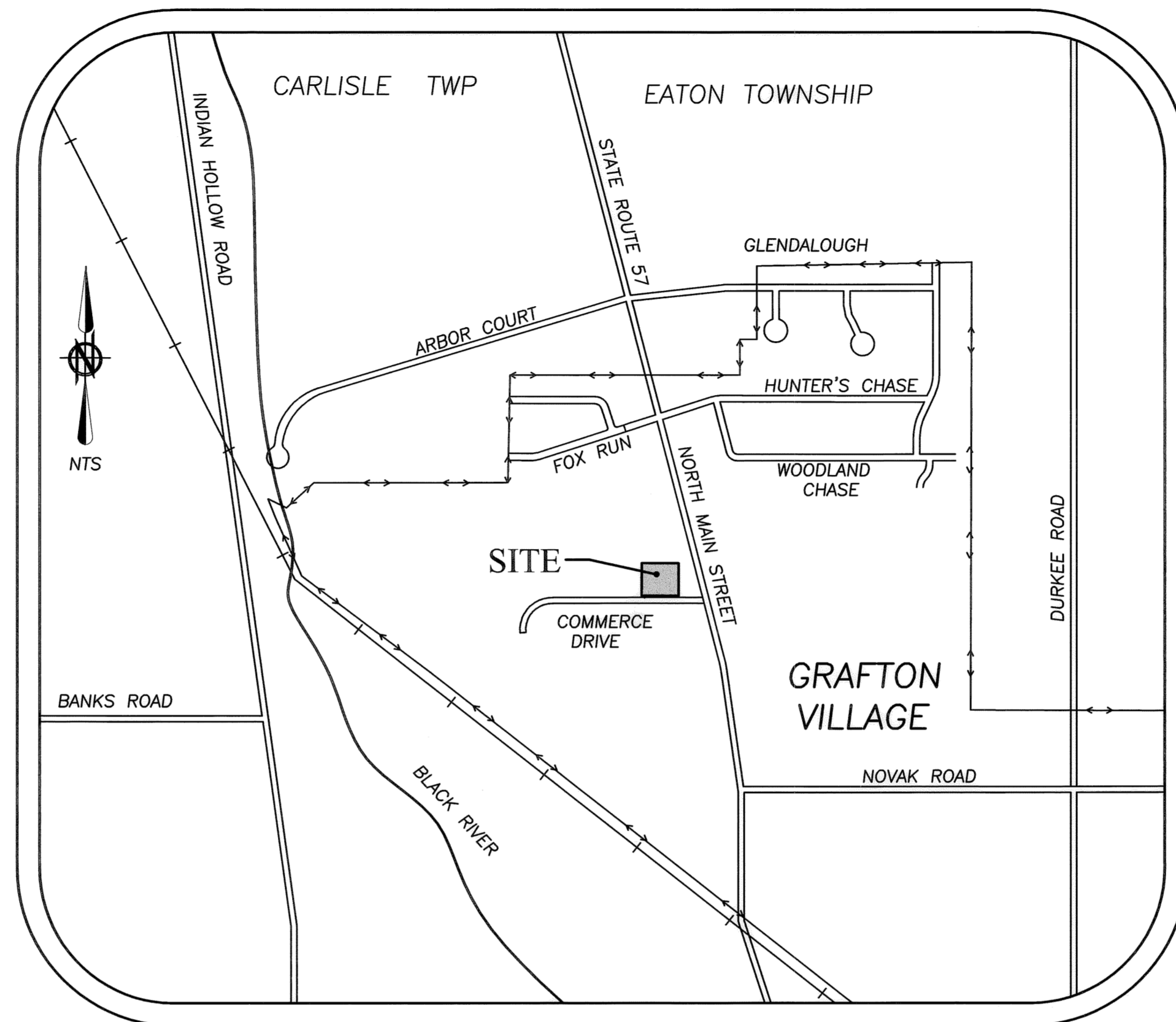


# COMMERCE PARK CONDOMINIUM

SITUATED IN THE VILLAGE OF GRAFTON, COUNTY OF LORAIN, STATE OF OHIO, KNOWN AS BEING PART OF ORIGINAL EATON TOWNSHIP LOT NUMBER 99.

## UNITS 1, 2, & 3



VICINITY MAP  
NTS

### OWNER'S CERTIFICATE:

SITUATED IN THE VILLAGE OF GRAFTON, COUNTY OF LORAIN, STATE OF OHIO, KNOWN AS BEING PART OF ORIGINAL EATON TOWNSHIP LOT NUMBER 99 AND CONTAINING WITHIN SAID BOUNDS 0.8098 OF AN ACRE OF LAND, BE THE SAME MORE OR LESS, BUT SUBJECT TO ALL LEGAL HIGHWAYS AND EASEMENTS.

THE UNDERSIGNED FURTHER AGREES THAT ANY USE OF IMPROVEMENTS MADE ON THIS LAND SHALL BE IN CONFORMITY WITH ALL EXISTING PLATTING, ZONING, HEALTH OR OTHER LAWFUL RULES OR REGULATIONS OF THE CITY OF LORAIN, OHIO, FOR THE BENEFIT OF ALL OTHER SUBSEQUENT PARTIES TAKING TITLE FROM, UNDER OR THROUGH THE UNDERSIGNED.

THE DIMENSIONS SHOWN ON THE PLAT ARE IN FEET AND DECIMAL PARTS THEREOF. EASEMENTS ARE RESERVED WHERE INDICATED ON THE PLAT AND ARE PROVIDED IN THE DECLARATION FOR THE COMMERCE DRIVE CONDOMINIUM, ABOVE AND BENEATH THE SURFACE OF THE GROUND.

IN WITNESS WHEREOF, THE UNDERSIGNED HAVE HEREUNTO SET THEIR HANDS THIS 19<sup>th</sup> DAY OF April, 2005.

(KRMG, INC.)

WITNESS: \_\_\_\_\_

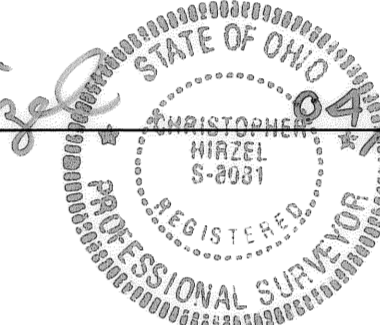
BY: K. J. Flanigan, Pres.

KEVIN FLANIGAN (MEMBER)

### SURVEYOR'S CERTIFICATE

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS PLAT, AS SHOWN ON SHEET 1 & 2, WAS PREPARED FROM AN ACTUAL SURVEY; THAT THE SAME SHOWS GRAPHICALLY, INSOFAR AS POSSIBLE, THE LOCATION OF BOUNDARIES, THE LAYOUT, LOCATION, DESIGNATION AND DIMENSIONS OF THE BUILDINGS, COMMON AREAS AND LIMITED COMMON AREAS, THE LOCATION AND DIMENSIONS OF ALL APPURTENANT EASEMENTS; THAT THERE ARE NO ENCROACHMENTS UPON THE SUBJECT PREMISES NOR FROM THE SUBJECT PREMISES, OTHER THAN SHOWN; THAT ALL THE PROPERTIES SURVEYED, INCLUDING THE RIGHT-OF-WAY LINES ARE CONTIGUOUS TO THE PERIMETER LINES OF THE PREMISES ALONG THEIR ENTIRE LENGTH. THE PURPOSE OF THIS CERTIFICATION IS TO COMPLY WITH THE PROVISIONS OF SECTION 5311.07 OF THE OHIO REVISED CODE.

Christopher M. Hirzel 04/13/2005  
CHRISTOPHER M. HIRZEL, P.S.  
REGISTERED SURVEYOR NUMBER S-8081



I HEREBY CERTIFY THAT THE ATTACHED ARCHITECTURAL DRAWINGS, AS SHOWN ON SHEETS 3 THROUGH 5, ACCURATELY REPRESENT THE BUILDINGS AS CONSTRUCTED.

George J. Poulos 04.22.2005  
GEORGE J. POULOS  
REGISTERED ARCHITECT NUMBER 7499

### NOTARIAL SEAL:

STATE OF OHIO  
SS

COUNTY OF  
BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, DID PERSONALLY APPEAR KRMG, INC., AN OHIO CORPORATION, BY KEVIN FLANIGAN, ITS PRESIDENT, WHO ACKNOWLEDGED THE SIGNING OF THIS PLAT TO BE HIS OWN FREE ACT AND DEED AND THE FREE ACT AND DEED OF SAID CORPORATION, FOR THE USE AND PURPOSES THEREIN EXPRESSED.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THIS 19<sup>th</sup> DAY OF April, 2005.

BY: Jay G. Marcie, NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_

JAY G. MARCIE  
Attorney At Law  
Notary Public, State of Ohio  
Lifetime Commission

### INDEX OF SHEETS

|  |   |
|--|---|
| TITLE SHEET . . . . .                                  | 1 |
| SITE & BUILDING LOCATION PLAN . . . . .                | 2 |
| FOUNDATION & FLOOR PLAN . . . . .                      | 3 |
| FRONT, REAR, & SIDE BUILDING ELEVATION VIEWS . . . . . | 4 |
| SECTIONS & SPECIFICATIONS . . . . .                    | 5 |

| UNIT BREAKDOWN |             |              |                      |
|----------------|-------------|--------------|----------------------|
| UNIT           | AREA (S.F.) | AREA (ACRES) | PERCENT OF OWNERSHIP |
| No. 1          | 1,395       | 0.0320       | 25.00%               |
| No. 2          | 1,395       | 0.0320       | 25.00%               |
| No. 3          | 2,790       | 0.0641       | 50.00%               |
| Total          | 5,580       | 0.1281       | 100.00%              |

Common Area: 29,694.85 (Area in S.F.) 0.6817 (Area in acres)  
Total Site Acreage: 35,274.89 (Area in S.F.) 0.8098 (Area in acres)

TRANSFERRED  
IN COMPLIANCE WITH SEC. 319-202  
OHIO REV. CODE  
APR 25 2005  
MARK R. STEWART  
LORAIN COUNTY AUDITOR

LORAIN COUNTY AUDITOR

LORAIN COUNTY RECORDER

P:\031611\DRAWINGS\DWG\PLAT.dwg

| DATE    | BY  | DESCRIPTION       |
|---------|-----|-------------------|
| 3/1/05  | CMH | ISSUED FOR REVIEW |
| 4/13/05 | CMH | UPDATED TITLE     |
|         |     |                   |
|         |     |                   |

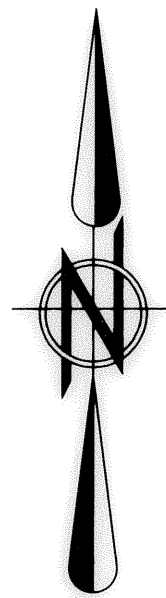
DRAWN BY: AMK  
CHECKED BY: CMH

**BRAMHALL**  
ENGINEERING AND SURVEYING CO., INC.  
37307 HARVEST DRIVE AVON, OHIO 44011  
(440) 934 - 7878 (440) 934 - 7879 FAX

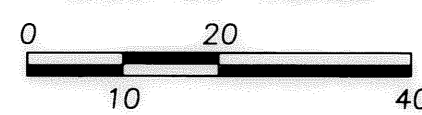
PREPARED FOR:  
KRMG, INC.  
P.O. BOX 26  
GRAFTON, OHIO 44044  
(440) 926-2411

COMMERCE PARK CONDOMINIUM  
PLAT  
VILLAGE OF GRAFTON, COUNTY OF LORAIN,  
STATE OF OHIO

SHEET  
1 OF 5  
JOB NO.  
03-1611



GRAPHIC SCALE

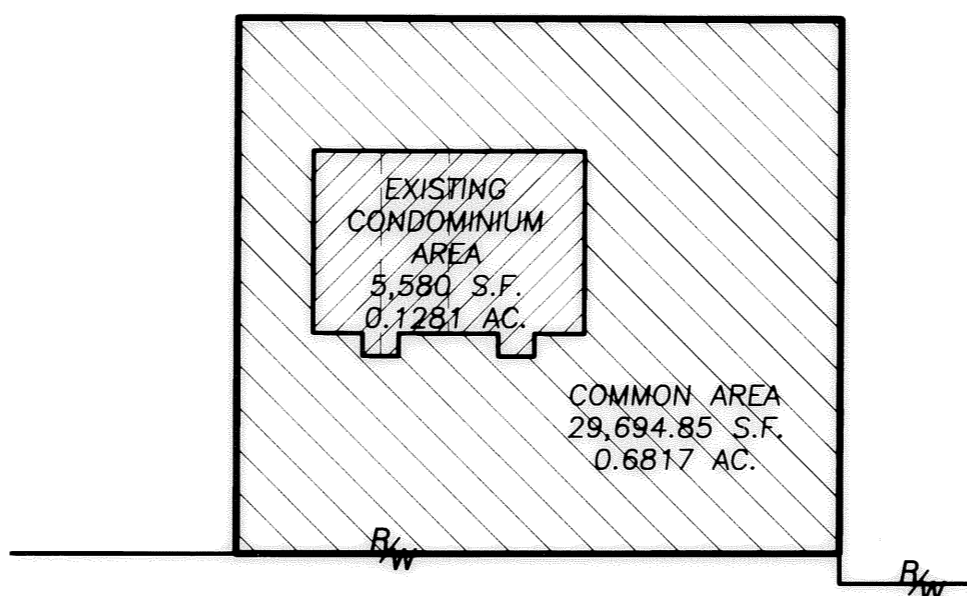


(IN FEET)

SCALE: 1" = 20'

LEGEND OF SYMBOLS AND LINETYPES

- CENTERLINE
- EASEMENT
- PAVEMENT
- SETBACK LINES
- 5/8" REBAR FOUND WITH CAP STAMPED "BRAMHALL"
- IRON PIN/PIPE FOUND
- PK NAIL FOUND
- CENTERLINE
- RIGHT-OF-WAY



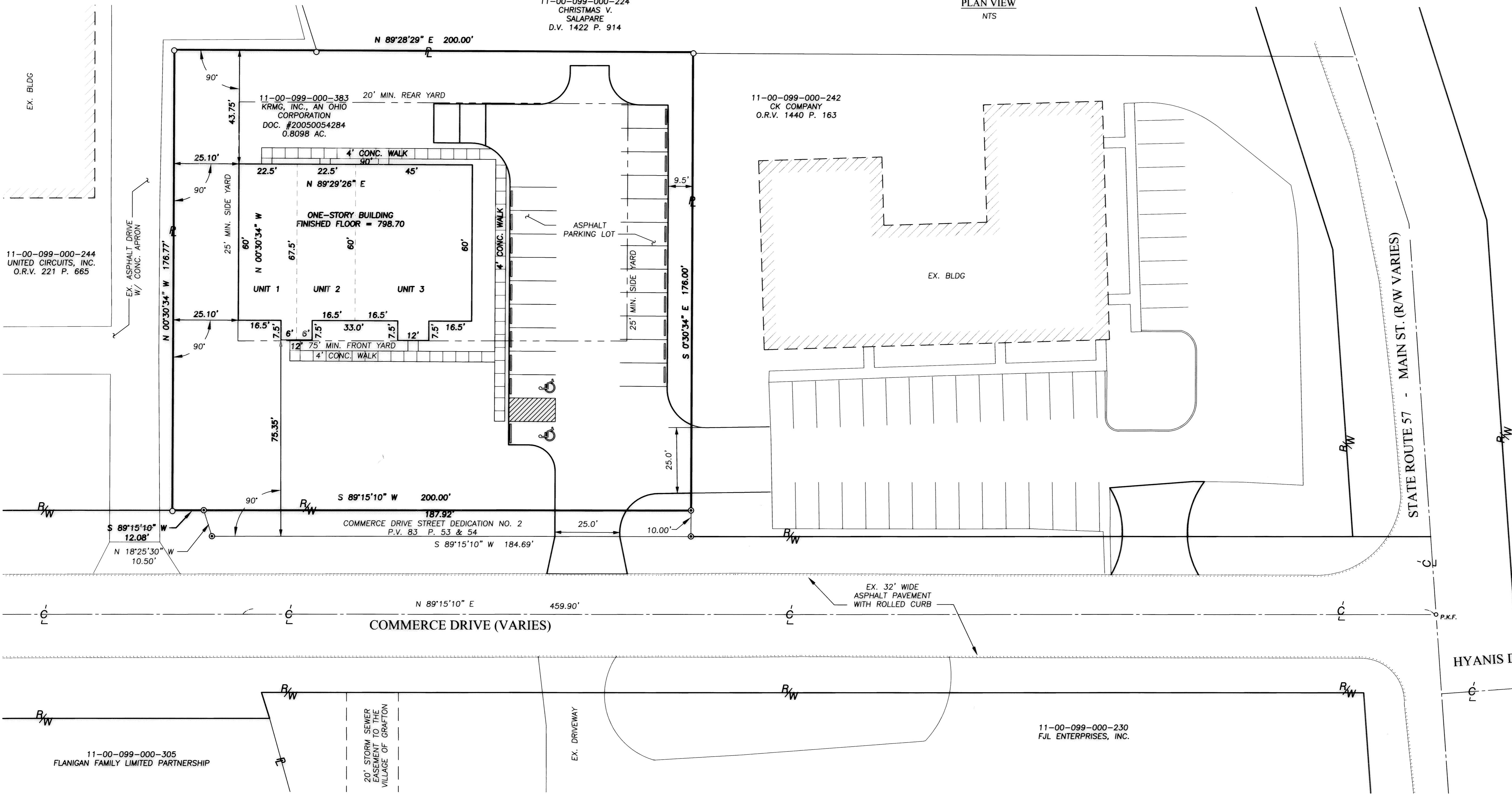
COMMERCE DRIVE (VARIES)

PLAN VIEW  
NTS

11-00-099-000-224  
CHRISTMAS V.  
SALAPARE  
D.V. 1422 P. 914

11-00-099-000-242  
CK COMPANY  
O.R.V. 1440 P. 163

11-00-099-000-244  
UNITED CIRCUITS, INC.  
O.R.V. 221 P. 665



COMMERCE DRIVE (VARIES)

HYANIS DRIVE (60')

J:\031611\DRAWINGS\DWG\PLAT.dwg

| DATE    | BY  | DESCRIPTION       |
|---------|-----|-------------------|
| 3/1/05  | CLH | ISSUED FOR REVIEW |
| 4/13/05 | CLH | UPDATED TITLE     |
|         |     |                   |
|         |     |                   |
|         |     |                   |

DRAWN BY:  
AMK

CHECKED BY:  
CLH

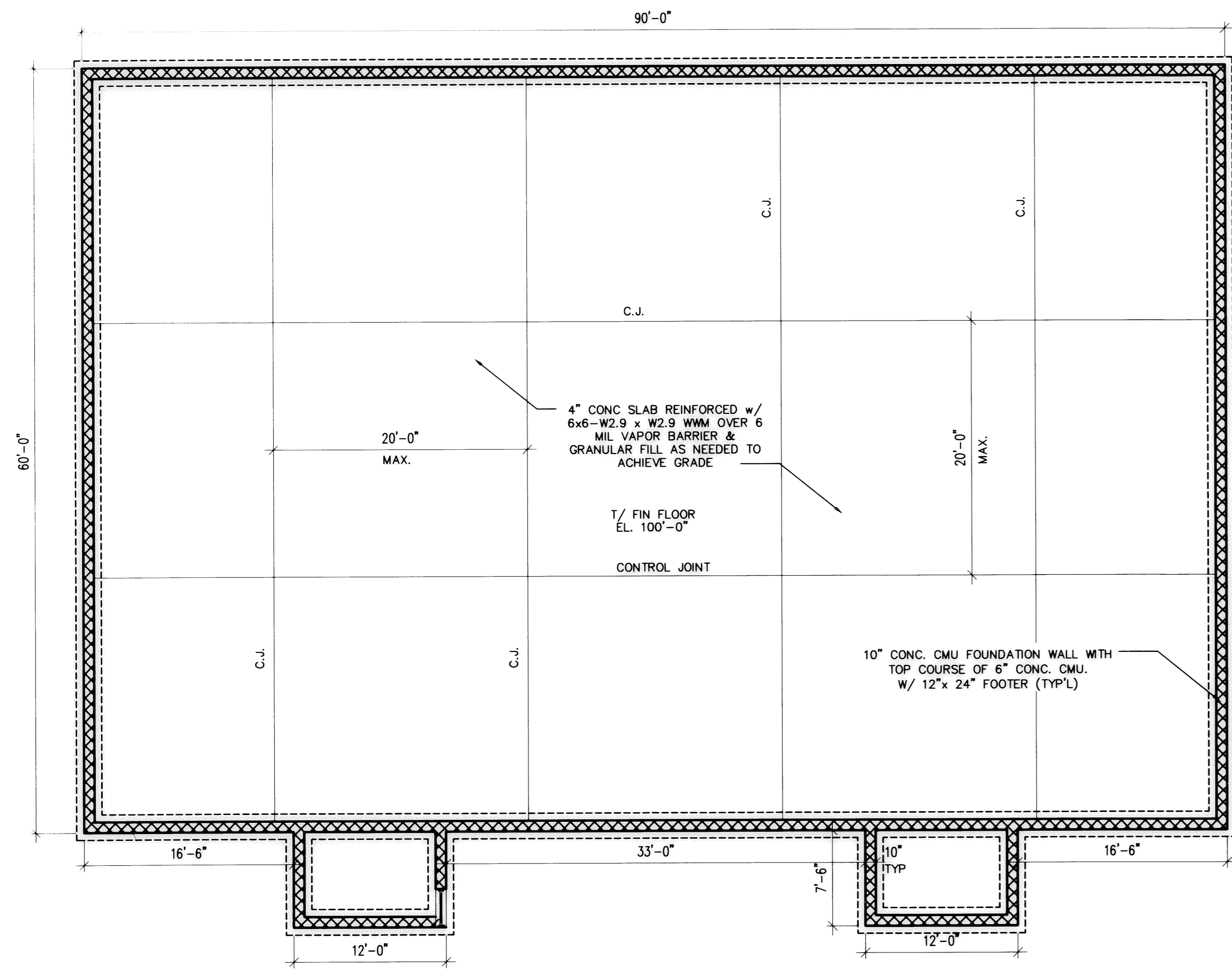
**BRAMHALL**  
ENGINEERING AND SURVEYING CO., INC.  
37307 HARVEST DRIVE AVON, OHIO 44011  
(440) 934 - 7878 (440) 934 - 7879 FAX

PREPARED FOR:

KRMG, INC.  
P.O. BOX 26  
GRAFTON, OHIO 44044  
(440) 926-2411

COMMERCE PARK CONDOMINIUM  
PLAT  
VILLAGE OF GRAFTON, COUNTY OF LORAIN,  
STATE OF OHIO

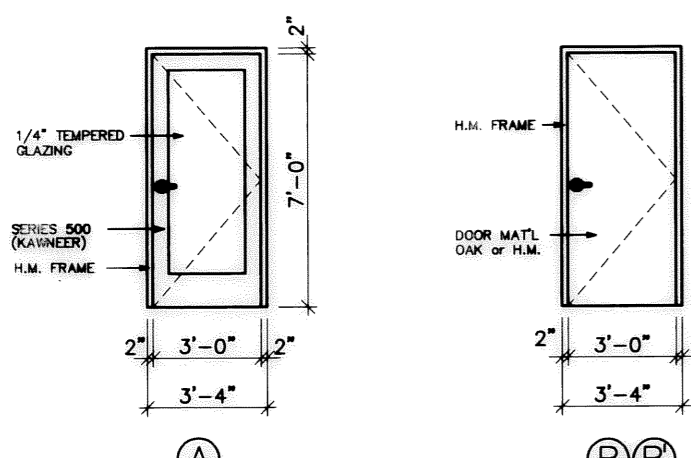
SHEET  
2 OF 5  
JOB NO.  
03-1611



FOUNDATION PLAN

SCALE: 1/8"=1'-0"

| DOOR SCHEDULE |      |         |       |       |        |       |      |      |       |                    |      |      |         |       |       |        |       |      |      |       |                                      |  |
|---------------|------|---------|-------|-------|--------|-------|------|------|-------|--------------------|------|------|---------|-------|-------|--------|-------|------|------|-------|--------------------------------------|--|
| MARK          | TYPE | MAT'L   | WIDTH | HGT.  | THICK  | FRAME |      |      | HDWE. | REMARKS            | MARK | TYPE | MAT'L   | WIDTH | HGT.  | THICK  | FRAME |      |      | HDWE. | REMARKS                              |  |
|               |      |         |       |       |        | HEAD  | JAMB | SILL |       |                    |      |      |         |       |       |        | HEAD  | JAMB | SILL |       |                                      |  |
| MAIN FLOOR    |      |         |       |       |        |       |      |      |       |                    |      |      |         |       |       |        |       |      |      |       |                                      |  |
| 01            | A    | ALUM/GL | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | ALUM | 1     | KAWNEER SERIES 500 | 13   | B'   | WOOD    | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | -    | 4     |                                      |  |
| 02            | A    | ALUM/GL | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | ALUM | 1     | KAWNEER SERIES 500 | 14   | B'   | WOOD    | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | -    | 3     |                                      |  |
| 03            | A    | ALUM/GL | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | ALUM | 1     | KAWNEER SERIES 500 | 15   | B'   | WOOD    | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | -    | 4     |                                      |  |
| 04            | A    | ALUM/GL | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | ALUM | 1     | KAWNEER SERIES 500 | 16   | B'   | WOOD    | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | -    | 3     |                                      |  |
| 05            | A    | ALUM/GL | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | ALUM | 1     | KAWNEER SERIES 500 | 17   | B'   | WOOD    | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | -    | 6     |                                      |  |
| 06            | A    | ALUM/GL | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | ALUM | 1     | KAWNEER SERIES 500 | 18   | A    | ALUM/GL | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | -    | 5     | KAWNEER SERIES 500 MFR HDWR AS REQ'D |  |
| 07            | B    | METAL   | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | ALUM | 2     | INSULATED          | 19   | B    | METAL   | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | ALUM | 2     | INSULATED                            |  |
| 08            | B    | METAL   | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | ALUM | 2     | INSULATED          | 20   | B'   | WOOD    | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | -    | 6     |                                      |  |
| 09            | B    | METAL   | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | ALUM | 2     | INSULATED          | 21   | B'   | WOOD    | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | -    | 4     |                                      |  |
| 10            | B    | METAL   | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | ALUM | 2     | INSULATED          | 22   | B'   | WOOD    | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | -    | 4     |                                      |  |
| 11            | B'   | WOOD    | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | -    | 4     |                    | 23   | B'   | WOOD    | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | -    | 3     |                                      |  |
| 12            | B'   | WOOD    | 3'-0" | 7'-0" | 1 3/4" | H.M.  | H.M. | -    | 3     |                    | 24   | -    | WOOD    | 7'-0" | 7'-0" | 1 3/4" | -     | -    | -    | -     | BI-FOLD                              |  |



DOOR ELEVATIONS/TYPES

NOTE: ALL DOORS SHALL CARRY A MIN. ONE YEAR WARRANTY OR GREATER IF PROVIDED BY THE MANUFACTURER.

DOOR HARDWARE SETS:

- SET #1**  
3-Kawneer Butt Hinges  
1-Plastic Bar Kawneer "Dor-O-Matic" 1490 w/ G2 Pull  
1-Close  
1-Threshold  
1-Weatherstripping  
1-Cylinders by Hardware Supplier
- SET #2**  
3-Hinges  
1-Lockset - Entry  
1-Dead Bolt  
1-Close  
1-Weatherstripping  
1-Threshold
- SET #3**  
3-Hinges  
1-Lockset - Privacy  
1-Close  
1-Door Stop
- SET #4**  
3-Hinges  
1-Lockset - Storeroom  
1-Door Stop
- SET #5**  
3-Hinges  
1-Lockset - Office  
1-Cylinders by Hardware Supplier
- SET #6**  
3-Hinges  
1-Latch - Passage  
1-Door Stop

NOTE: FINISHES TO BE AS SELECTED BY OWNER. ASSUME MID-RANGE PRICE FINISH AS BASE BID. SPECIFY FINISH THAT MATCHES BID.

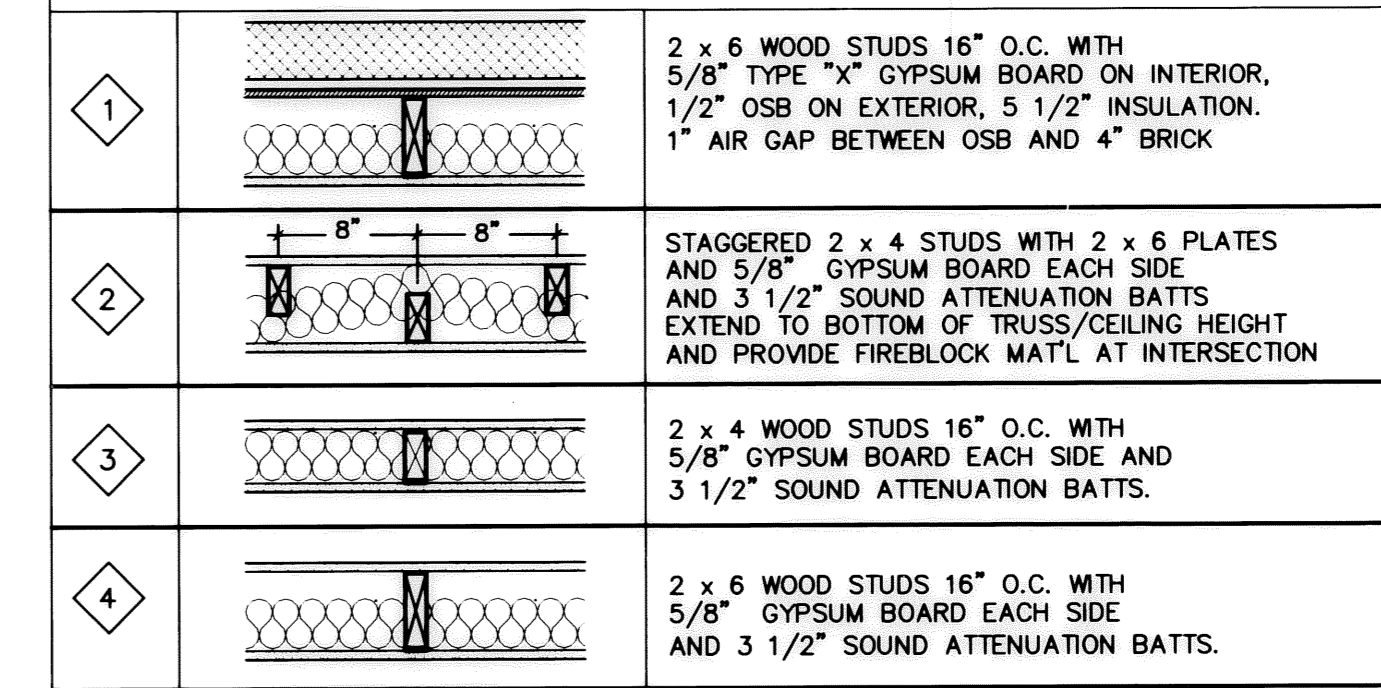
DOOR NOTES

- ALL DOOR HARDWARE SHALL MEET A.D.A. REQUIREMENTS AND SHALL BE GRADE 1. EGRESS DOOR HARDWARE SHALL COMPLY WITH O.B.C. SECTION 1003. REFER TO SCHEDULE FOR HARDWARE SELECTED. SUBMIT HARDWARE EQUIVALENTS TO ARCHITECT FOR APPROVAL.
- GENERAL CONTRACTOR TO VERIFY LOCKSET MANUFACTURING AND COORDINATE NEW KEYING SYSTEM WITH THE OWNER.
- ALL DOOR FRAMES TO BE 16 GAUGE (UNLESS NOTED OTHERWISE), PREPRIMED, HOLLOW METAL WITH 3 JAMB ANCHORS PER JAMB, UNLESS NOTED OTHERWISE. FINISH METAL DOORS AND FRAMES PER PAINT SPECIFICATION #4.

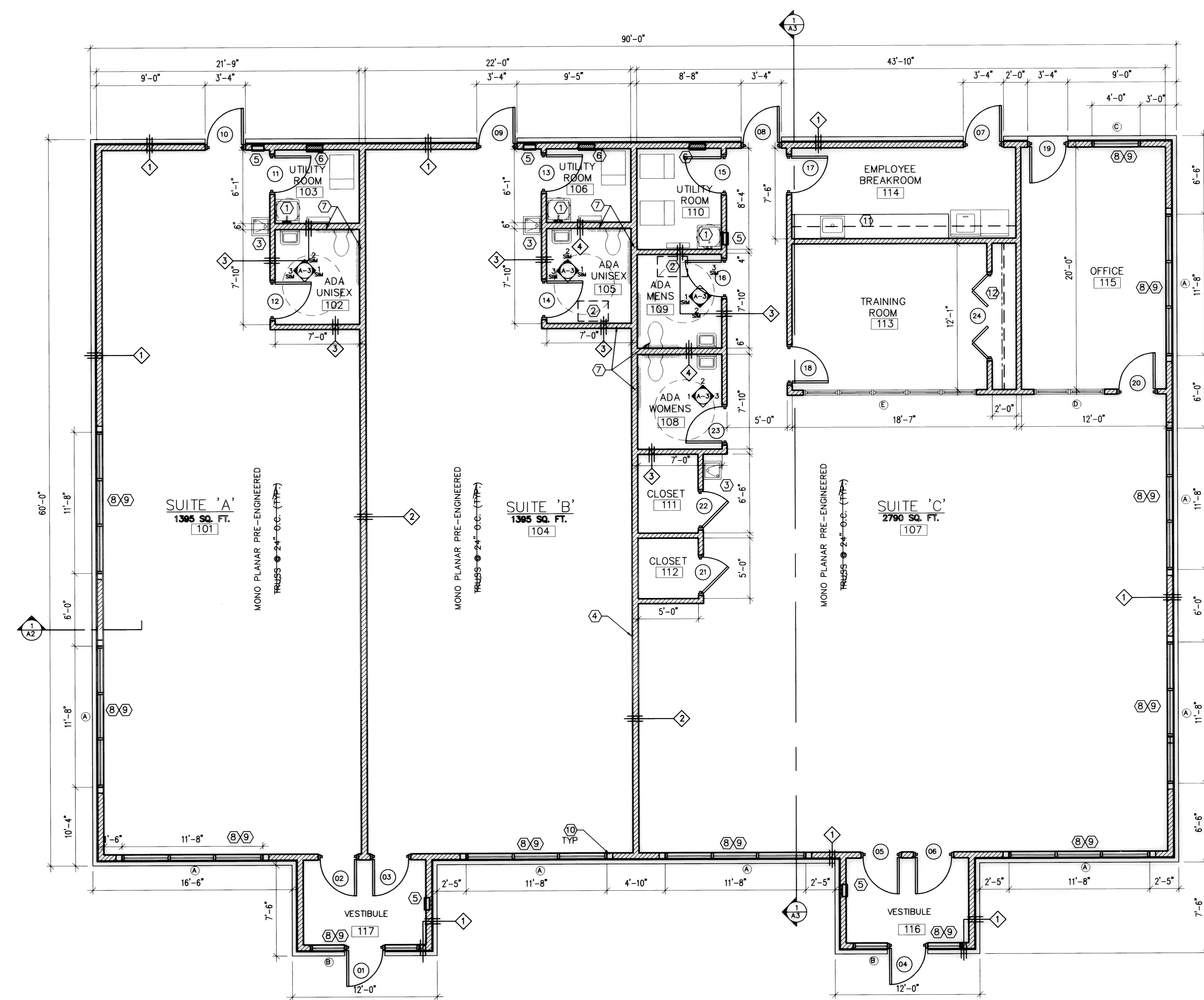
CODED NOTES

- JANITOR SINK WITH HOT WATER TANK ABOVE. SEE PLUMBING DWG P1.
- ATTIC ACCESS THROUGH CEILING PANELS (MIN. 22" x 30" OPENING)
- ELECTRIC WATER COOLER. SEE SHEET P1.
- DRAFTSTOP: ALIGN ONE TRUSS ABOVE THE WALL AND INSTALL ONE LAYER OF 1/2" MIN. GYPSUM BOARD ON ONE SIDE FROM TOP OF WALL TO BOTTOM OF ROOF.
- FIRE EXTINGUISHER AND CABINET SEE DETAIL ON SHEET A3.
- ELECTRIC PANEL - SEE ELECTRICAL DRAWING
- 6" STUD WALL WITH BLOCKING TO SUPPORT PLUMBING FIXTURES
- HEADER TO CONSIST OF 3-11 7/8" LVL MICROLAM BEAMS NAILED TOGETHER ACCORDING TO MANUFACTURER RECOMMENDATIONS WITH MINIMUM 4" BEARING EACH SIDE.
- PLASTIC LAMINATE WINDOW SILL AND GYPSUM BOARD RETURN HEADER AT EACH WINDOW UNIT
- HEADER SUPPORT POST TO BE MINIMUM 3-2x6 AT EACH SIDE OF OPENING.
- BASE CABINETS WITH PLASTIC LAMINATE COUNTER (13 L.F.) AND WALL CABINETS ABOVE.
- ROD AND SHELF AT 60" ABOVE FLOOR.

WALL TYPES



- INTERIOR PARTITION NOTES**
- ALL WOOD STUD WALLS ARE TYPE 1 UNLESS NOTED OTHERWISE.
  - INTERIOR DIMENSIONS ON PLANS ARE TO FACE OF WOOD STUD OR FACE OF CMU UNLESS NOTED OTHERWISE. EXTERIOR DIMENSIONS ARE MASONRY AND/OR INDICATE OPENINGS IN MASONRY OR EIFS SYSTEMS.



FIRST FLOOR PLAN

SCALE: 3/16"=1'-0"

| REVISIONS | BY |
|-----------|----|
|           |    |
|           |    |
|           |    |
|           |    |

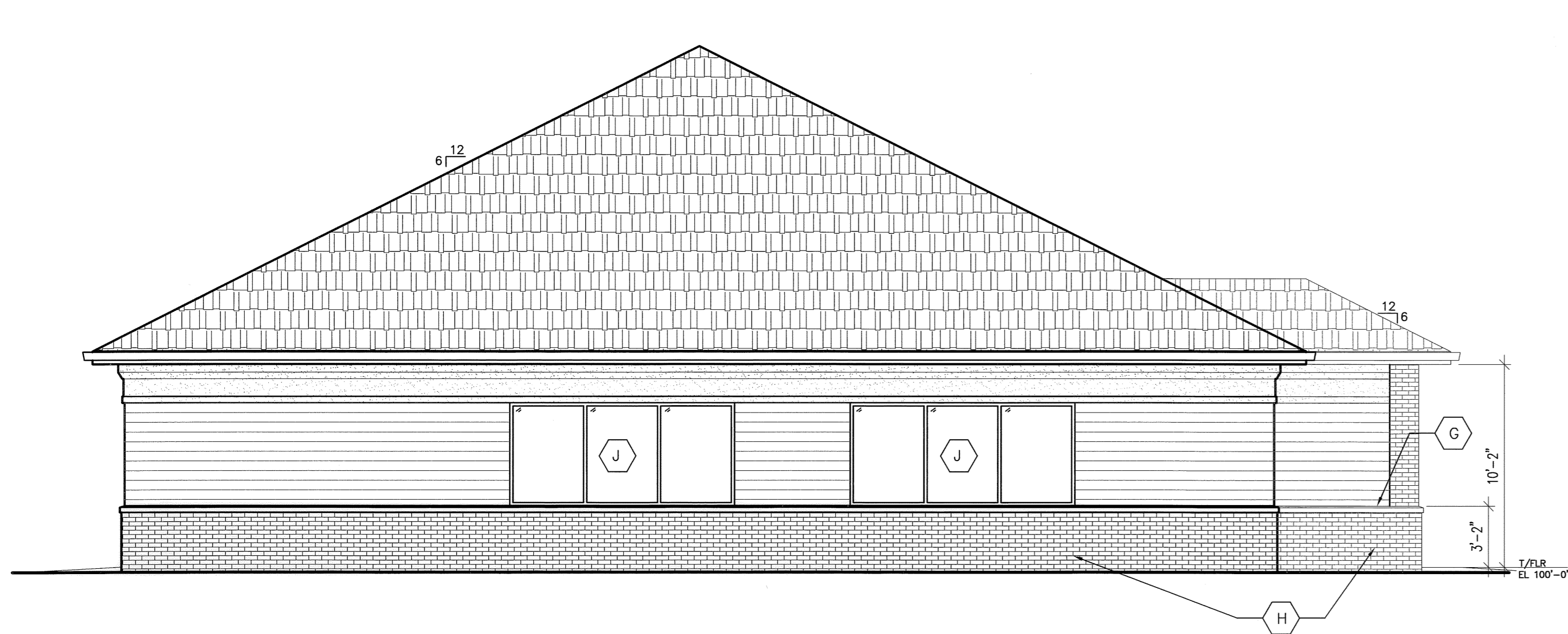
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**Poulos + Associates**  
architects inc.  
1717 East Parkline Ave. Sandusky, Ohio 44870 (419) 625-0006

Title FOUNDATION PLAN, FLOOR PLAN, NOTES AND SCHEDULES  
NEW BUILDING FOR:  
**COMMERCE PARK CONDOMINIUM**  
COMMERCE DRIVE  
GRAFTON, OHIO

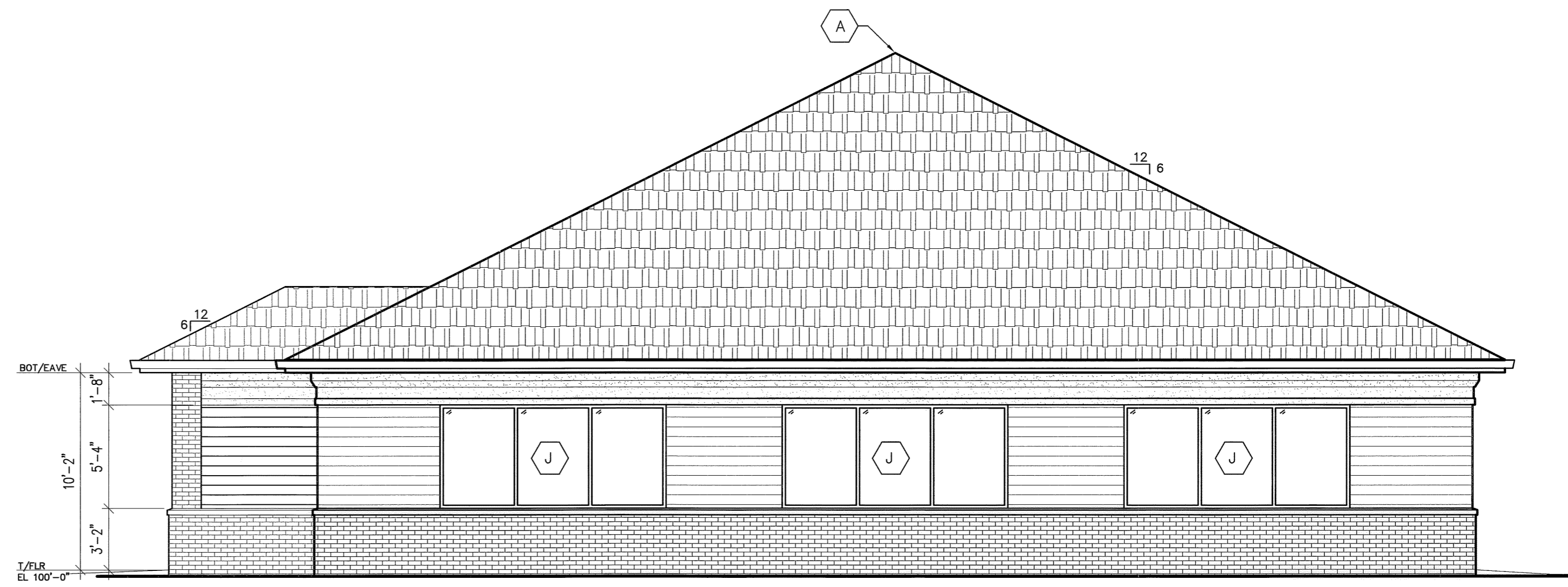


Date: AUG. 12, 2004  
Proj. No. 2404  
Sheet



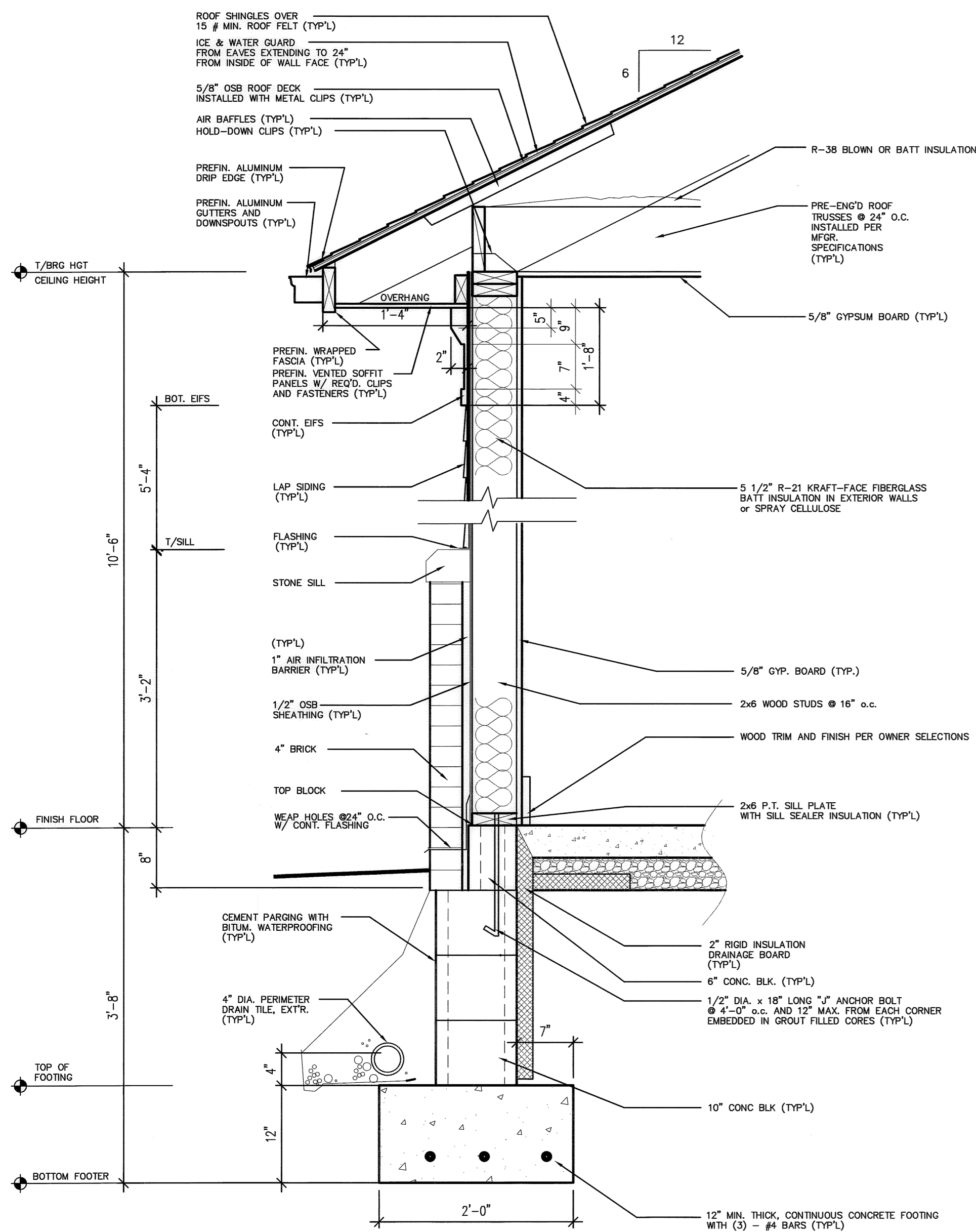
LEFT ELEVATION

SCALE: 3/16"=1'-0"



RIGHT ELEVATION

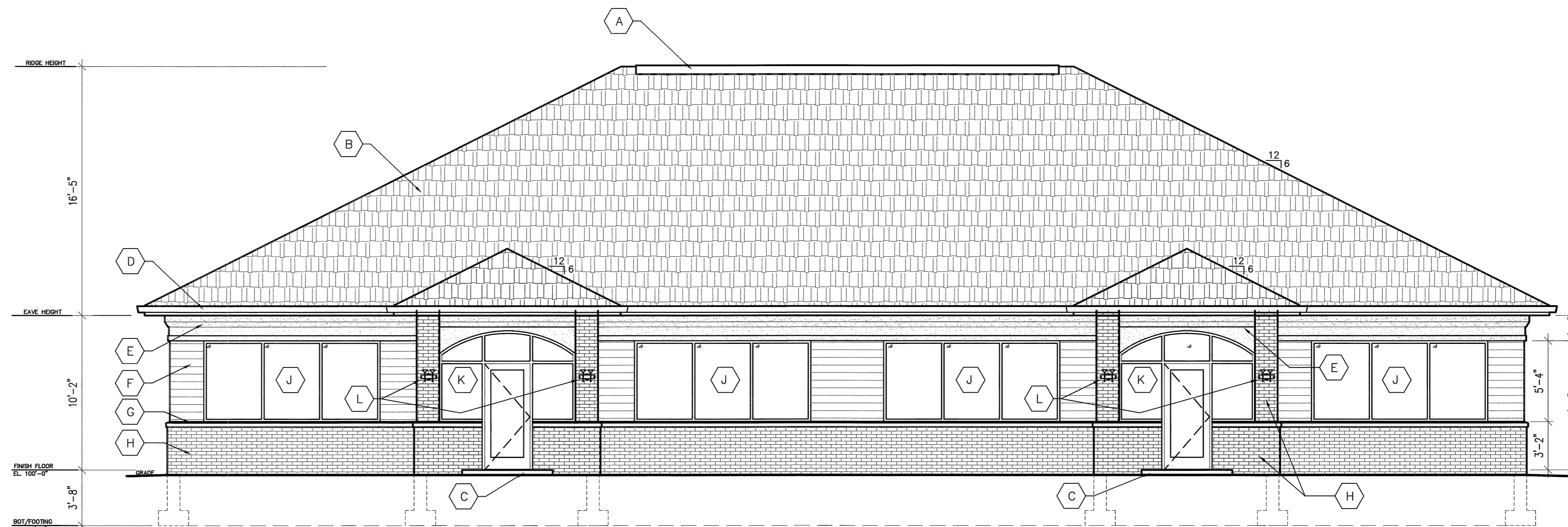
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WALL SECTION

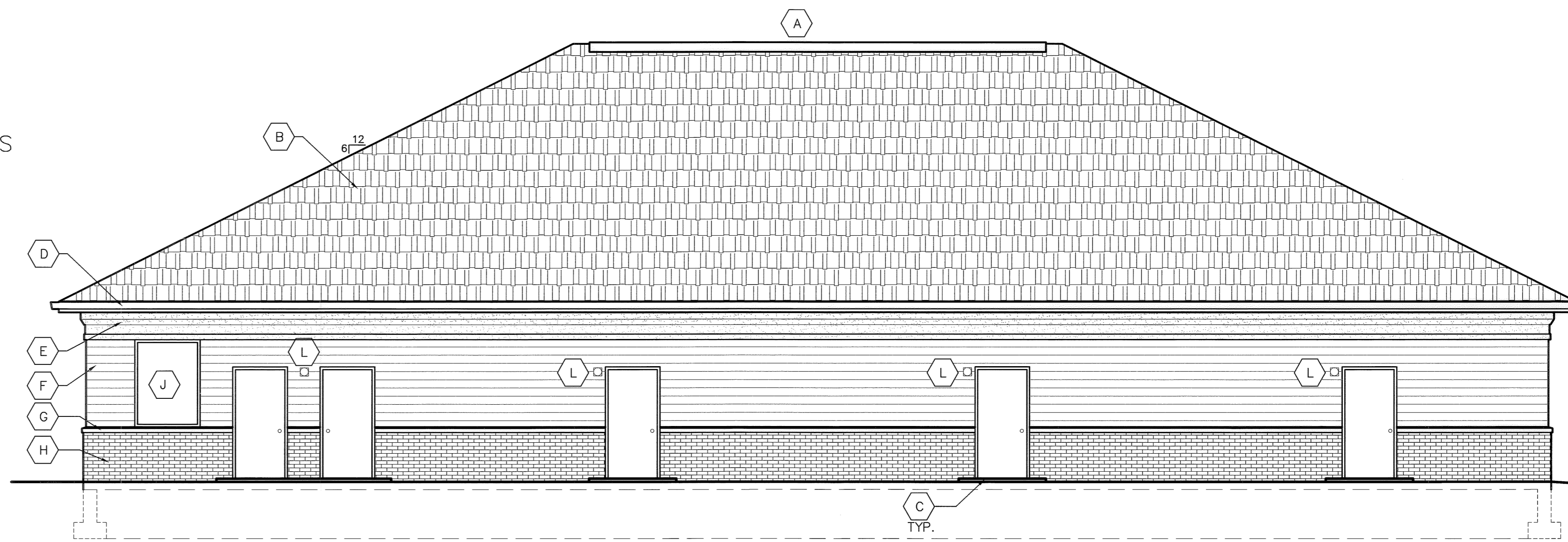
SCALE: 1"=1'-0"

1  
A2



FRONT ELEVATION

SCALE: 3/16"=1'-0"



BACK ELEVATION

SCALE: 3/16"=1'-0"

EXTERIOR FINISH KEY NOTES

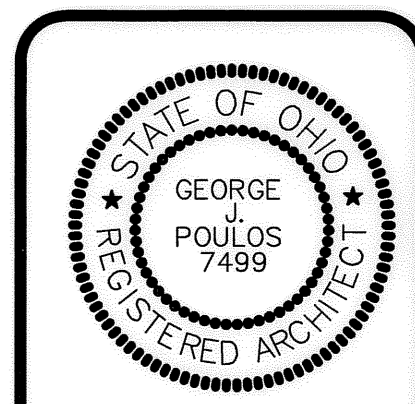
- (A) CONTINUOUS RIDGE VENT
- (B) ASPHALT SHINGLE ROOFING
- (C) CONCRETE WALKOUT PAD, RAMPED TO ENTRY
- (D) PRE FINISHED ALUMINUM GUTTER AND DOWNSPOUTS TYP.
- (E) EIFS
- (F) FIBERCEMENT BOARD LAP SIDING
- (G) STONE WATER TABLE BAND CONTINUOUS
- (H) FACE BRICK FINISH
- (J) ALUMINUM STOREFRONT GLASS WINDOWS SEE A3 WINDOW SCH. A
- (K) ALUMINUM STOREFRONT GLASS DOOR AND WINDOWS SEE A3 WINDOW SCH. B

| REVISIONS | BY |
|-----------|----|
|           |    |
|           |    |
|           |    |
|           |    |

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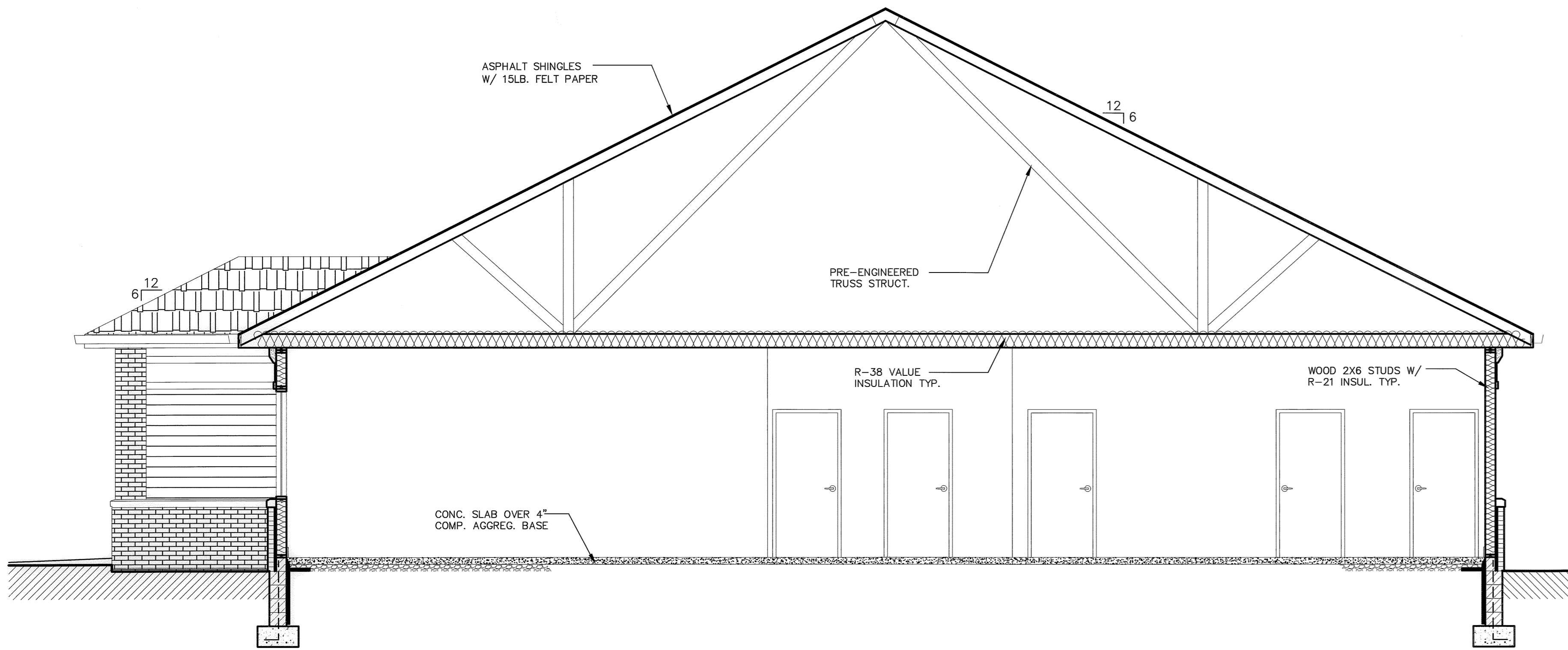
**Poulos + Associates**  
architects inc.  
1717 East Peninsula Ave. Sandusky, Ohio 44870 (419) 625-0008

Title ELEVATIONS AND DETAIL  
NEW BUILDING FOR:  
**COMMERCE PARK CONDOMINIUM**  
COMMERCE DRIVE  
GRAFTON, OHIO



Date: JULY 26, 2004  
Proj. No. 2404  
Sheet

A2  
SHEET 4 OF 5

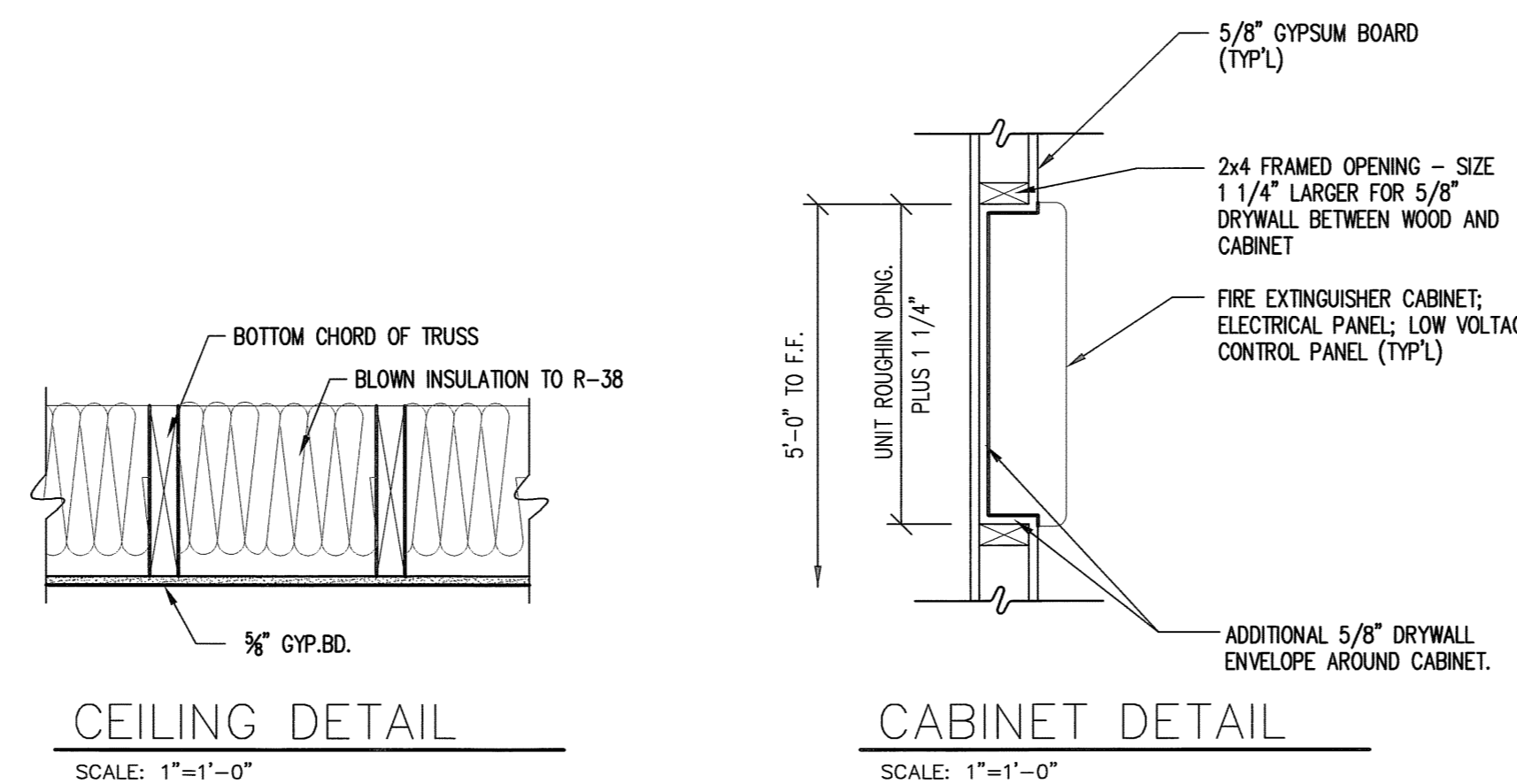
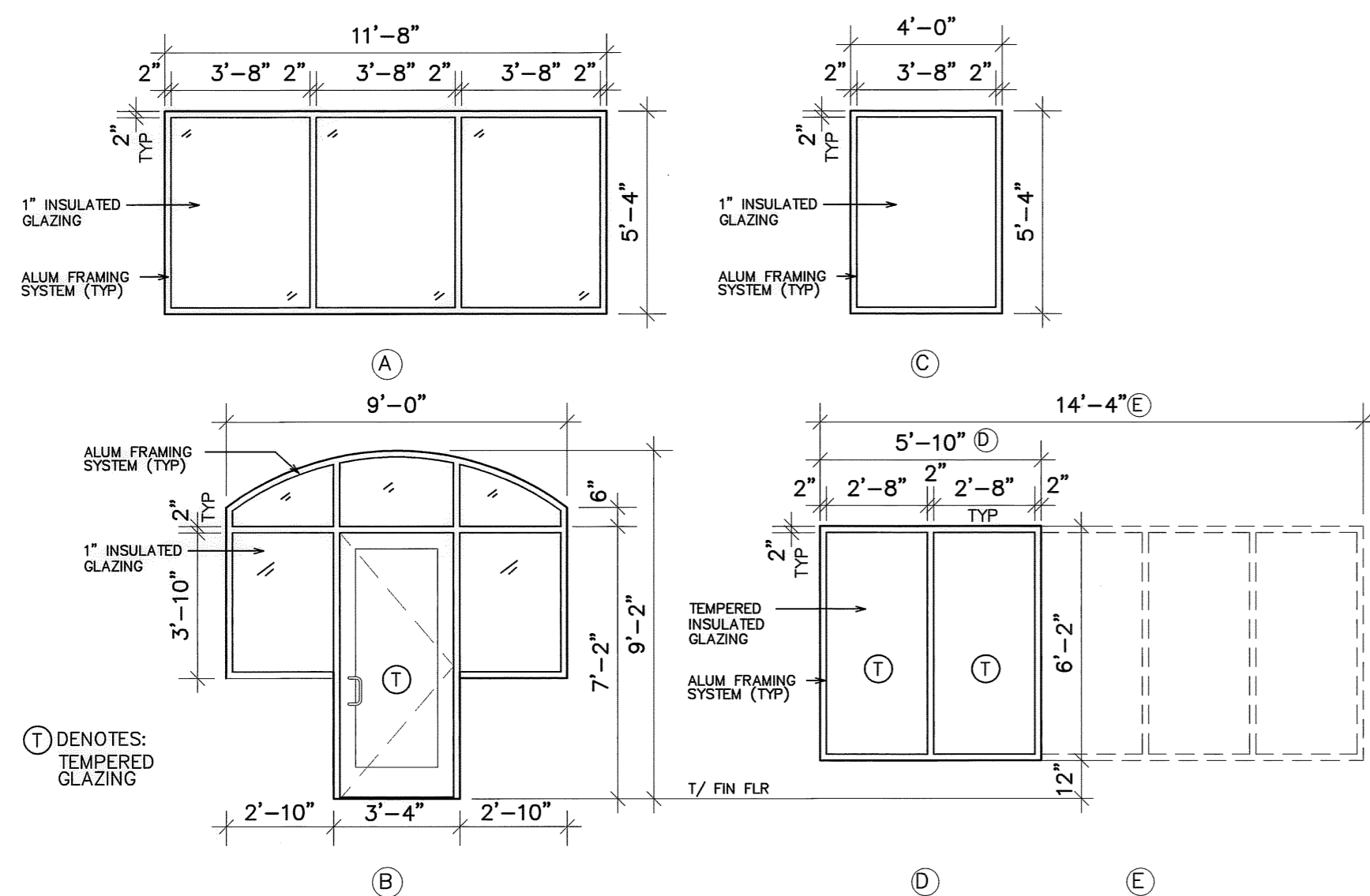


SECTION  
SCALE: 1/4"=1'-0"

| MARK | MFR. & MODEL NO.   | ROUGH ONPG (W x H)                                 | REMARKS   |
|------|--|--|---|
| A    | ALUMINUM FRAMING/GLAZING SYSTEM<br>TRIFAB VG 451 T<br>KAWNEER (OR APPROVED EQUIVALENT) | SEE ELEVATIONS<br>11'-8" x 5'-4"<br>(FIELD VERIFY) | FRAME FINISH: CLEAR ANODIZED                              |
| B    | ALUMINUM FRAMING/GLAZING SYSTEM<br>TRIFAB VG 451 T<br>KAWNEER (OR APPROVED EQUIVALENT) | SEE ELEVATIONS<br>FOR SIZES<br>(FIELD VERIFY)      | FRAME FINISH: CLEAR ANODIZED<br>DOOR: 500 SERIES ENTRANCE |
| C    | ALUMINUM FRAMING/GLAZING SYSTEM<br>TRIFAB VG 451 T<br>KAWNEER (OR APPROVED EQUIVALENT) | SEE ELEVATIONS<br>4'-0" x 5'-4"<br>(FIELD VERIFY)  | FRAME FINISH: CLEAR ANODIZED                              |
| D    | ALUMINUM FRAMING/GLAZING SYSTEM<br>TRIFAB VG 451 T<br>KAWNEER (OR APPROVED EQUIVALENT) | SEE ELEVATIONS<br>5'-10" x 6'-2"<br>(FIELD VERIFY) | FRAME FINISH: CLEAR ANODIZED                              |
| E    | ALUMINUM FRAMING/GLAZING SYSTEM<br>TRIFAB VG 451 T<br>KAWNEER (OR APPROVED EQUIVALENT) | SEE ELEVATIONS<br>14'-4" x 6'-2"<br>(FIELD VERIFY) | FRAME FINISH: CLEAR ANODIZED                              |

WINDOW NOTES

- PROVIDE AND INSTALL ALL NECESSARY FLASHINGS, MOLDING, AND ACCESSORIES REQUIRED BY THE MANUFACTURER FOR A COMPLETE INSTALLATION OF THE WINDOW UNITS.
- WINDOW SIZES LISTED IN SCHEDULE ARE FOR LISTED MANUFACTURER'S ONLY. IF SUBSTITUTING ANOTHER MANUFACTURER'S WINDOW UNITS, THEN VERIFY EACH OPENING SIZE PRIOR TO CONSTRUCTION.



CEILING DETAIL  
SCALE: 1"=1'-0"

CABINET DETAIL  
SCALE: 1"=1'-0"

PLUMBING/TOILET ACCESSORIES

| MARK | DESCRIPTION   | MOUNTING HGT.                           |
|------|---|---|
| 1    | RECESSED COMBINATION PAPER TOWEL DISPENSER AND WASTE RECEPTACLE. BOBRICK B-3699 | 74" A.F.F. (TOP OF UNIT)                |
| 2    | SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER. BOBRICK B-2888.             | 30" A.F.F. (TOP OF UNIT)                |
| 3    | SURFACE MOUNTED SOAP DISPENSER 40 OZ. CAPACITY. BOBRICK B-2111.                 | 44" A.F.F. MAX. (CENTER OF PUSH BUTTON) |
| 4    | 1 1/2" DIA. x 42" STAINLESS STEEL GRAB BARS. BOBRICK B-6806.99.42               | 34" A.F.F. (CENTER OF BAR)              |
| 5    | 1 1/2" DIA. x 36" STAINLESS STEEL GRAB BARS. BOBRICK B-6806.99.36.              | 34" A.F.F. (CENTER OF BAR)              |
| 6    | STAINLESS STEEL TILT MIRROR. BOBRICK B-293 SERIES 18"x36"                       | 46" A.F.F. (BOTT. OF UNIT)              |
| 7    | TRAP WRAP KIT (TYPICAL ALL RESTROOM LAVATORIES)                                 |   |
| 8    | SURFACE MOUNTED AUTOMATIC HAND DRYER BOBRICK B-710.                             | 38" A.F.F. MAX. (CENTER OF SENSOR)      |

- NOTES:
- GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL TOILET ROOM ACCESSORIES, ALL NECESSARY FASTENERS, AND BLOCKING, AS REQUIRED, FOR A SECURE MOUNTING.
  - PLUMBING FIXTURES ARE SPECIFIED ON PLUMBING DWG.
  - ARCHITECT HAS SPECIFIED "BOBRICK" ACCESSORIES. "AS" IS CONSIDERED AN EQUIVALENT.

| ROOM SCHEDULE |                     |      |      |       |    |    |    |      |           |                     |
|---------------|---------------------|------|------|-------|----|----|----|------|-----------|---------------------|
| MARK          | NAME                | FLR. | BASE | WALLS |    |    |    | CLG. | CLG. HGT. | REMARKS             |
|               |                     |      |      | N     | W  | S  | E  |      |           |                     |
| 101           | SUITE 'A'           | F1   | B1   | W2    | W2 | W2 | W2 | C3   | 10'-6"    | TENANT IMPROVEMENTS |
| 102           | ADA UNISEX RESTROOM | F3   | B2   | W1    | W1 | W1 | W1 | C1   | 9'-0"     |                     |
| 103           | UTILITY ROOM        | F2   | B3   | W1    | W1 | W1 | W1 | C2   | 10'-6"    |                     |
| 104           | SUITE 'B'           | F1   | B1   | W2    | W2 | W2 | W2 | C3   | 10'-6"    | TENANT IMPROVEMENTS |
| 105           | ADA UNISEX RESTROOM | F3   | B2   | W1    | W1 | W1 | W1 | C1   | 9'-0"     |                     |
| 106           | UTILITY ROOM        | F2   | B3   | W1    | W1 | W1 | W1 | C2   | 10'-6"    |                     |
| 107           | SUITE 'C'           | F1   | B1   | W2    | W2 | W2 | W2 | C3   | 10'-6"    | TENANT IMPROVEMENTS |
| 108           | WOMENS RESTROOM     | F3   | B2   | W1    | W1 | W1 | W1 | C1   | 9'-0"     |                     |
| 109           | MENS RESTROOM       | F3   | B2   | W1    | W1 | W1 | W1 | C1   | 9'-0"     |                     |
| 110           | UTILITY ROOM        | F2   | B3   | W1    | W1 | W1 | W1 | C2   | 10'-6"    |                     |
| 111           | CLOSET              | F1   | B1   | W1    | W1 | W1 | W1 | C2   | 10'-6"    | TENANT IMPROVEMENTS |
| 112           | CLOSET              | F1   | B1   | W1    | W1 | W1 | W1 | C2   | 10'-6"    | TENANT IMPROVEMENTS |
| 113           | TRAINING ROOM       | F1   | B1   | W1    | W1 | W1 | W1 | C1   | 9'-0"     | TENANT IMPROVEMENTS |
| 114           | EMPLOYEE BREAKROOM  | F2   | B3   | W1    | W1 | W1 | W1 | C1   | 9'-0"     |                     |
| 115           | OFFICE              | F1   | B1   | W1    | W1 | W1 | W1 | C1   | 9'-0"     | TENANT IMPROVEMENTS |
| 116           | VESTIBULE           | F4   | B3   | W1    | W1 | W1 | W1 | C2   | 10'-6"    |                     |
| 117           | VESTIBULE           | F4   | B3   | W1    | W1 | W1 | W1 | C2   | 10'-6"    |                     |

FINISH SPECIFICATIONS

FLOORS:

- "F-1" - SEALED CONCRETE.
- "F-2" - VCT; ARMSTRONG 12"x12", STANDARD EXCELON, INCLUDE ALL TRANSITION/TERMINATION BARS. COLOR SELECTIONS BELOW
- "F-3" - CERAMIC TILE - INCLUDE ALLOWANCE OF \$10 SF FOR LABOR AND MATERIAL (SELECTION BY OWNER)
- "F-4" - ENTRY MAT - MIRAGE SERIES II, DIAMOND MAT II LABOR AND MATERIAL. COLOR BY OWNER (THE MATWORKS 800-523-5179)

WALLS:

- "W-1" - GYPSUM BOARD SEE PAINT SPEC #1. COLOR BY OWNER
- "W-2" - GYPSUM BOARD SEE PAINT SPEC #1. 1st COAT PRIMER ONLY.

CEILING:

- "C-1" - ACOUSTICAL CEILING TILE; MFR. ARMSTRONG 24"x 48" STYLE: FINE FISSURED #1830 w/ PRELUDE 15/16 GRID (SEE SHT E1 FOR REFLECTED CEILING LAYOUT)

BASE:

- "B-1" - NONE
- "B-2" - CERAMIC BASE; TO MATCH FLOOR TILE 6" H. COVED, COLOR BY OWNER
- "B-3" - VINYL BASE; MFR. ARMSTRONG 4" H. COVED, COLOR BY OWNER

- "C-2" - GYPSUM BOARD. TEXTURED & PAINTED. SEE PAINT SPEC. #1
- "C-3" - GYPSUM BOARD. TAPED ONLY.

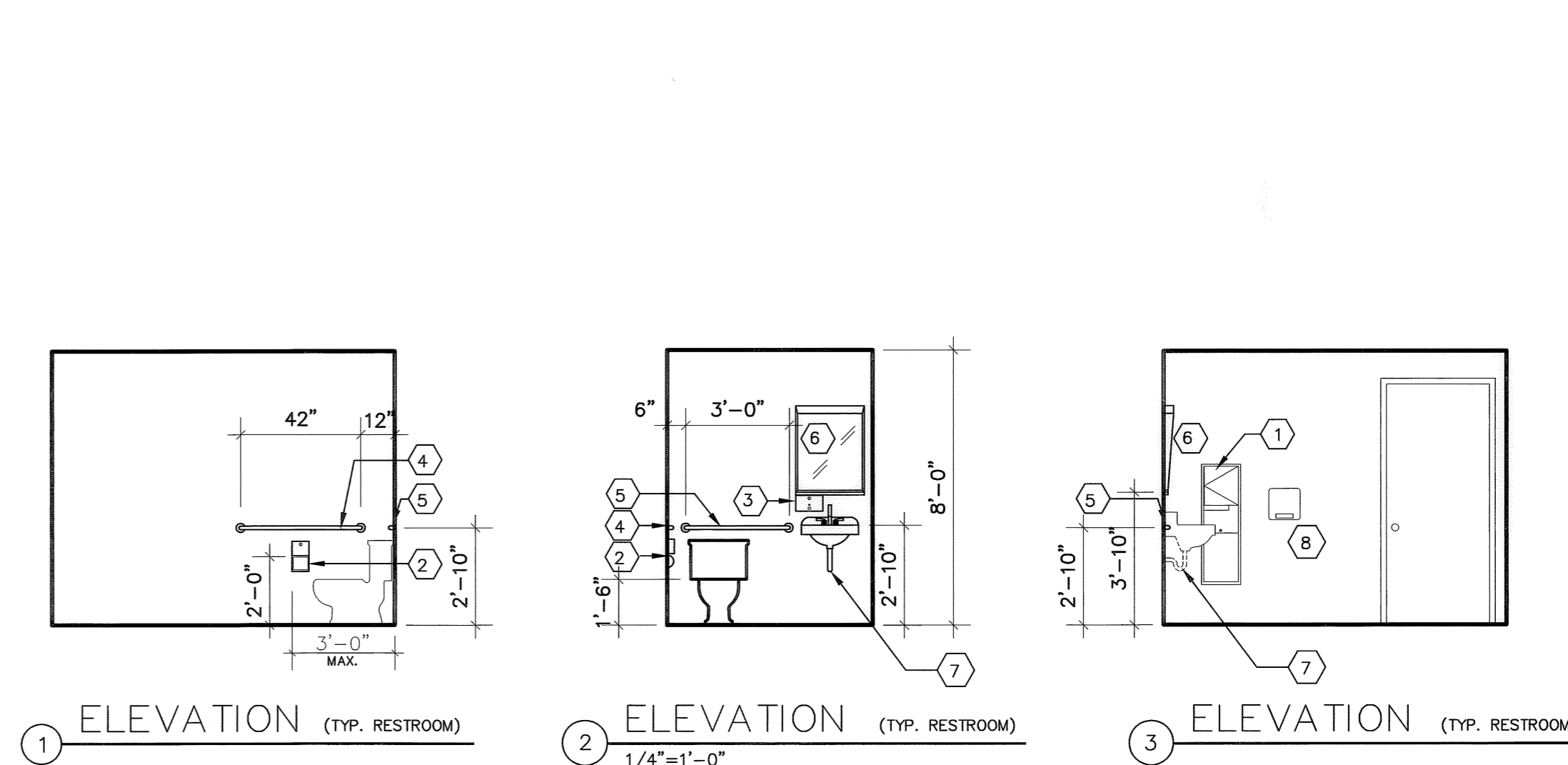
FINISH NOTES

- INTERIOR FINISH TRIM AND DECORATIVE MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF CHAPTER 8 OF THE O.B.C.

PAINT SPECIFICATIONS

MANUFACTURER: SHERWIN WILLIAMS OR APPROVED EQUIVALENT

- GYPSUM BOARD  
1ST COAT- PROMAR 200 LATEX PRIMER B2BW200  
2ND & 3RD COAT- PROMAR 200 EG-SHEL B20 SERIES
- HOLLOW METAL DOORS & FRAMES  
1ST COAT- KEM KROMIK UNIVERSAL PRIMER B50WZ1  
2ND & 3RD COAT- PROCLASSIC ALKYD SEMI-GLOSS B34 SERIES



1 ELEVATION (TYP. RESTROOM)

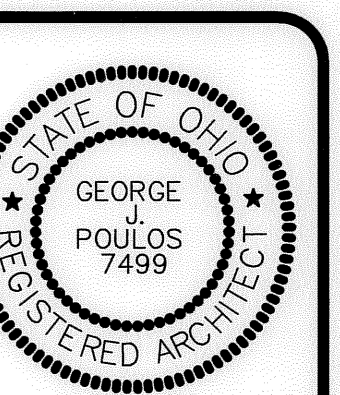
2 ELEVATION (TYP. RESTROOM)  
1/4"=1'-0"

3 ELEVATION (TYP. RESTROOM)

| REVISIONS | BY |
|-----------|----|
|           |    |
|           |    |
|           |    |

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SECTIONS, NOTES, AND SCHEDULES  
NEW BUILDING FOR:  
COMMERCE PARK CONDOMINIUM  
COMMERCE DRIVE  
GRAFTON, OHIO



Date: AUG. 12, 2004  
Proj. No. 2404  
Sheet