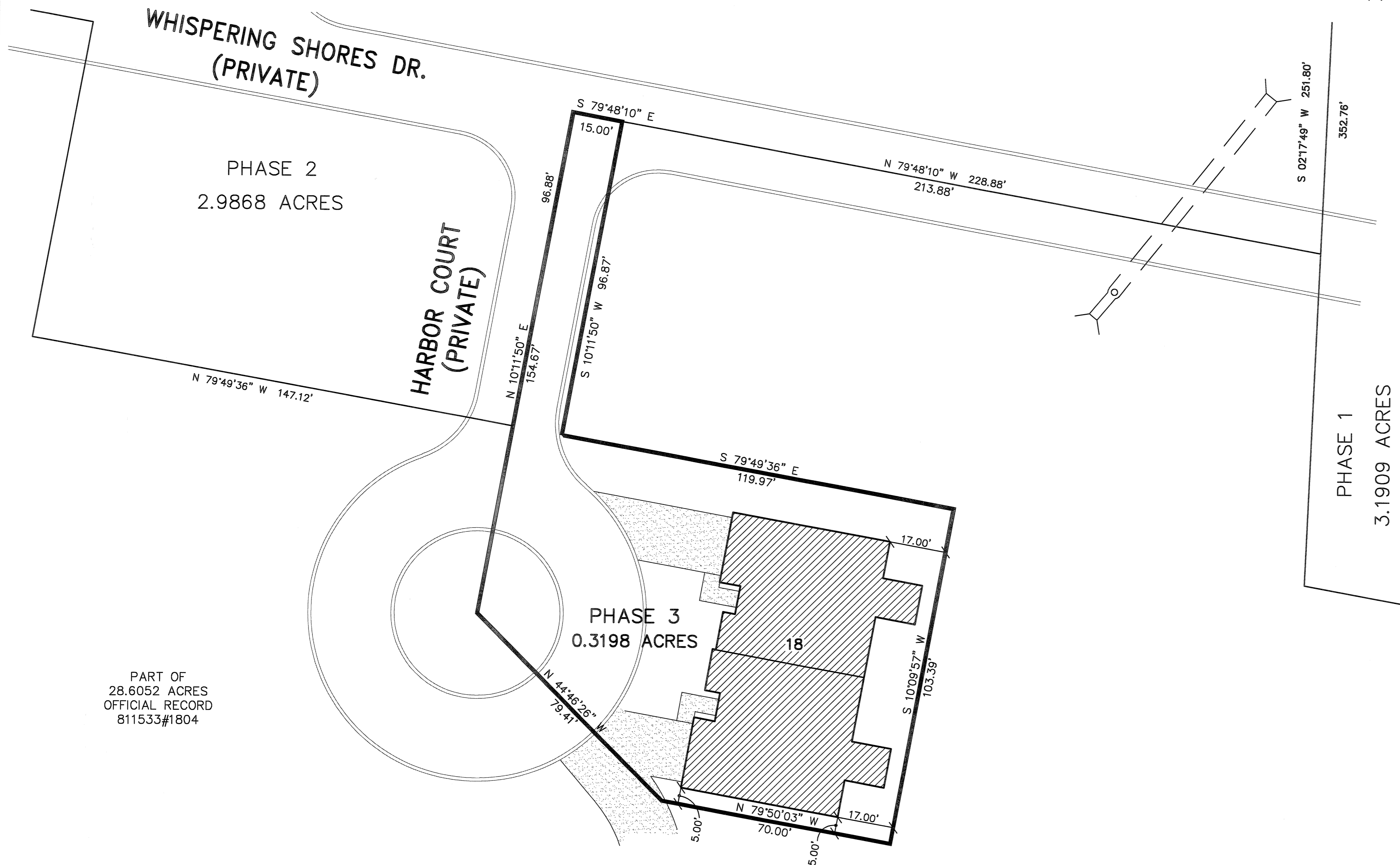
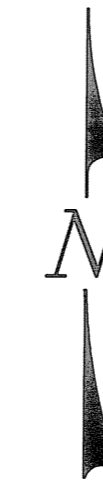
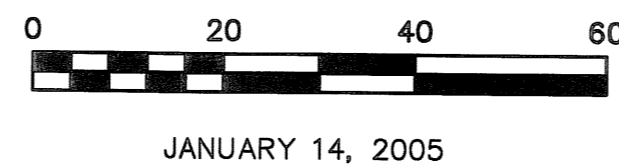
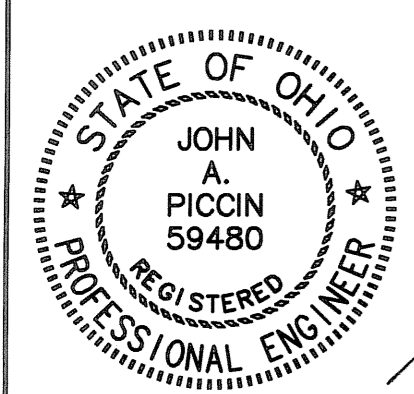


VERMILION SHORES - PHASE 3
 CITY OF VERMILION, COUNTY OF LORAIN, STATE OF OHIO
 PART OF ORIGINAL BROWHELM TOWNSHIP LOT 5 AND
 ALSO PART OF A 28.6052 ACRE TRACT AS RECORDED IN OFFICIAL RECORD 811533#1804
 EXHIBIT "B" - CONTINUED

NOTES:
 COMMON AREAS AND LIMITED COMMON AREAS ARE AS DEFINED IN EXHIBIT "B" OF THE DECLARATION
 ALL BUILDINGS ARE CURRENTLY UNDER CONSTRUCTION.



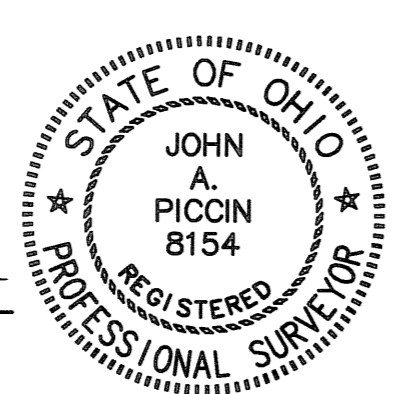
PART OF
 28.6052 ACRES
 OFFICIAL RECORD
 811533#1804



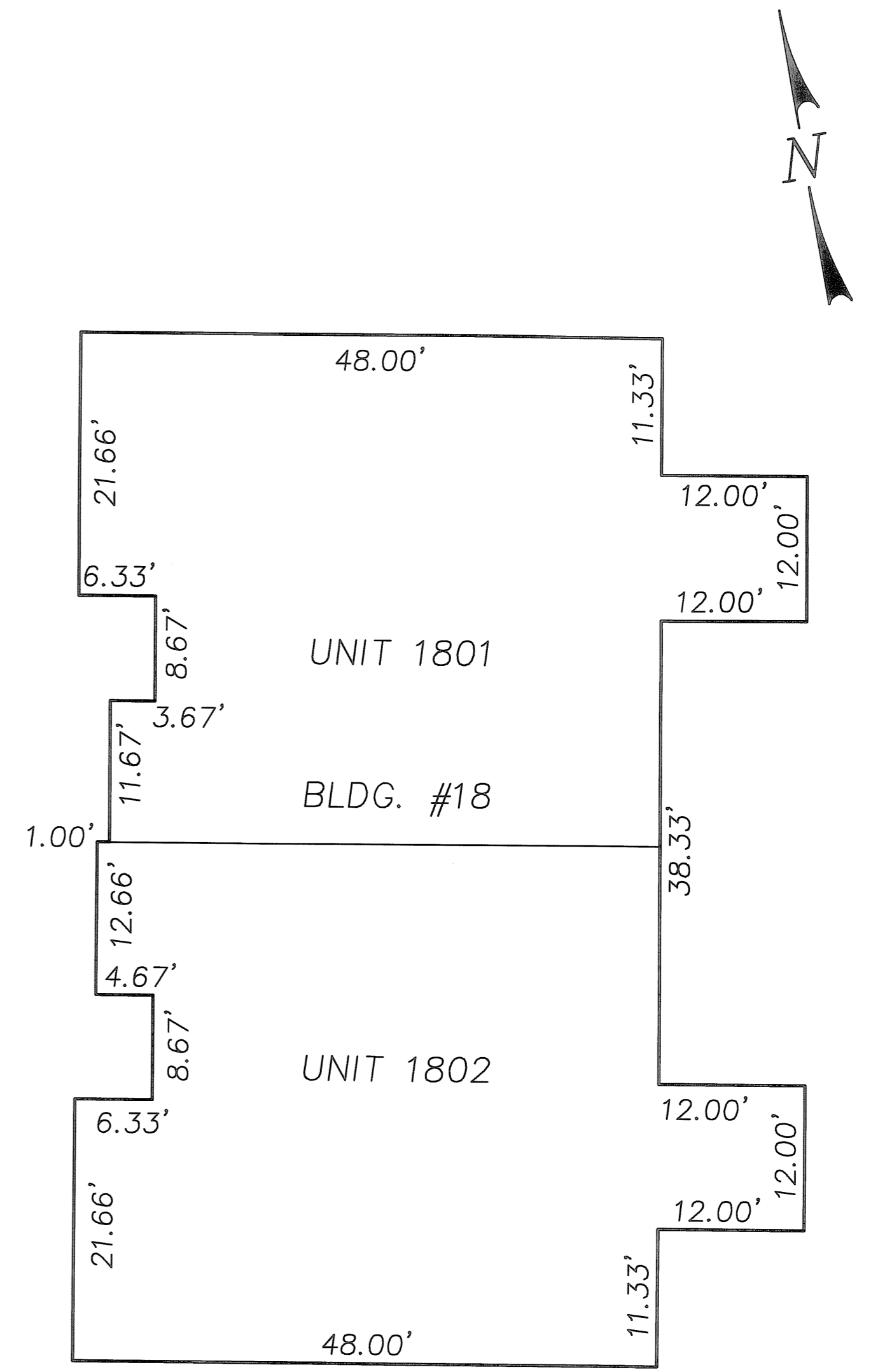
CERTIFICATION
 THIS IS TO CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY
 REPRESENTS THE BUILDING(S) CURRENTLY UNDER CONSTRUCTION
 AND THAT THERE ARE NO ENCROACHMENTS ON ADJUTING
 PROPERTIES.

John A. Piccin
 REGISTERED ENGINEER No. 59480
 REGISTERED SURVEYOR No. 8154

DATE: 2-03-05



LEGEND:
 BUILDING UNIT
 LIMITED COMMON AREA
 COMMON AREA



NOTE:
 ALL BUILDING ANGLES ARE 90° OR 45°, UNLESS NOTED OTHERWISE
BUILDING DETAILS
 1" = 10'

TRANSFERRED
 IN COMPLIANCE WITH SEC. 3107-022
 OHIO REV. CODE
 FEB 16 2005
 MARK R. STEWART
 LORAIN COUNTY AUDITOR

LORAIN COUNTY RECORDER

DEVELOPER: GILTZ & ASSOCIATES INC. 4835 MUNSON ST. N.W. CANTON, OHIO 44718 (330) 494-6688	
VERMILION SHORES - PHASE 3 CITY OF VERMILION LORAIN COUNTY, OHIO	
CHENEVEY AND PICCIN ENGINEERING, INC. 86 EAST CHEROKEE DRIVE POWELL, OHIO 43065 (614) 798-8000	
DATE	FEBRUARY 3, 2005
DRAWN BY	CHECKED BY
JP	EPC
PROJECT MANAGER	JP
REVISION DESCRIPTION	
INITIAL	
DATE	
SHEET TITLE	
S2	
SHEET	
2 OF 5	

STRUCTURAL NOTES

- TRUSSES TO BE DESIGNED BY TRUSS MANUFACTURER.
- TRUSS LAYOUT AND SPECIFICATIONS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW.
- PROVIDE CROSS BRIDGING & SOLID BLOCKING AS REQUIRED BETWEEN FLOOR JOISTS AT MID SPAN (NOT TO EXCEED 8'-0" O.C.)
- PROVIDE DOUBLE FLOOR JOIST OR SOLID BLOCKING BETWEEN JOISTS BELOW ALL PARTITION WALLS.
- ALL LUMBER EXPOSED TO THE WEATHER OR WITHIN 8" OF FINISHED GRADE SHALL BE PRESERVATIVE TREATED.

DESIGN LOADS

DESIGN GROUND SNOW LOAD	25 P.S.F. + DRIFTING
ROOF DESIGN - LIVE LOAD	25 P.S.F.
TOP CHORD - DEAD LOAD	10 P.S.F.
BTM CHORD - DEAD LOAD	10 P.S.F.
	45 P.S.F. TOTAL
DESIGN WIND VELOCITY	90 M.P.H.
WIND EXPOSURE CLASSIFICATION	EXPOSURE 'B'
DESIGN WIND PRESSURE	BASIC P ₀ 12 P.S.F.
DESIGN SOIL PRESSURE	2,500 P.S.F. (TO BE VERIFIED)
GROUT	3,000 P.S.F.
EARTHQUAKE DESIGN	SEISMIC ZONE 1 WIND CONTROLS

DRAWING INDEX

SHT #	DESCRIPTION
A-1	CODE REVIEW, DRAWING INDEX, STRUCTURAL NOTES, DESIGN LOADS, FOUNDATION PLAN
A-2	FLOOR PLAN, TYP. WALL SECTION, WINDOW SCHEDULE, TENANT SEPARATION WALL, NOTES
A-3	EXTERIOR ELEVATIONS, ROOF PLAN

CODE REVIEW

USE GROUP : RESIDENTIAL
 CONSTRUCTION TYPE : VB
 BUILDING AREA: UNIT A 1,558 S.F. + GARAGE
 UNIT B 1,570 S.F. + GARAGE
 TOTAL 3,128 S.F.
 OCCUPANCY : 3 PER UNIT

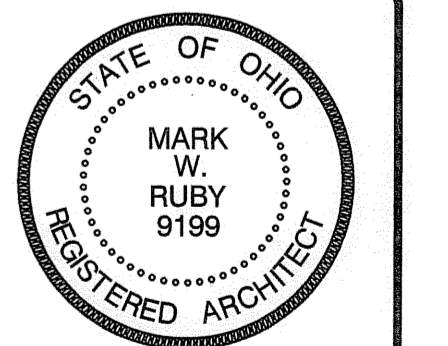
NOTE TO PLANS EXAMINER:
 THE FOLLOWING PLANS ARE TO BE REVIEWED UNDER THE INTERNATIONAL RESIDENTIAL CODE PER SECTION 310.1 OHIO BUILDING CODE. FIRE SUPPRESSION IS NOT REQUIRED.

REVISIONS	BY

MARK W. RUBY
 ARCHITECT
 1110 COOPER FOSTER PARK ROAD
 AMHERST, OH. 44001
 (440) 986-2091

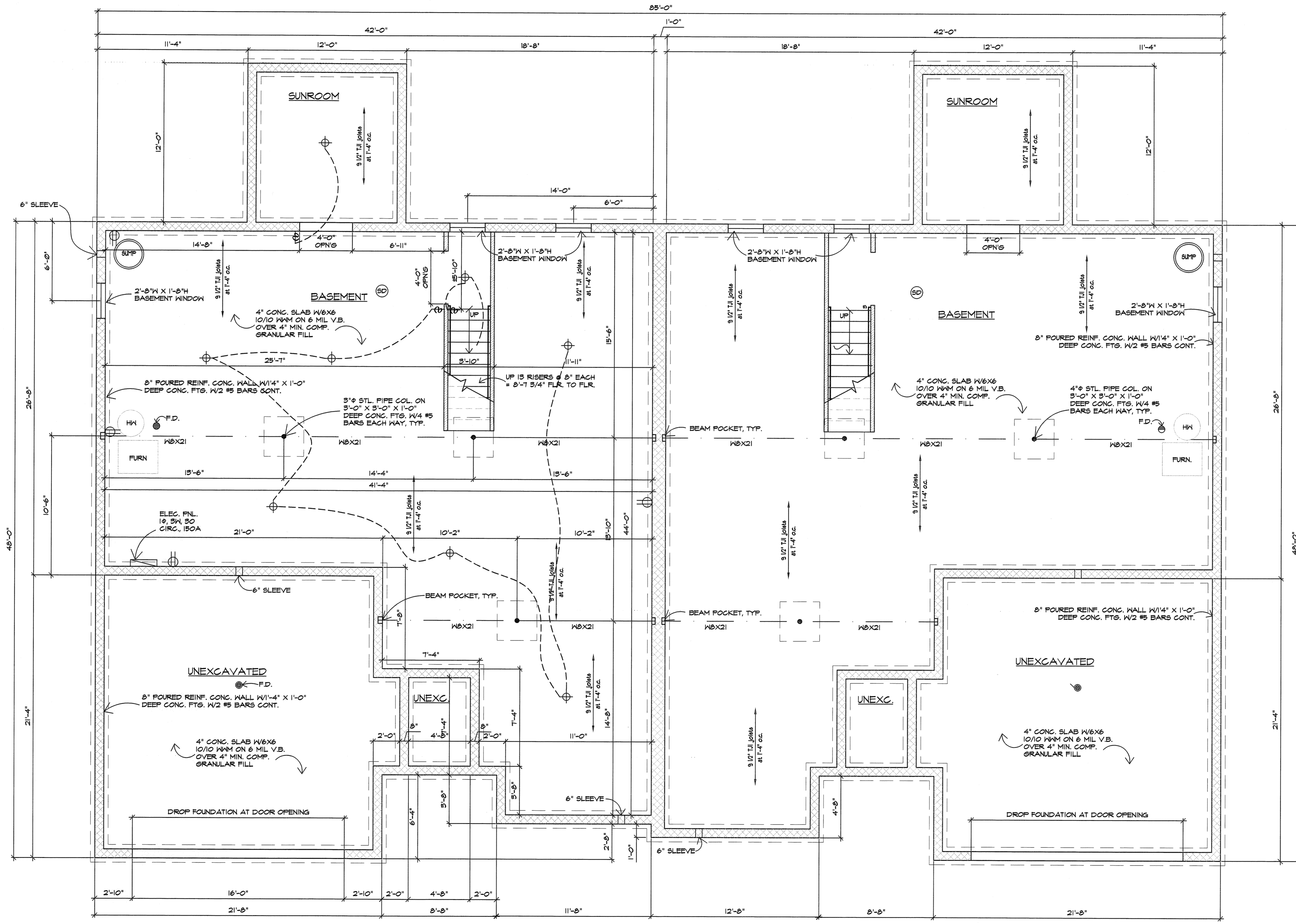
BUILDING 18
 LAKESIDE VILLAS
 2865/2869 WHISPERING SHORES DR.
 VERMILION, OHIO

TITLE

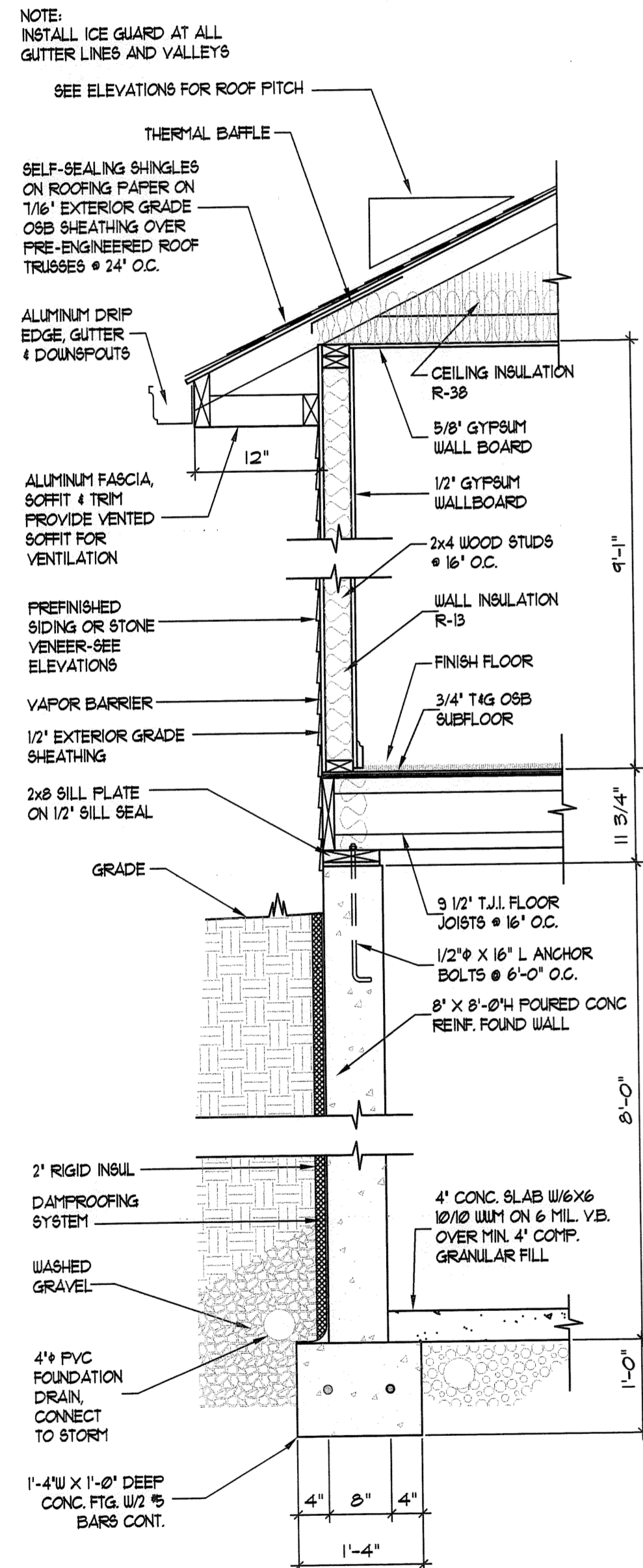


DATE 1/14/05
 PROJ. 0435
 SHEET

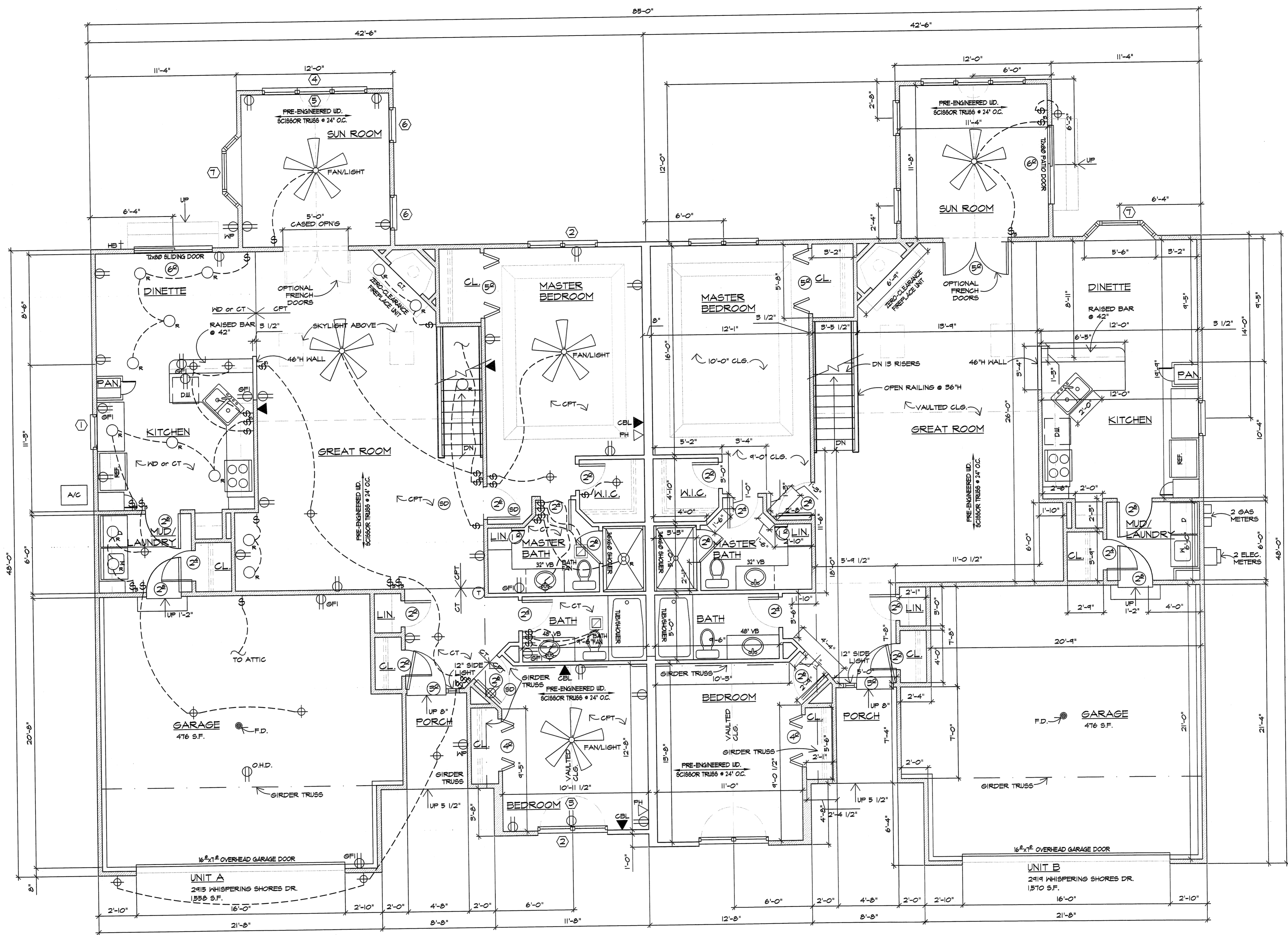
3 of 5



FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



WALL SECTION
SCALE: 3/4" = 1'-0"

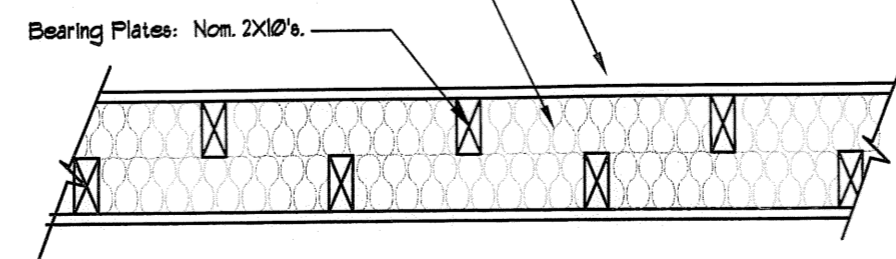


WINDOW SCHEDULE							
MANUFACTURER: ANDERSEN							
MARK	DESCRIPTION	ROUGH OPENING (MIN)	CLEAR AREA REQUIRED	CLEAR AREA PROVIDED	EGRESS REQUIREMENTS	CLEAR OPNG. PROVIDED	NOTES
1	30210 NARROWLINE DOUBLE HUNG	3'-2 1/8" x 3'-1 1/4"					
2	2846-2 TWIN NARROWLINE DOUBLE HUNG	5'-7 13/16" x 4'-9 1/4"	5.0 SQ. FT.	5.24 SQ. FT.	20" x 24"	30 11/16" x 24 9/16"	1
3	CTN-2 NARROWLINE CIRCLE TOP	5'-1 13/16" x 3'-0 1/2"					2
4	2846-3 TRIPLE NARROWLINE DOUBLE HUNG	8'-5 1/2" x 4'-9 1/4"					2
5	CTN8 NARROWLINE CIRCLE TOP	2'-10 1/8" x 1'-3 3/4"					2
6	2846 NARROWLINE DOUBLE HUNG	2'-10 1/8" x 4'-9 1/4"					2
7	90-CH9-20 ANDERSEN CASSEMENT 90° BAY	5'-10" x 4'-6 13/16"					

NOTES:
1. 44" MAX. SILL HEIGHT
2. AT SUN ROOM

UL Design No. U365. One layer 5/8" class X gypsum board applied vertically to 2x4 studs @ 16" O.C. attached to studs with 6d nails @ 1 ft. O.C. Wall assembly to extend from top of conc. wall to the underside of the roof sheathing.

Insulation: Sound batts Min. 1" thick, min 25 pcf unfaced mineral fiber insulation pressure fit in the wall cavity between studs and plates.



TENANT SEPARATION WALL
SCALE: 1/2" = 1'-0"

NOTES

- Dimensions are rough frame dimensions:
3 1/2" interior walls
4" exterior walls
(unless noted otherwise)
- All points of egress shall be equipped with stairways, handrails and guardrails (if required) which meet requirements of OBOA Residential Building Code Sections 314 and 315.
- All interior headers shall be (2) 2x4's unless noted otherwise on the plans. All exterior headers shall be (2) 2x12's unless noted otherwise on the plans.
- All exhaust fans shall be vented to the exterior.
- All smoke detectors shall be electric with battery backup and shall be interconnected with one another per OBOA Residential Building Code Section 316.

FLOOR PLAN
SCALE: 1/4" = 1'-0"

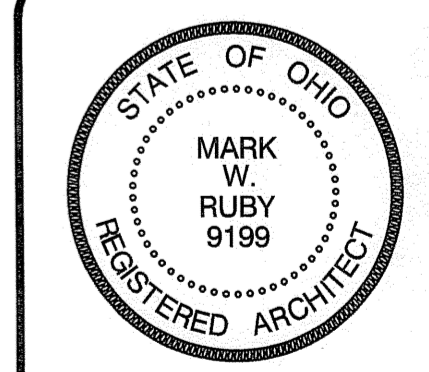


REVISIONS BY

MARK W. RUBY
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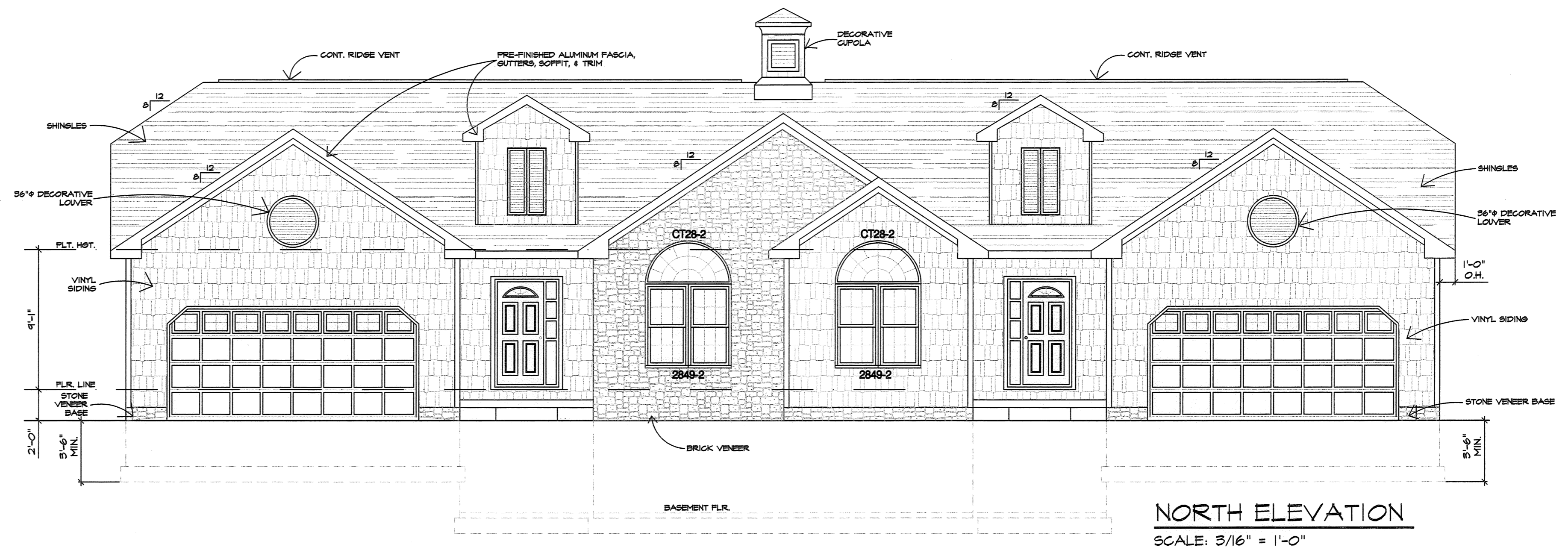
BUILDING 18
LAKESIDE VILLAS
2865/2869 WHISPERING SHORES DR.
VERMILION, OHIO

TITLE

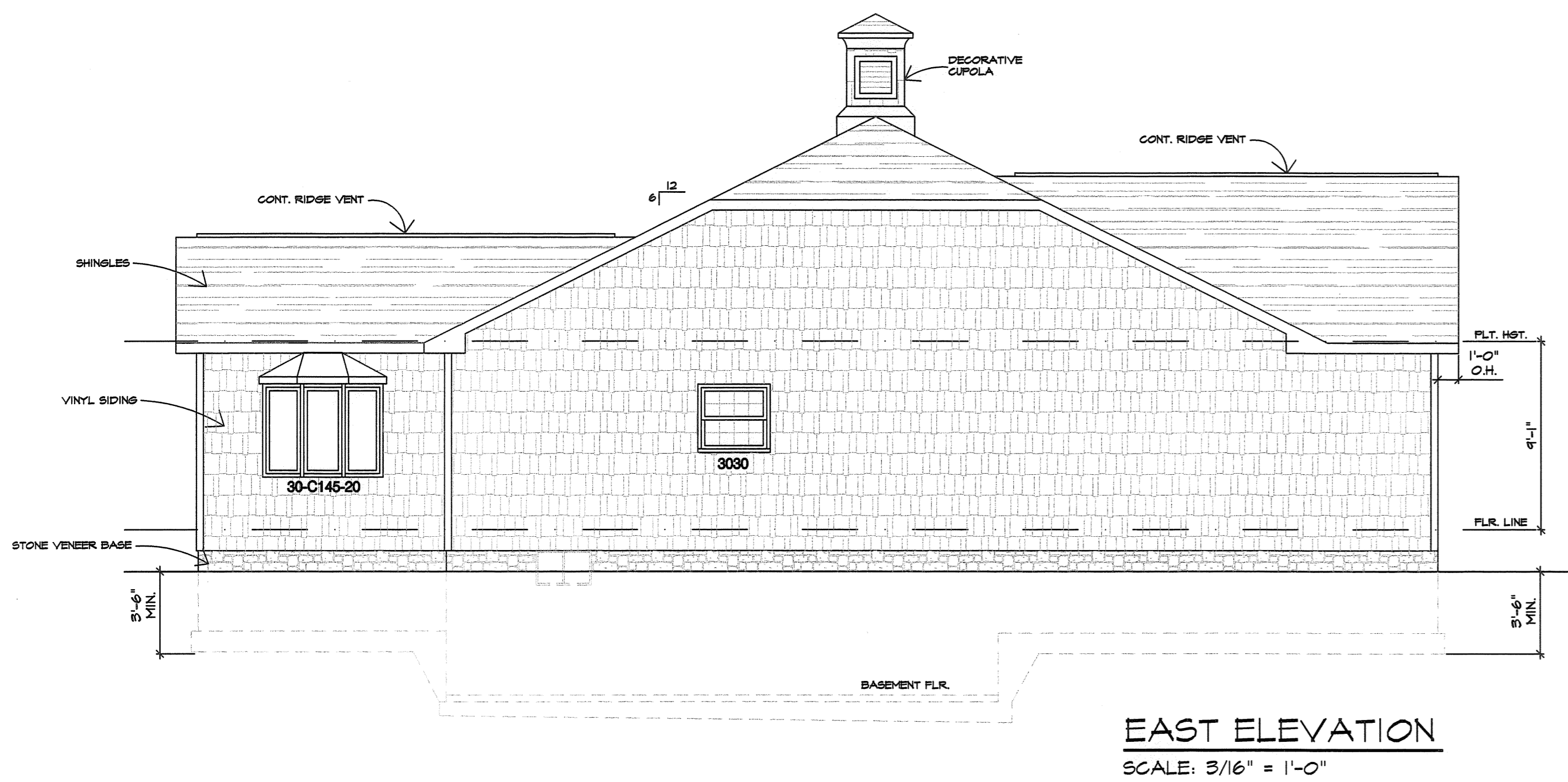


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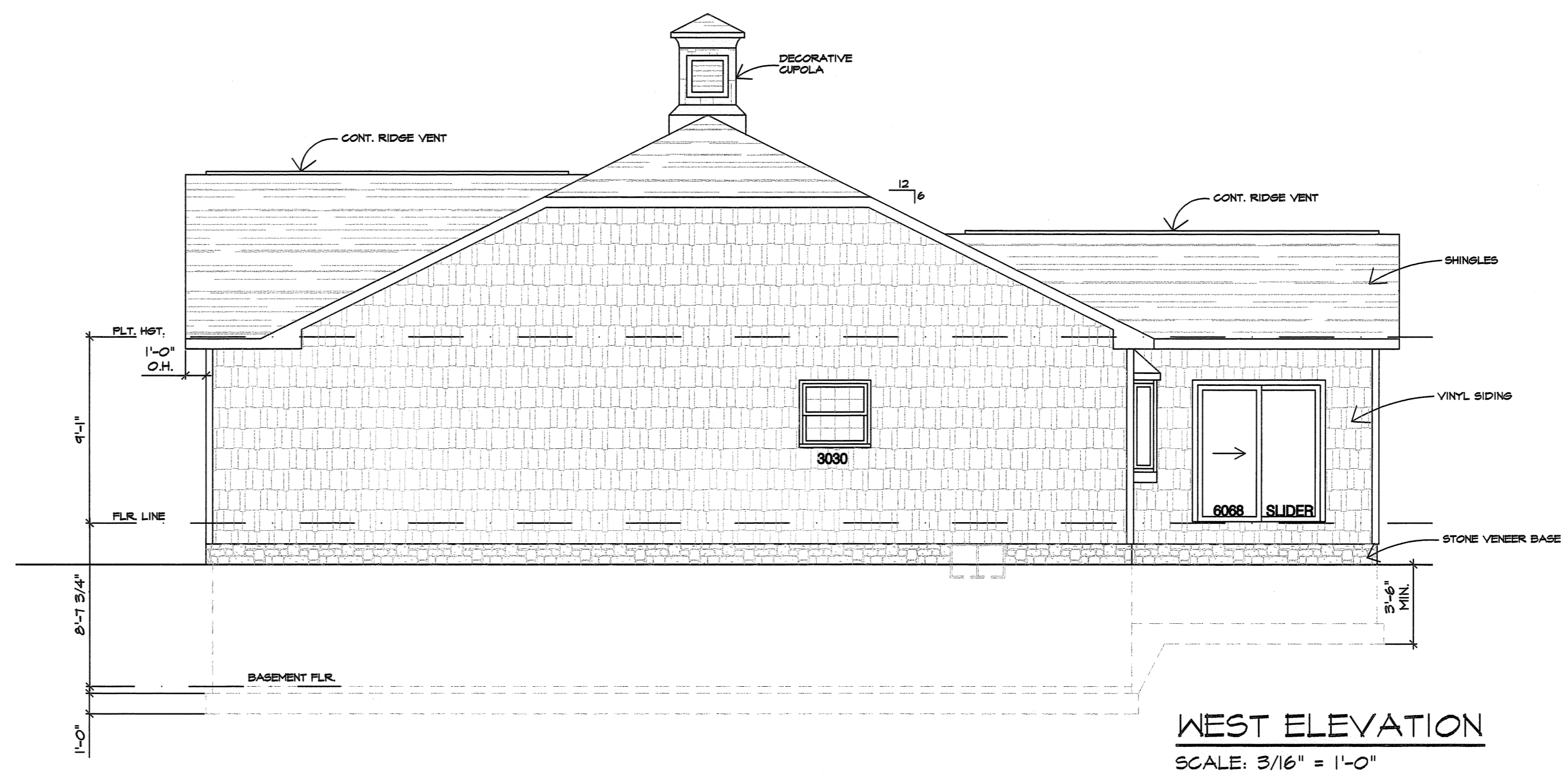
4 of 5



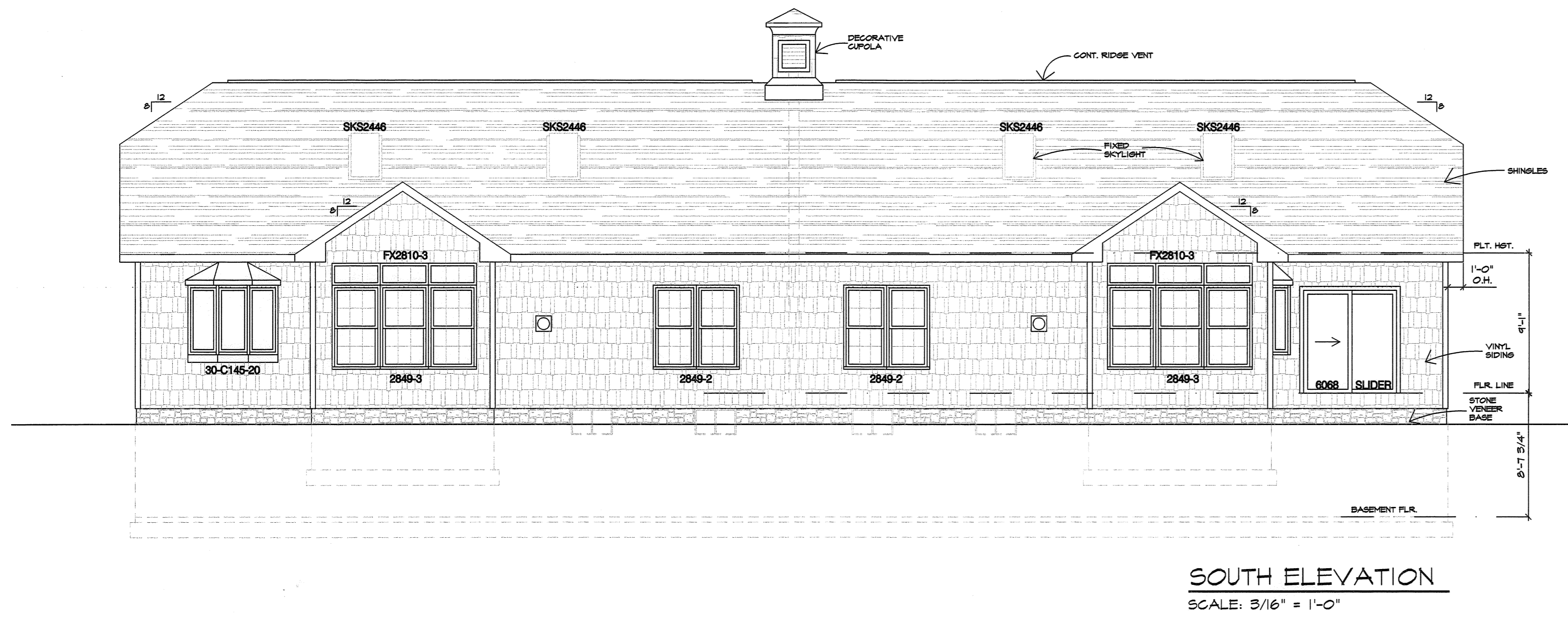
NORTH ELEVATION
SCALE: 3/16" = 1'-0"



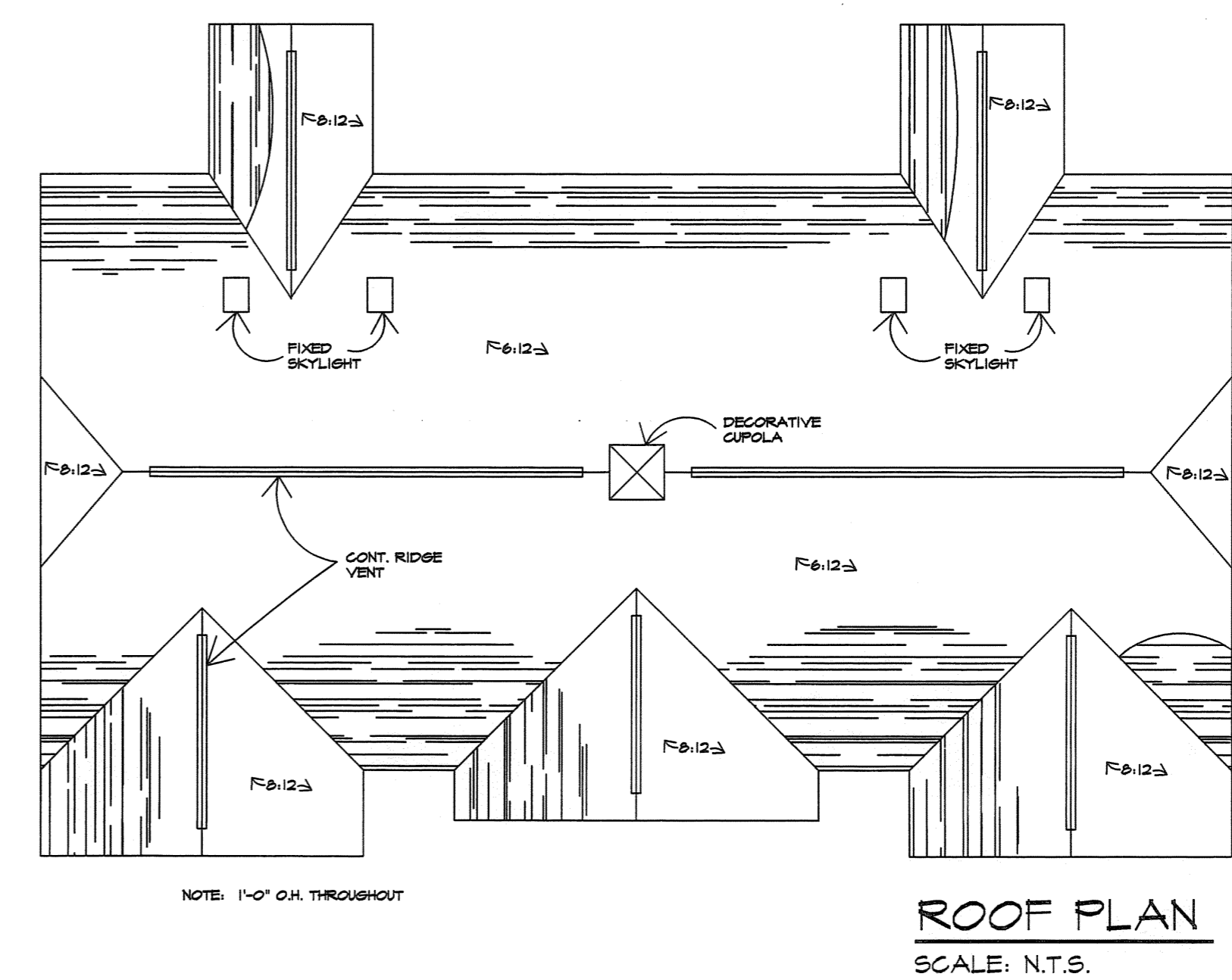
EAST ELEVATION
SCALE: 3/16" = 1'-0"



WEST ELEVATION
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

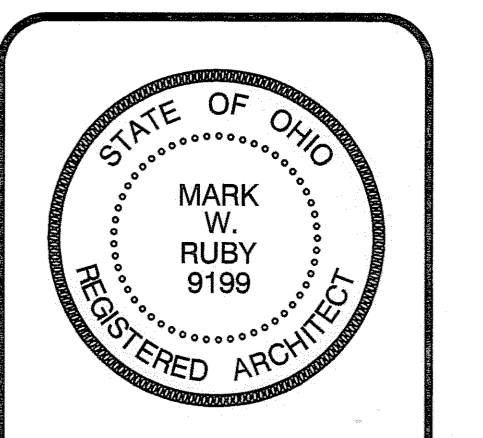


ROOF PLAN
SCALE: N.T.S.

REVISIONS	BY

MARK W. RUBY
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AMHERST, OH. 44001
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BUILDING 18
LAKESIDE VILLAS
2865/2869 WHISPERING SHORES DR.
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