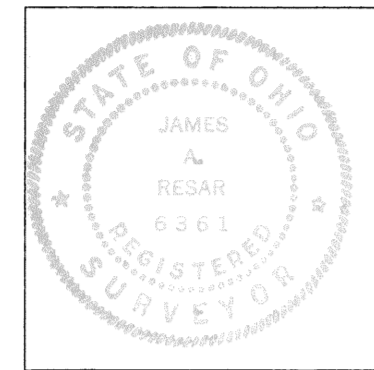


SURVEYORS CERTIFICATE

DIMENSIONS SHOWN ON THIS PLAT ARE IN FEET AND DECIMAL PARTS THEREOF. ALL BEARINGS SHOWN ARE TO AN ASSUMED MERIDIAN AND USED TO DESCRIBE ANGLES ONLY. PERMANENT MONUMENTS WERE FOUND OR SET AS DESCRIBED HEREON, ALL OF WHICH I CERTIFY TO BE CORRECT.

- IRON PIN SET
- IRON PIN FOUND
- ☒ MONUMENT BOX SET
- ☒ MONUMENT BOX FOUND

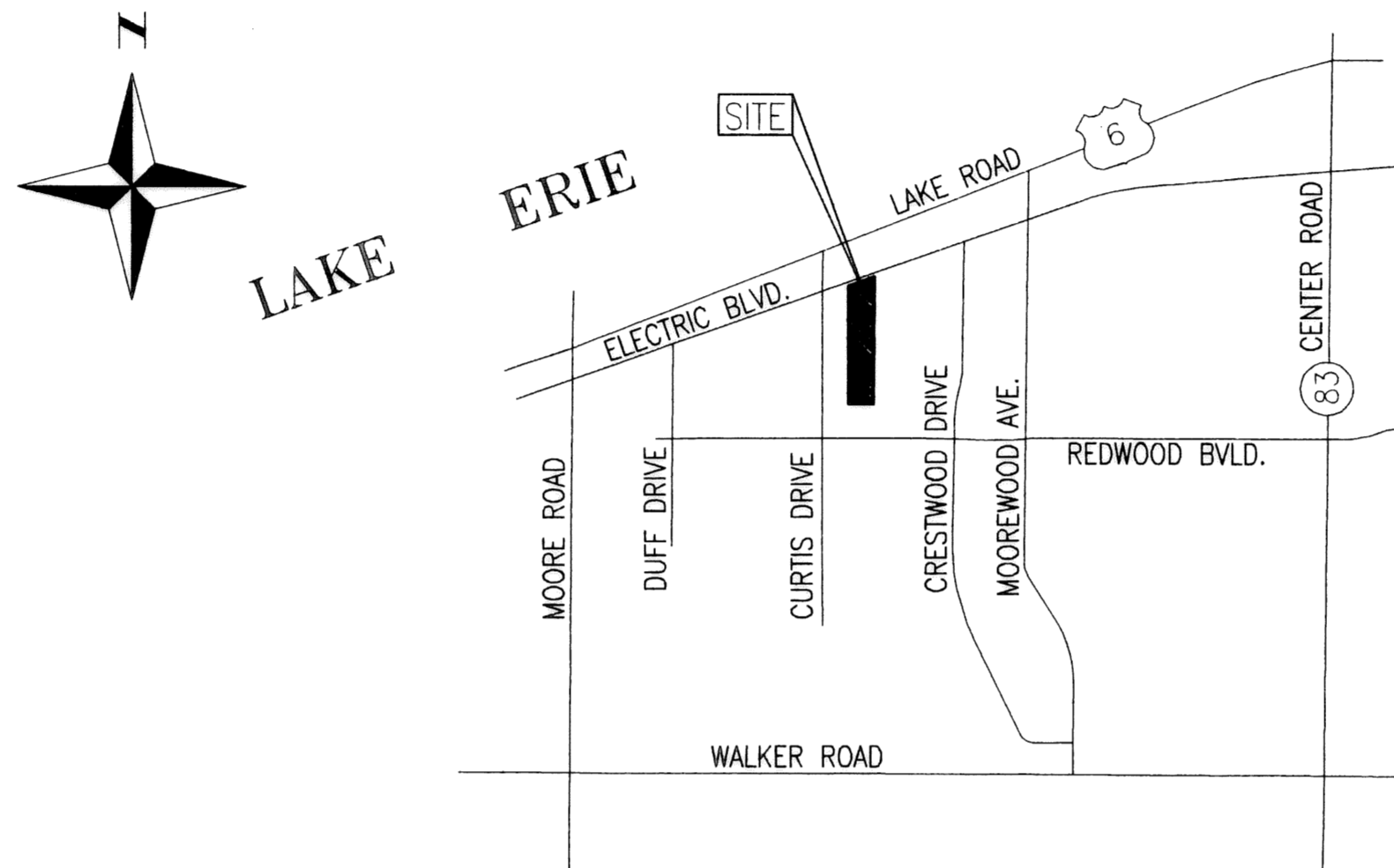
James A. Resar
 JAMES A. RESAR, P.E., P.S.
 REGISTERED OHIO SURVEYOR NO. 6361



Centennial Estates Subdivision

SITUATED IN THE CITY OF AVON LAKE, COUNTY OF LORAIN & STATE OF OHIO & KNOWN AS BEING PART OF ORIGINAL AVON TOWNSHIP SECTION NO. 7

AND CONTAINING 6.5650 ACRES OF WHICH 1.4587 ACRES ARE WITHIN THE RIGHT OF WAY OF CENTENNIAL DRIVE, 5.1063 ACRES ARE WITHIN THE SUBDIVISION OF LOTS 01 TO 14.



VICINITY MAP
N.T.S.

OWNERS CERTIFICATE

THIS IS TO CERTIFY THAT THE UNDERSIGNED OWNER OF LAND CONTAINED WITHIN THIS PLAT DOES HEREBY ACCEPT IT TO BE CORRECT AND DEDICATES FOREVER TO PUBLIC USE THE EASEMENTS, STREETS AND PARKS AS SHOWN HEREON. NO BUILDINGS OR TREES SHALL BE PLACED WITHIN THE DEDICATED STREETS OR EASEMENTS SHOWN HEREON.

Darryl Norris
 CENTENNIAL ESTATES, INC.
 BY: DARRYL NORRIS, PRESIDENT

Michelle M. Borch
 WITNESS

NOTARY PUBLIC
 COUNTY OF LORAIN S.S.
 STATE OF OHIO

THIS IS TO CERTIFY THAT BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, DID PERSONALLY APPEAR THE ABOVE SIGNED OWNER OF THIS LAND, WHO ACKNOWLEDGED THAT HE DID SIGN THE FOREGOING PLAT, AND THAT IT WAS HIS OWN FREE ACT AND DEED. IN TESTIMONY WHEREOF I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL THIS 19th DAY OF October 2005.

NOTARY PUBLIC: *Michelle M. Borch*
 MY COMMISSION EXPIRES: 5-25-07

MORTGAGEE'S CERTIFICATE

THIS IS TO CERTIFY THAT THE UNDERSIGNED, REPRESENTING Lorain National Bank James E. Schmitz PRESIDENT, AND Kerrie Griffin VICE PRESIDENT, MORTGAGEE OF THE LAND CONTAINED WITHIN THIS PLAT OF

_____ HAS EXAMINED THIS PLAT OF THE SAME. ACCEPTS IT TO BE CORRECT, AND ALSO DEDICATES FOREVER TO PUBLIC USE THE EASEMENTS AS SHOWN HEREON.

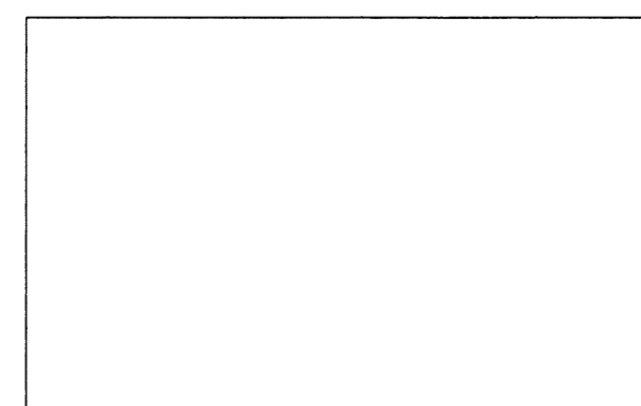
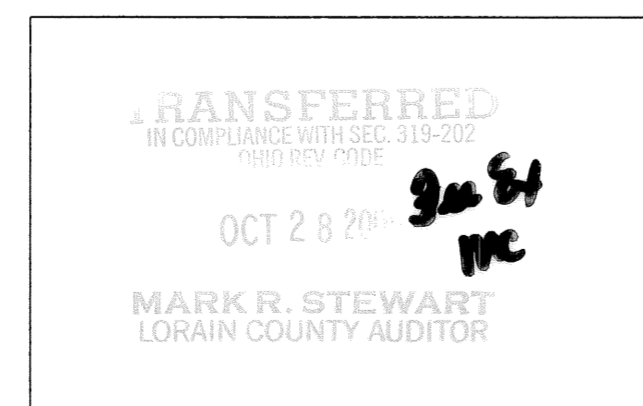
James E. Schmitz (PLEASE PRINT NAME), PRESIDENT
Kerrie Griffin (PLEASE PRINT NAME), VICE-PRESIDENT

Michelle M. Borch
 WITNESS

NOTARY PUBLIC
 COUNTY OF LORAIN S.S.
 STATE OF OHIO

THIS IS TO CERTIFY THAT BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, DID PERSONALLY APPEAR THE ABOVE SIGNED MORTGAGEES WHO ACKNOWLEDGED THE SIGNING OF THIS PLAT AND THAT IT WAS THEIR OWN FREE ACT AND DEED. IN TESTIMONY WHEREOF I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL THIS 19 DAY OF October 2005.

NOTARY PUBLIC: *Michelle M. Borch*
 MY COMMISSION EXPIRES: 5-25-07



ACREAGE

ENTIRE SUBJECT PARCEL = 6.5650 Ac.
 SUBDIVISION = 5.1063 Ac.
 RIGHT OF WAY = 1.4587 Ac.

APPROVALS

THIS IS TO CERTIFY THAT I HAVE EXAMINED THIS FOREGOING PLAT AND FIND SUFFICIENT MONUMENTS FOUND AND SET TO DEFINE THE PLAT AND THE PUBLIC STREETS AS SHOWN HEREON AND APPROVED SAME. THE IMPROVEMENTS ARE COMPLETE WITHIN THE PUBLIC STREETS AND ARE CONSTRUCTED ACCORDING TO THE CITY OF AVON LAKE'S CONSTRUCTION AND MATERIALS SPECIFICATIONS AND DESIGN STANDARDS.

Robert J. Berner
 AVON LAKE CITY ENGINEER
 DATE: 10-20-05

THIS IS TO CERTIFY THAT THIS FOREGOING PLAT WAS ACCEPTED BY THE COUNCIL OF THE CITY OF AVON LAKE BY ORDINANCE NO. 120-2005 PASSED THIS 11th DAY OF July 2005.

Barbara Dapp
 CLERK OF COUNCIL

THIS IS TO CERTIFY THAT THIS FOREGOING PLAT IS HEREBY APPROVED BY THE PLANNING COMMISSION OF THE CITY OF AVON LAKE, OHIO.

Joseph R. Pitt
 CHAIRMAN, CITY OF AVON LAKE PLANNING COMMISSION
 DATE: 10-17-2005 P.C. DATE: Case 004-2005

THIS IS TO CERTIFY THAT THIS FOREGOING PLAT IS COVERED BY A PROPER CERTIFICATE OF TITLE AND THE DEDICATION IS HEREBY APPROVED AS TO FORM.

Mark R. Stewart
 LAW DIRECTOR
 DATE: 10/20/05

20 FT. REAR YARD DRAINAGE EASEMENTS

CENTENNIAL ESTATES, INC., THE OWNER OF THE WITHIN PLATTED LAND DOES HEREBY DEDICATE A 20 FT. WIDE DRAINAGE EASEMENT ON SUBLOTS: 1&2, 3&4, 5&14, 6&7, 8&9, 10&11, & 12&13 TO THE RESPECTIVE LOT OWNERS.

12 FOOT UTILITY EASEMENT

THE OWNER OF THE WITHIN PLATTED LAND DOES HEREBY GRANT UNTO: ALL UTILITY COMPANIES PROVIDING CABLE TV, ELECTRICITY, AND TELEPHONE SERVICES, THEIR SUCCESSORS AND ASSIGNEES (HEREINAFTER REFERRED TO AS THE GRANTEEES) A PERMANENT RIGHT OF WAY EASEMENT TWELVE FT. IN WIDTH UNDER AND THROUGH ALL SUBLOTS AND ALL LANDS SHOWN HEREON AND PARALLEL WITH ALL RIGHTS-OF-WAY LINES TO CONSTRUCT, PLACE, OPERATE, MAINTAIN, REPAIR, RECONSTRUCT AND RELOCATE SUCH UNDERGROUND ELECTRIC AND COMMUNICATION CABLES, DUCTS, CONDUITS, BELOW GROUND TRANSFORMERS, AND OTHER FACILITIES AS ARE NECESSARY AND CONVENIENT FOR THE GRANTEEES TO DISTRIBUTE AND TRANSMIT ELECTRICITY AND COMMUNICATIONS SIGNALS FOR PUBLIC AND PRIVATE USE AT SUCH LOCATIONS AS GRANTEEES MAY DETERMINE UPON, WITHIN AND ACROSS THE EASEMENT PREMISES. SAID EASEMENT SHALL INCLUDE THE RIGHT TO INSTALL, MAINTAIN, REPAIR AND AUGMENT ELECTRIC AND COMMUNICATIONS FACILITIES OUTSIDE THE ABOVE DESCRIBED PREMISES AND SHALL ALSO INCLUDE THE RIGHT OF ACCESS, INGRESS AND EGRESS TO AND FROM ANY OF THE WITHIN DESCRIBED PREMISES FOR THE PURPOSE OF EXERCISING ANY OF THE EASEMENTS RIGHTS INDICATED HEREIN. GRANTEEES SHALL AT THEIR EXPENSE RESTORE THE LAND TO ITS CONDITION AS IT EXISTED IMMEDIATELY PRIOR TO THE WORK PERFORMED BY GRANTEEES, EXCEPT GRANTEE SHALL NOT BE RESPONSIBLE FOR REPLACING OR REPAIRING ANY PERMANENT STRUCTURES, TREES OR SHRUBS WHICH ARE LOCATED WITHIN THE EASEMENT BOUNDARIES AND ARE DAMAGED OR REMOVED AS A RESULT OF WORK PERFORMED AS PROVIDED FOR HEREIN BY GRANTEE. THE SUBLOTS SHALL BE RESTRICTED TO UNDERGROUND UTILITY SERVICE.

Darryl Norris
 CENTENNIAL ESTATES, INC.
 BY: DARRYL NORRIS, PRESIDENT

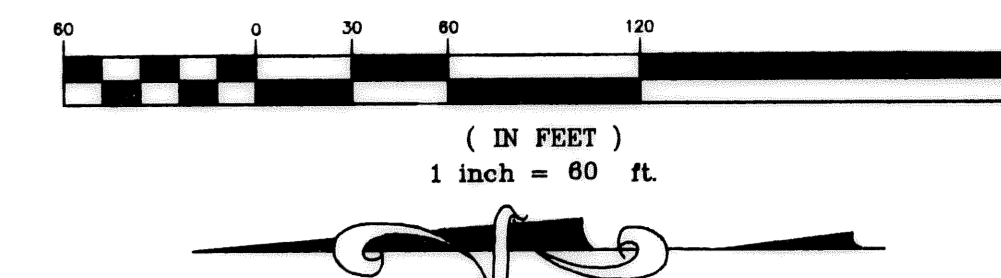
PART OF PERMANT PARCEL NO. 04-00-107-118-043 WHICH IS OWNED BY THE CITY OF AVON LAKE IS INCLUDED IN THE RIGHT OF WAY OF CENTENNIAL DRIVE & THE CONTIGUOUS UTILITY EASEMENT AS SHOWN ON SHEET NO. 2
 MAYOR OF THE CITY OF AVON LAKE: *Robert J. Berner*
 ROBERT J. BERNER (MAYOR)

PLANS PREPARED FOR:

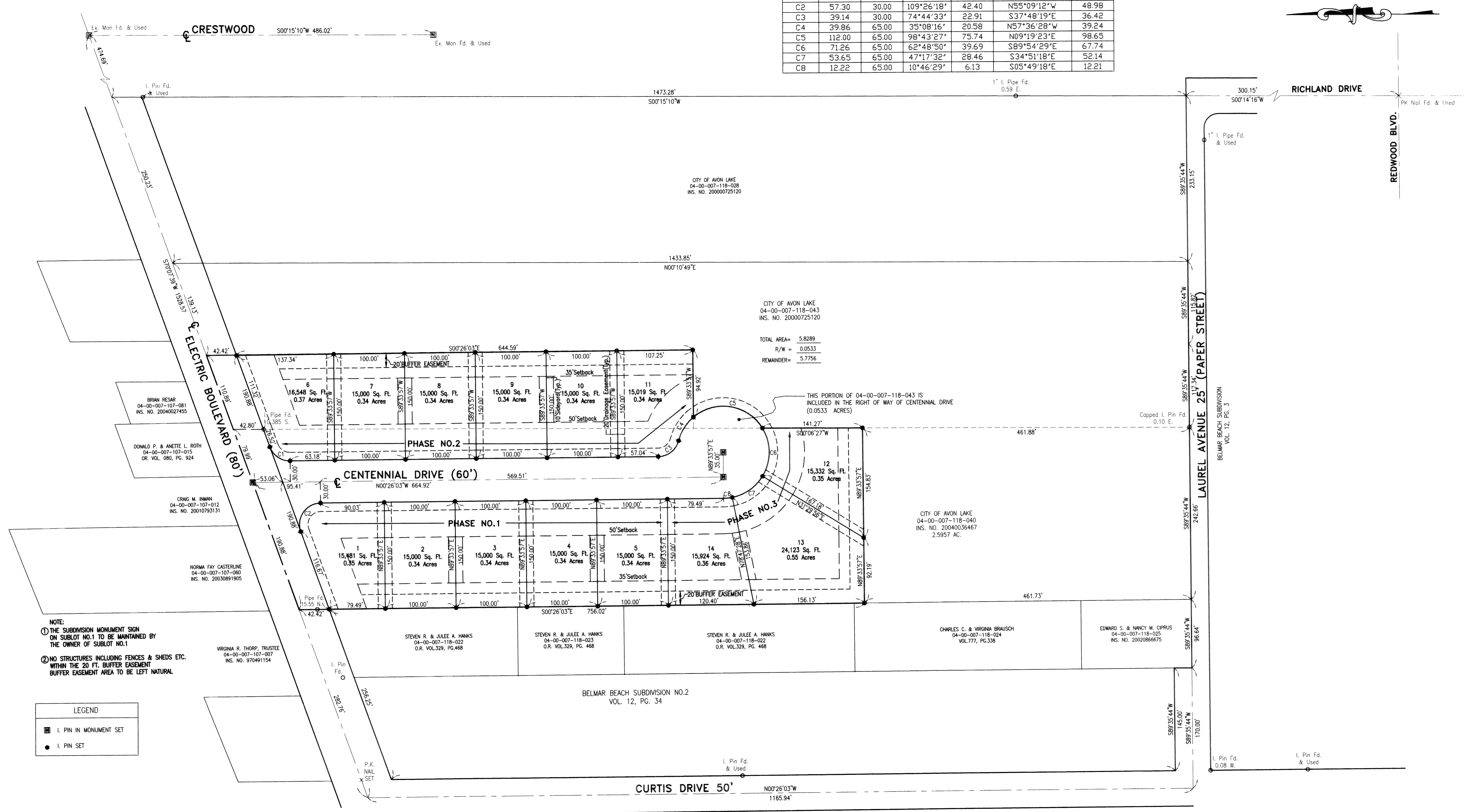
CENTENNIAL ESTATES
 170 MALLARD CREEK RUN
 LAGRANGE, OH 44050
 440-458-8000

J.A.R. Engineering & Surveying, Inc.
 CONSULTING ENGINEERS / SURVEYORS
 24629 DETROIT ROAD WESTLAKE, OHIO 44145
 Phone: (440)-871-8345

1
2
09/05



CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C1	36.95	30.00	70°33'42"	21.23	S34°50'48"W	34.66
C2	57.30	30.00	109°26'18"	42.40	N55°09'12"W	48.98
C3	39.14	30.00	74°44'33"	22.91	S37°48'19"E	36.42
C4	39.86	65.00	35°08'16"	20.58	N57°36'28"W	39.24
C5	112.00	65.00	98°43'27"	75.74	N09°19'23"E	98.65
C6	71.26	65.00	62°48'50"	39.69	S89°54'29"E	67.74
C7	53.65	65.00	47°17'32"	28.46	S34°51'18"E	52.14
C8	12.22	65.00	10°46'29"	6.13	S05°49'18"E	12.21



NOTE:
 ① THE SUBDIVISION MONUMENT SIGN ON SUBLOT NO.1 TO BE MAINTAINED BY THE OWNER OF SUBLOT NO.1
 ② NO STRUCTURES INCLUDING FENCES & SHEDS ETC. WITHIN THE 20 FT. BUFFER EASEMENT BUFFER EASEMENT AREA TO BE LEFT NATURAL

LEGEND	
	I. PIN IN MONUMENT SET
	I. PIN SET

TOTAL AREA= 5.8289
 R/W = 0.0533
 REMAINDER= 5.7756

CITY OF AVON LAKE
 04-00-007-118-040
 INS. NO. 20040036467
 2.5957 AC.

J.A.R. Engineering & Surveying, Inc.
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PLAT FOR CENTENNIAL ESTATES SUBDIVISION
 ELECTRIC BLVD.
 AVON LAKE, OHIO

REVISIONS	DATE	DESCRIPTION