIO

SHEET 1 OF 5
JOB NO. 05-2176

GENERAL NOTES:

ONLY FOUNDATION AND SHELL PERMITS APPLIED FOR AT THIS TIME.

1. Use Group	B / S-1 / F-1		O.B.C.
2. Building type classification	3B UNPROTECTED		
3. Building Square Footage		Design Loads	ROOF
New / Existing	14,400 S.F. / 10,800 S.F.	Live Load	25 psf.
Addition		Dead Load	5 psf.
Renovation		Wind Load	90 mph.
Total	25,200 S.F. *	Exposure	C 25 psf.
Occupancy Load	22 OCC. ADDITION	Solismic Load Zone	1
		Collateral Load	---

*SEE AREA INCREASE CALCULATIONS THIS DRAWING.

- Assumed soil bearing pressure to be 2000 psf.
- Concrete shall be 4000 psi, minimum 28 days curing time and shall comply with provisions of ACI-301 Latest Edition. Concrete sidewalks are to be 3000 PSI concrete with limestone aggregate and 5% air entrainment and minimum of 4 inches thick with 6x6 W14xW14 welded wire mesh.
- The contractor shall be fully responsible for the demolition of existing on-site facilities above and underground. The contractor is responsible for the removal from the site of all demolished materials. The filling of all depressions caused by demolition and grading of these areas so as not to be objectionable to view. The contractor shall observe all required safety precautions in the performance of his work. Dimensions, building location and grading of this site are based on available information at the time of layout (deviations may be necessary in the field. Any such changes or conflicts between these plans and field conditions are to be reported to the Project Coordinator prior to starting construction.
- All interior finishes will meet the requirements of Section 803, OBC.
- Insulation materials to conform to R-values equivalent to meet the requirements of the OBC, Energy Code, Chapter 13, OBC in walls and ceilings.
- All carpet required by Section 804, OBC, for Class I or Class II interior floor finish as tested by an approved testing laboratory; ASTM E648.
- All utility connections, storm and sanitary sewers, tap-in fees, inspections and permits by contractors. If it is designed as an ALL WORK CONTRACT, the General Contractor shall obtain and pay for all permits, etc., as noted above. Notify the Public Utilities Protection Service 48 hours prior to all excavations.
- Each contractor shall verify all site conditions, elevations, existing utility lines, depths, locations and drawing dimensions before starting work on the project. The Architect will not be held responsible for dimensional errors.
- Utility line sizes (not responsibility of Architect) to be calculated and sized by respective utility company.
- Fabricator shall submit design calculations for all trusses, including recommendations for lateral bracing of trusses. Design calculations shall bear the stamp of structural engineer registered in the State of Ohio.
- All exterior exit doors shall be as indicated on drawings, exit door hardware shall be in accordance with Chapter 10, OBC, and ADAAC regulations for Handicapped Access.
- All Plumbing shall conform to the latest addition of the Ohio Basic Plumbing Code. Furnish 5 install a double-check type backflow preventer if non-existent.
- HVAC equipment shall be installed in accordance with its Underwriter approval, the manufacturer's recommendations and specifications, and good engineering practices; Chapter 28 OBC & Ohio Basic Mechanical Code, latest edition.
- Ventilation shall conform to Chapter 4, Ohio Basic Mechanical Code, latest edition and meet requirements of OSHA and EPA Standards.
- Provide Smoke Detectors in the Return Air Ducts, which shall activate a visible and audible signal in an approved location.
- All electrical work will comply with the requirements of Chapter 27, OBC, and the National Electric Code (NEC), NFPA 70, OBC, latest edition, and is subject to the approval of the State Electrical Inspector assigned by the Division of Factory and Building Inspection or as applicable.
- All conductors will be protected against overcurrent in accordance with their ampacities as specified in Table 310-16 NEC; Section 240-3, NEC.
- Furnish and install exit signs in accordance with Chapter 10, OBC.
- Fire Extinguishers shall be furnished and installed as per the OBC and the Local Fire Marshall's recommendations.
- Fire Suppression, full or limited, Design Drawings shall be submitted by a State of Ohio licensed suppression designer (certification number shall appear on drawings). Limited suppression system must be designed hydraulically. All designs to conform to Chapter 9, OBC and NFPA 13. Drawings for suppression work shall be submitted under a separate application and fee per Article 9, OBC. Suppression System to be installed by a Certified Licensed State of Ohio Contractor.
- Handicap accessibility requirements grading:
 - Surface of the HC parking spaces and access aisles shall not exceed 150 gradient (2%).
 - Normal paths of travel at sidewalks shall not exceed 120 (5%) grade.
 - At curb ramps, surface slope shall not exceed 1:2 (8.33%) and side slopes shall not exceed 1:10 (10%) slope.
 - Cross slopes shall not exceed 150 (2%).
 - All access paths to be provided with slip-resistant finish (Medium broom finish).
 - Ramp areas to be provided with color and texture change from balance of sidewalk areas.
- The landscaping package for this site will be bid at a later date.
- All work that is not covered by these plans shall be constructed in accordance with applicable state, county, and local codes. All work in public right-of-ways shall be in accordance with all state and local requirements and standards.

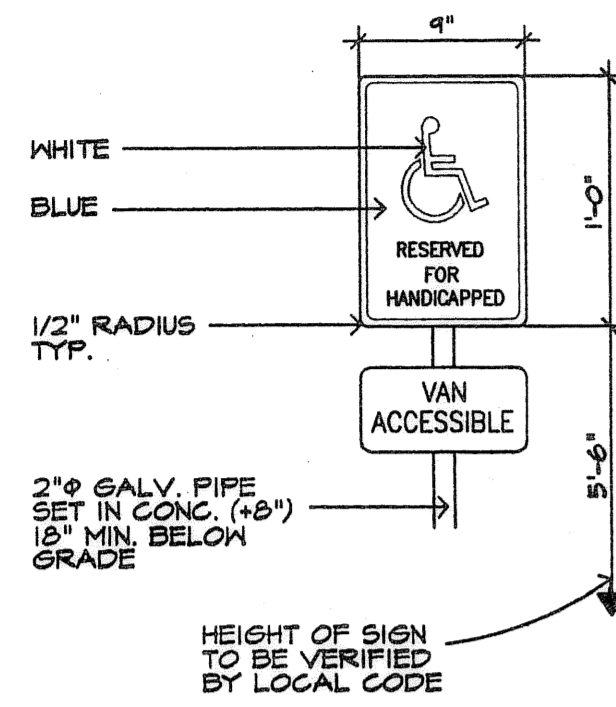
Area Increase Calculations

Allowable Building Area: 17,500 S.F. per O.B.C. table 503

Street Frontage Increase
O.B.B.C. Section 506.2

1. 960 L.F. complies	=	100 %
960 L.F. total		
2. 100% (.75)	=	75 %
3. 75% x 1	=	75 %
4. 17,500 S.F. x 75%	=	13,125 S.F.
5. 17,500 S.F. + 13,125 S.F.	=	30,625 S.F.
6. Allowable Building Area	=	30,625 S.F.

Total Allowable S.F. = 30,625 S.F.
Existing Building Area = 14,400 S.F.
= 16,225 S.F.
New Proposed Addition = 10,800 S.F.
Maximum Future Addition = 5,425 S.F.
THERE IS AN EXISTING, UNRATED FIREWALL BETWEEN THE EXISTING BLDG. & NEW ADDITION.

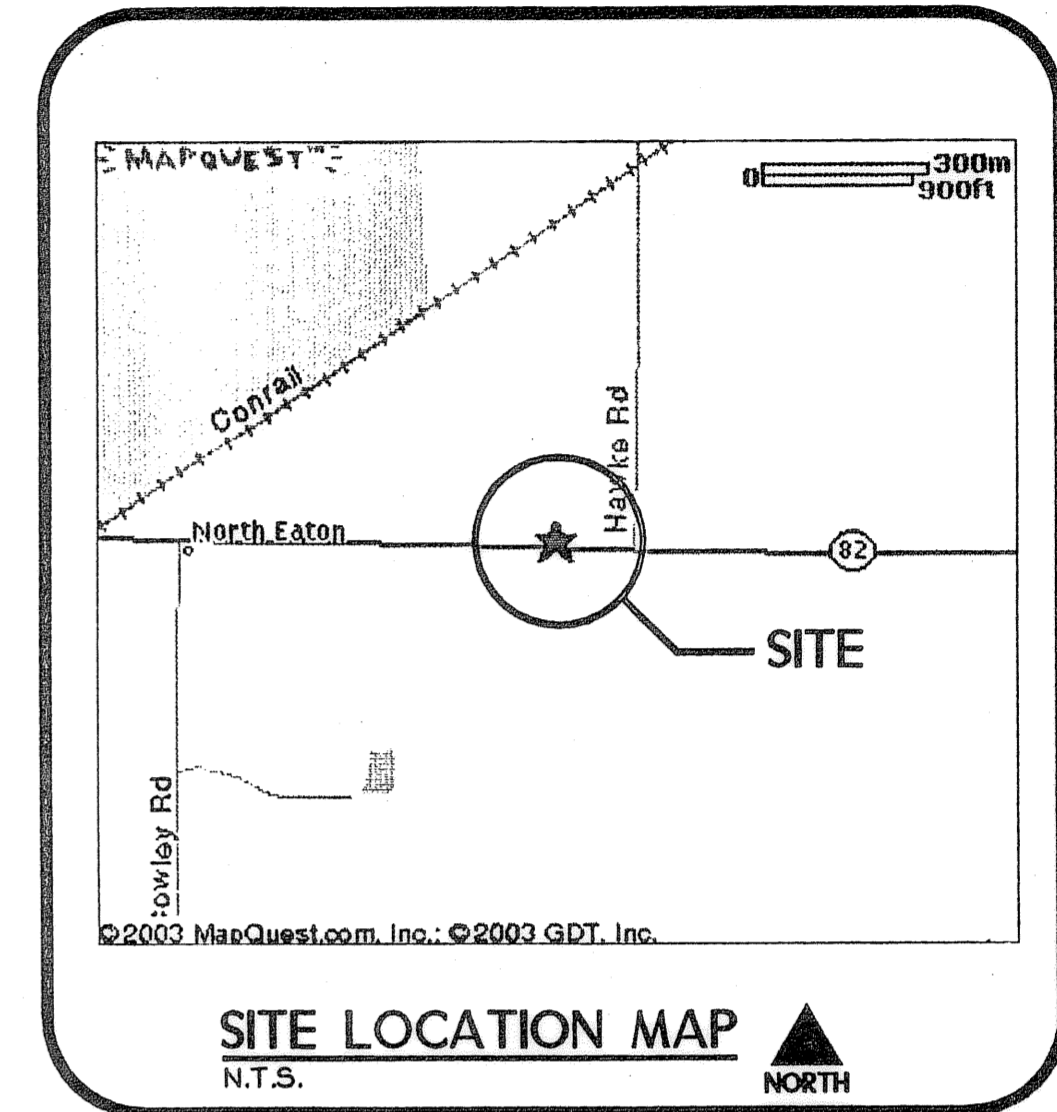


H.C. SIGNAGE
N.T.S.

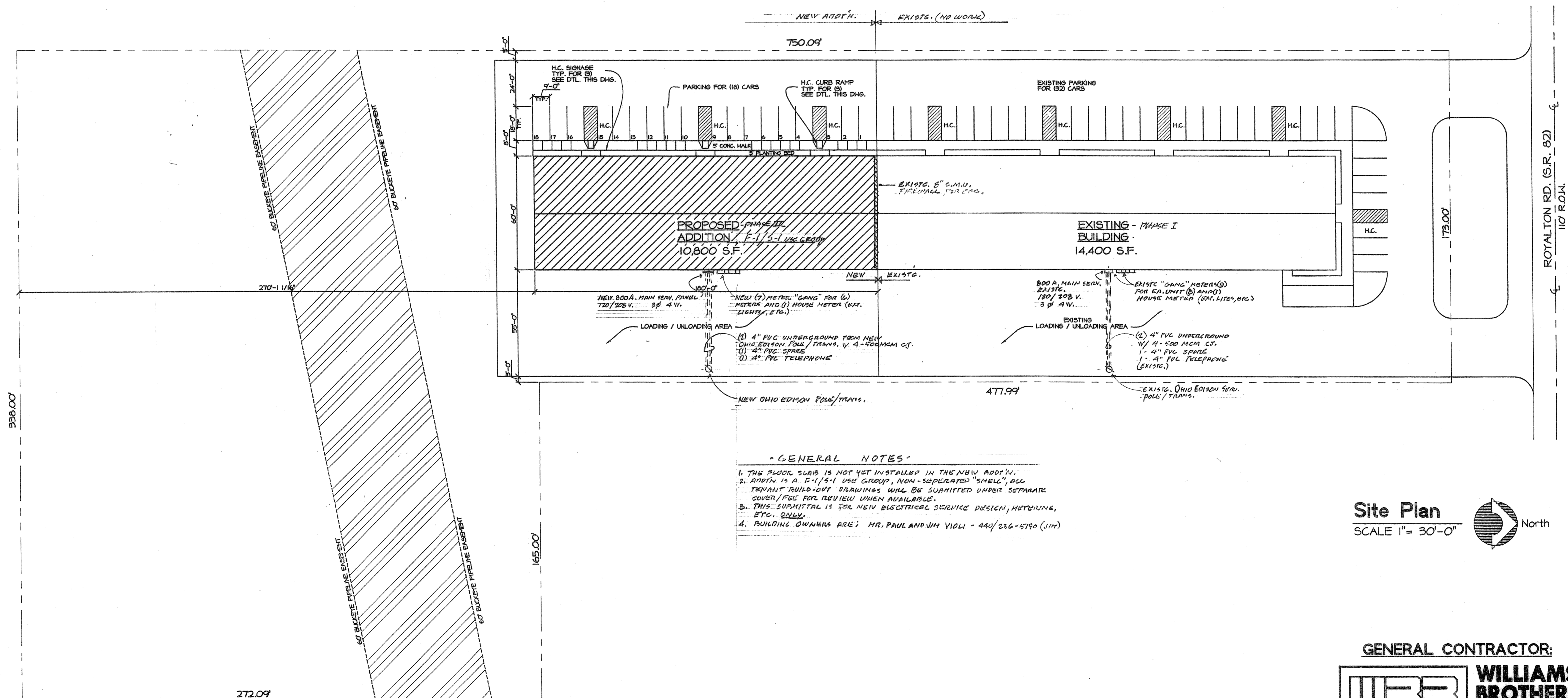
INDEX OF DRAWINGS

Architectural

- X-1 Site Plan
- A-1 Foundation Plan
- A-2 Floor Plan
- A-3 Exterior Building Elevations, Building Section



SITE LOCATION MAP
N.T.S.



GENERAL NOTES

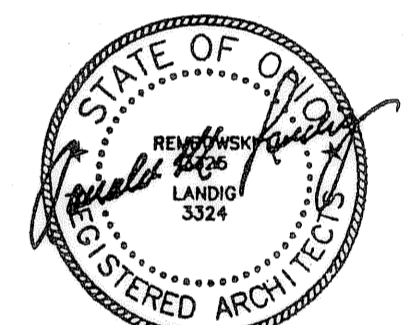
- THE FLOOR SLAB IS NOT YET INSTALLED IN THE NEW ADDITION.
- ADDITION IS A B-1/S-1 USE GROUP, NON-SEPARATED "SHELL", ALL TENANT BUILD-OUT DRAWINGS WILL BE SUBMITTED UNDER SEPARATE COVER/FEE FOR REVIEW WHEN AVAILABLE.
- THIS SUBMITTAL IS FOR NEW ELECTRICAL SERVICE DESIGN, METERING, ETC. ONLY.
- BUILDING OWNERS ARE: MR. PAUL AND JIM VIOLI - 440/236-5790 (JIM)

Site Plan
SCALE 1" = 30'-0" North

GENERAL CONTRACTOR:
WBB WILLIAMS BROTHERS BUILDERS INC.

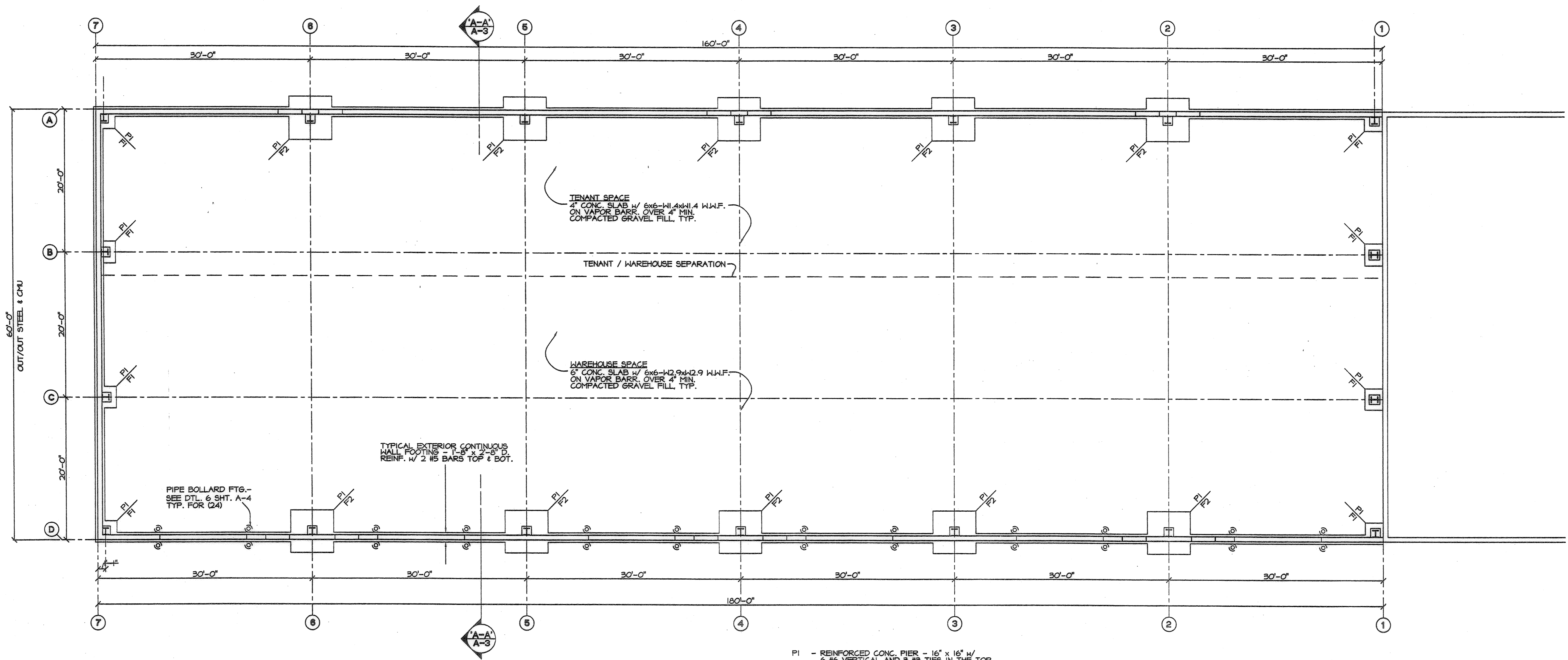
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(330)867-0679
(440)322-7616



PROJECT: Proposed Addition for Violi Development Group
33549 Royalton Rd. Columbia Station, Ohio

DATE: July 25, 2003
JOB NO.: 0320
DWG. NO.: SHEET 2 OF 5
X-1



NOTE
 PROVIDE 2 #4 x 3'-0" @ ALL RE-ENTRANT CORNERS

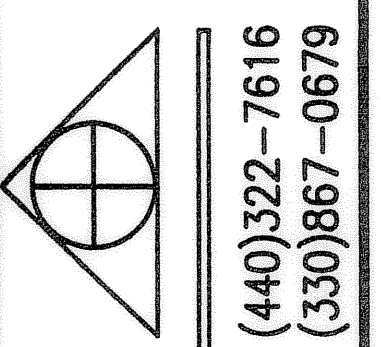
P1 - REINFORCED CONC. PIER - 16" x 16" W/
 6 #5 VERTICAL AND 3 #3 TIES IN THE TOP
 12" AND THEN #3 TIES AT 12" O.C.

FOOTING SCHEDULE
 F1 - 3'-0" x 3'-0" x 2'-8" - 3-#4 EACH WAY BOTTOM
 F2 - 6'-6" x 6'-6" x 2'-8" - 7-#7 EACH WAY BOTTOM

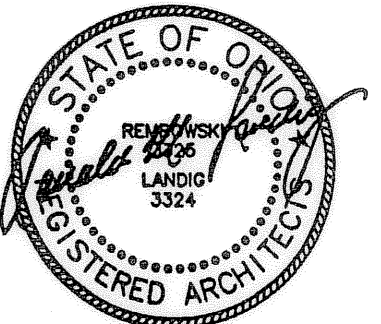
Foundation Plan
 SCALE 1/8"=1'-0"
 NORTH

RWL architects inc.
 5300-C Hwy Drive, Elyria, Ohio 44035, 440322-7616
 23 West Belmont, Parma, Ohio 44134, 330-867-0679
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GENERAL CONTRACTOR:
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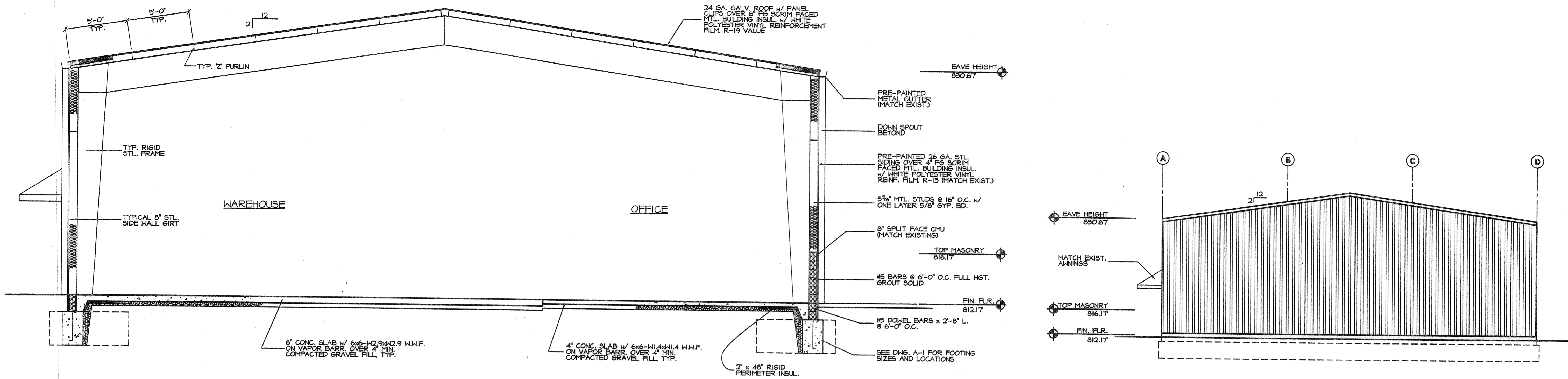


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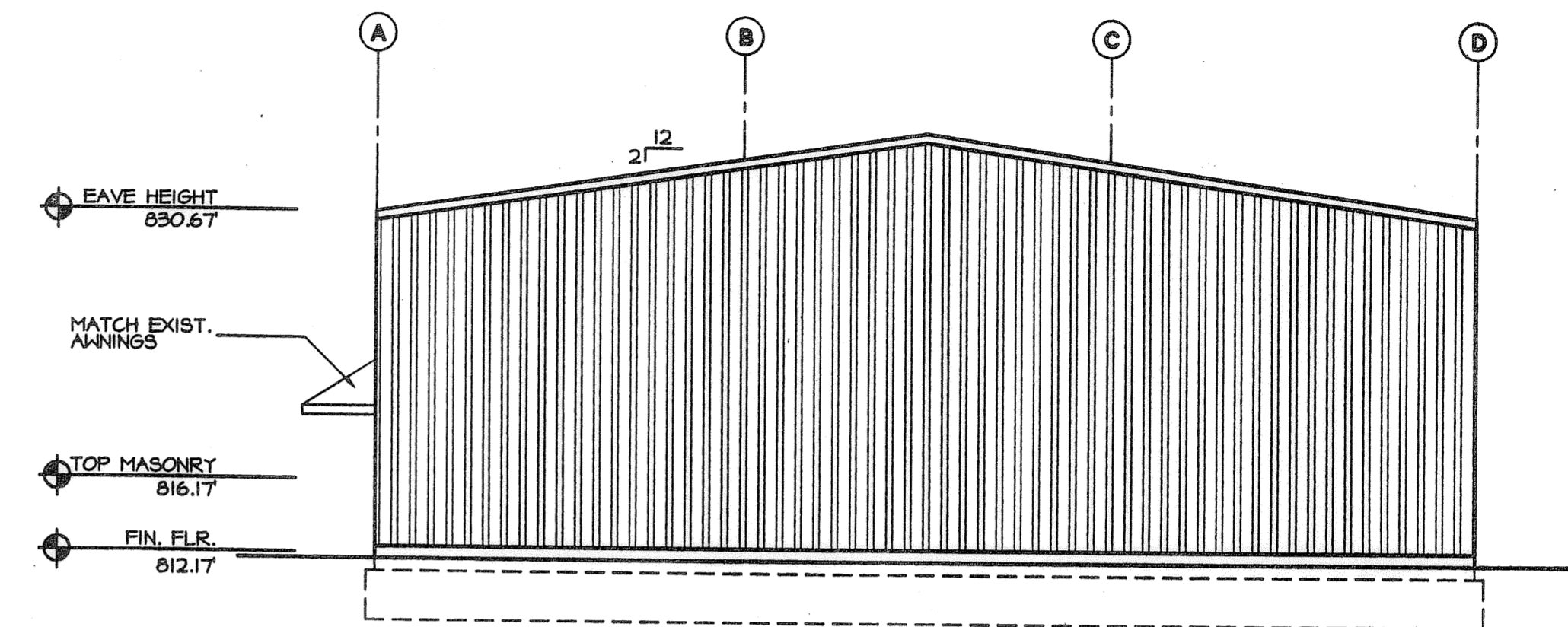


PROJECT:
 Proposed Addition for
 Violi Development Group
 33549 Royatton Rd. Columbia Station, Ohio

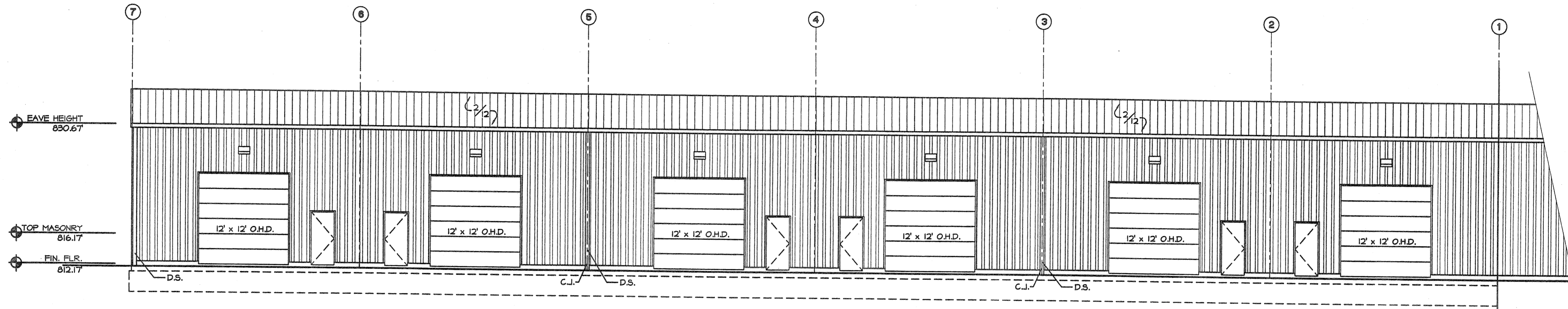
DATE	July 25, 2003
JOB NO.	0320
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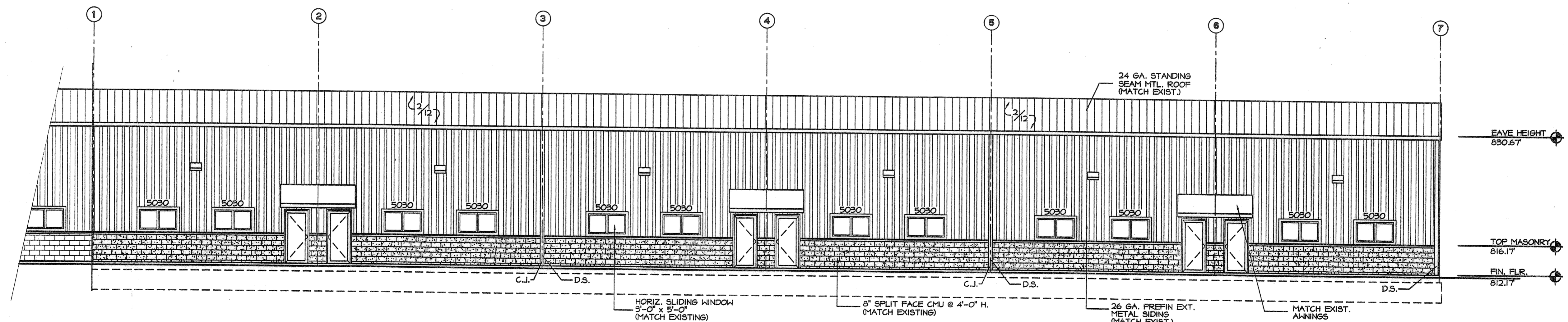
Building Section 'A-A'
SCALE 1/4"=1'-0"



South Elevation
SCALE 1/8"=1'-0"

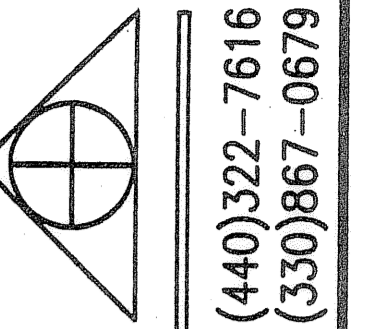


East Elevation
SCALE 1/8"=1'-0"



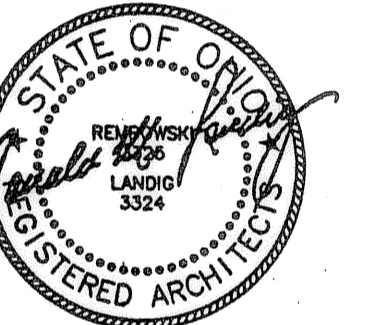
West Elevation
SCALE 1/8"=1'-0"

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Fairlawn, Ohio 44130



PROJECT:
Proposed Addition
for
Violi Development Group
Columbia Station, Ohio
33549 Royalton Rd.

DWG. NO.	SHEET 5 OF 5 A-3
JOB DATE	July 25, 2003
REV.	
0320	

GENERAL CONTRACTOR:
WBB WILLIAMS BROTHERS BUILDERS INC.