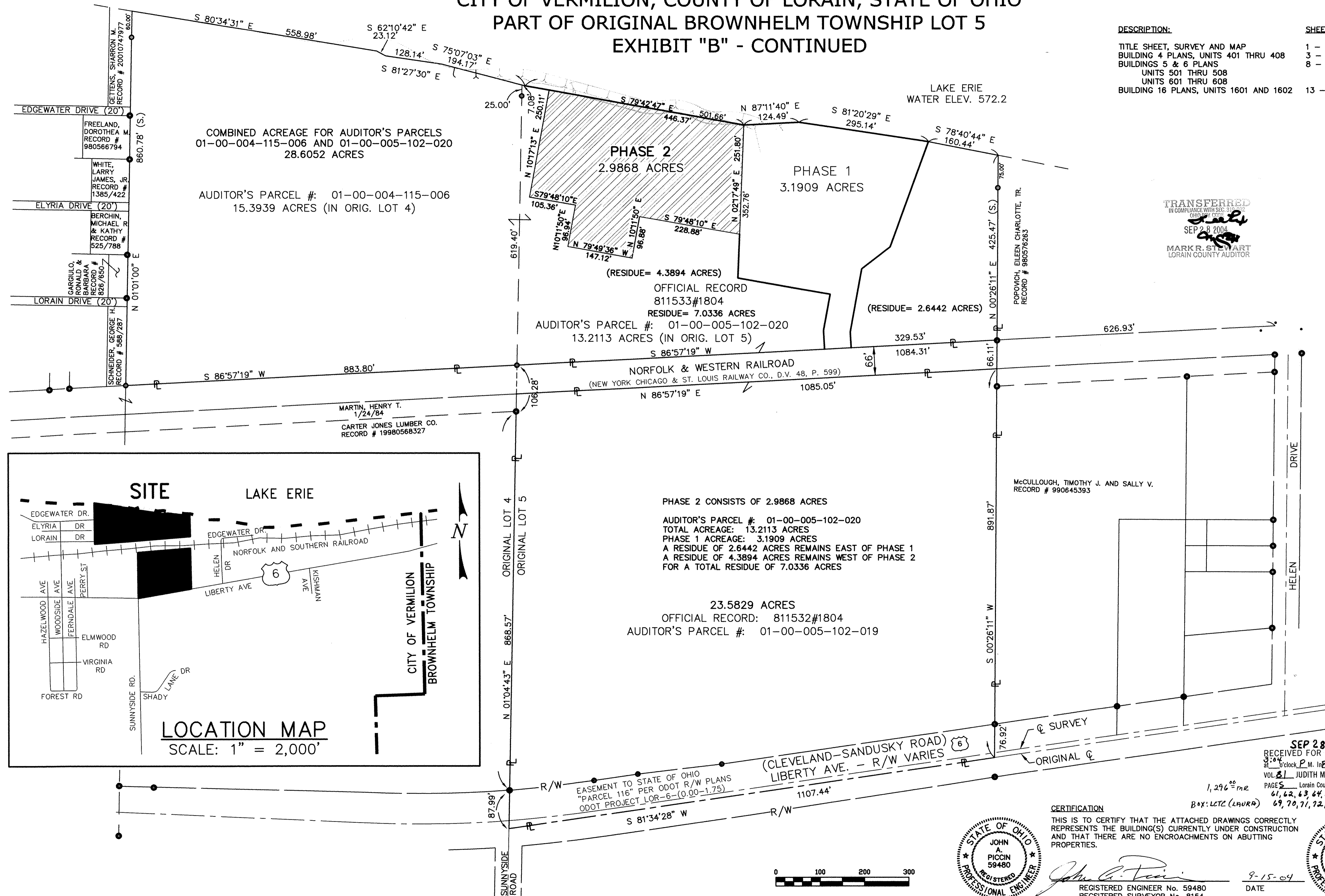


VERMILION SHORES CONDOMINIUMS - PHASE 2
CITY OF VERMILION, COUNTY OF LORAIN, STATE OF OHIO
PART OF ORIGINAL BROWHELM TOWNSHIP LOT 5
EXHIBIT "B" - CONTINUED

DESCRIPTION:	SHEETS:
TITLE SHEET, SURVEY AND MAP	1 - 2
BUILDING 4 PLANS, UNITS 401 THRU 408	3 - 7
BUILDINGS 5 & 6 PLANS	8 - 12
UNITS 501 THRU 508	
UNITS 601 THRU 608	
BUILDING 16 PLANS, UNITS 1601 AND 1602	13 - 15

DEVELOPER:
 GILTZ & ASSOCIATES INC.
 4835 MUNSON ST. N.W.
 CANTON, OHIO 44718
 (330) 494-6688



COMBINED ACREAGE FOR AUDITOR'S PARCELS
 01-00-004-115-006 AND 01-00-005-102-020
 28.6052 ACRES

AUDITOR'S PARCEL #: 01-00-004-115-006
 15.3939 ACRES (IN ORIG. LOT 4)

PHASE 2
 2.9868 ACRES

PHASE 1
 3.1909 ACRES

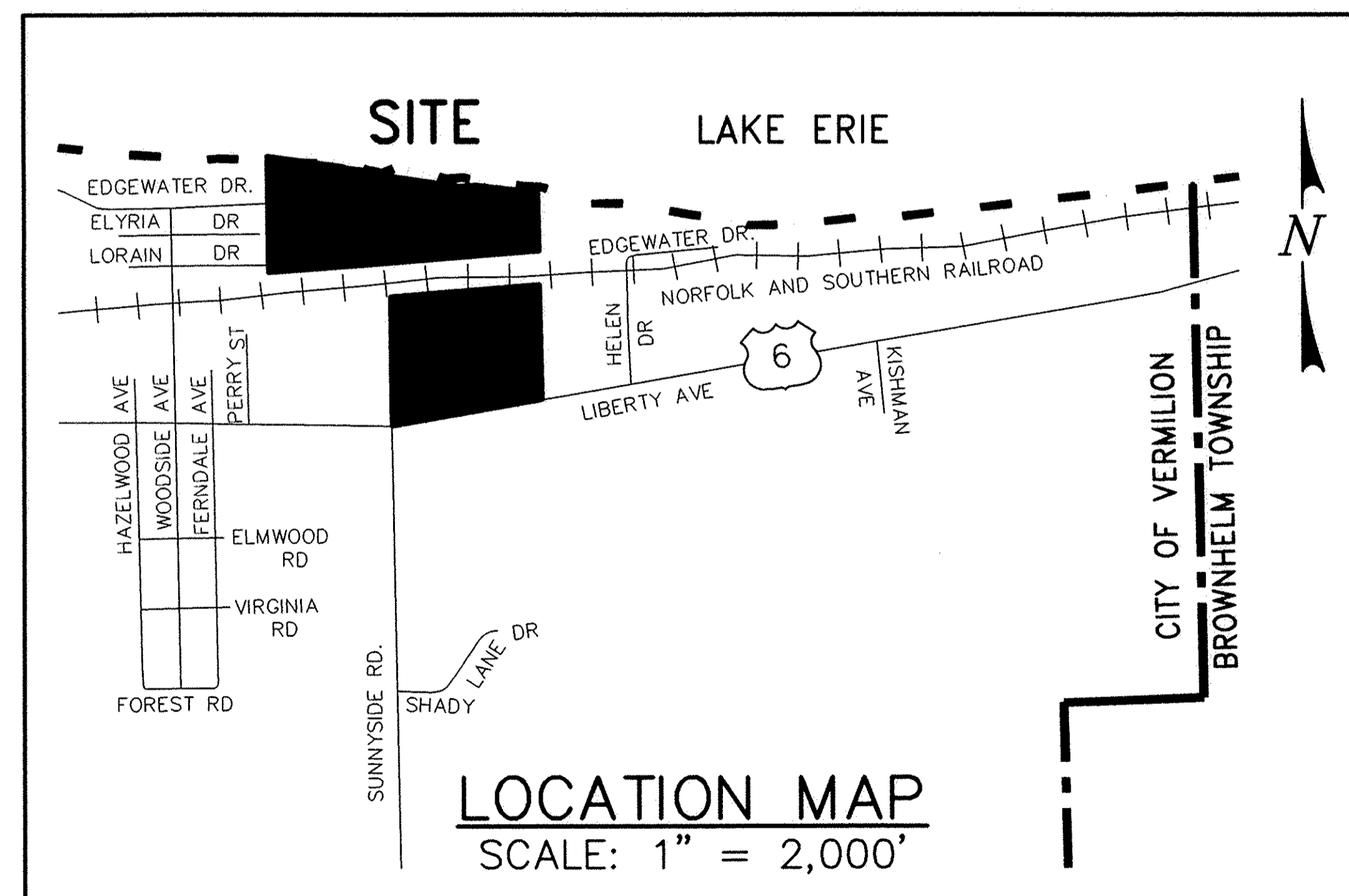
(RESIDUE = 4.3894 ACRES)
 OFFICIAL RECORD
 811533#1804
 RESIDUE = 7.0336 ACRES
 AUDITOR'S PARCEL #: 01-00-005-102-020
 13.2113 ACRES (IN ORIG. LOT 5)

(RESIDUE = 2.6442 ACRES)

NORFOLK & WESTERN RAILROAD
 (NEW YORK CHICAGO & ST. LOUIS RAILWAY CO., D.V. 48, P. 599)

PHASE 2 CONSISTS OF 2.9868 ACRES
 AUDITOR'S PARCEL #: 01-00-005-102-020
 TOTAL ACREAGE: 13.2113 ACRES
 PHASE 1 ACREAGE: 3.1909 ACRES
 A RESIDUE OF 2.6442 ACRES REMAINS EAST OF PHASE 1
 A RESIDUE OF 4.3894 ACRES REMAINS WEST OF PHASE 2
 FOR A TOTAL RESIDUE OF 7.0336 ACRES

23.5829 ACRES
 OFFICIAL RECORD: 811532#1804
 AUDITOR'S PARCEL #: 01-00-005-102-019



TRANSFERRED
 IN COMPLIANCE WITH SEC. 319.02
 OHIO REV. CODE
 SEP 28 2004
 MARK R. STEWART
 LORAIN COUNTY AUDITOR



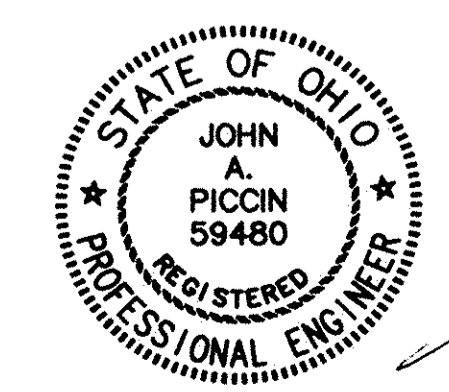
VERMILION SHORES - PHASE 2
 CITY OF VERMILION
 LORAIN COUNTY, OHIO

CHENEY AND PICCIN
 ENGINEERING, INC.
 86 EAST CHEROKEE DRIVE
 POWELL, OHIO 43065
 (614) 798-8000

DATE
 AUGUST 24, 2004
 DRAWN BY CHECKED BY
 EPC
 PROJECT MANAGER
 JP

DATE	INITIAL	REVISION DESCRIPTION

SHEET TITLE
 S1
 SHEET
 1 OF 15



CERTIFICATION
 THIS IS TO CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENTS THE BUILDING(S) CURRENTLY UNDER CONSTRUCTION AND THAT THERE ARE NO ENCROACHMENTS ON ADJUTING PROPERTIES.

John A. Piccin
 REGISTERED ENGINEER No. 59480
 REGISTERED SURVEYOR No. 8154

DATE: 9-15-04



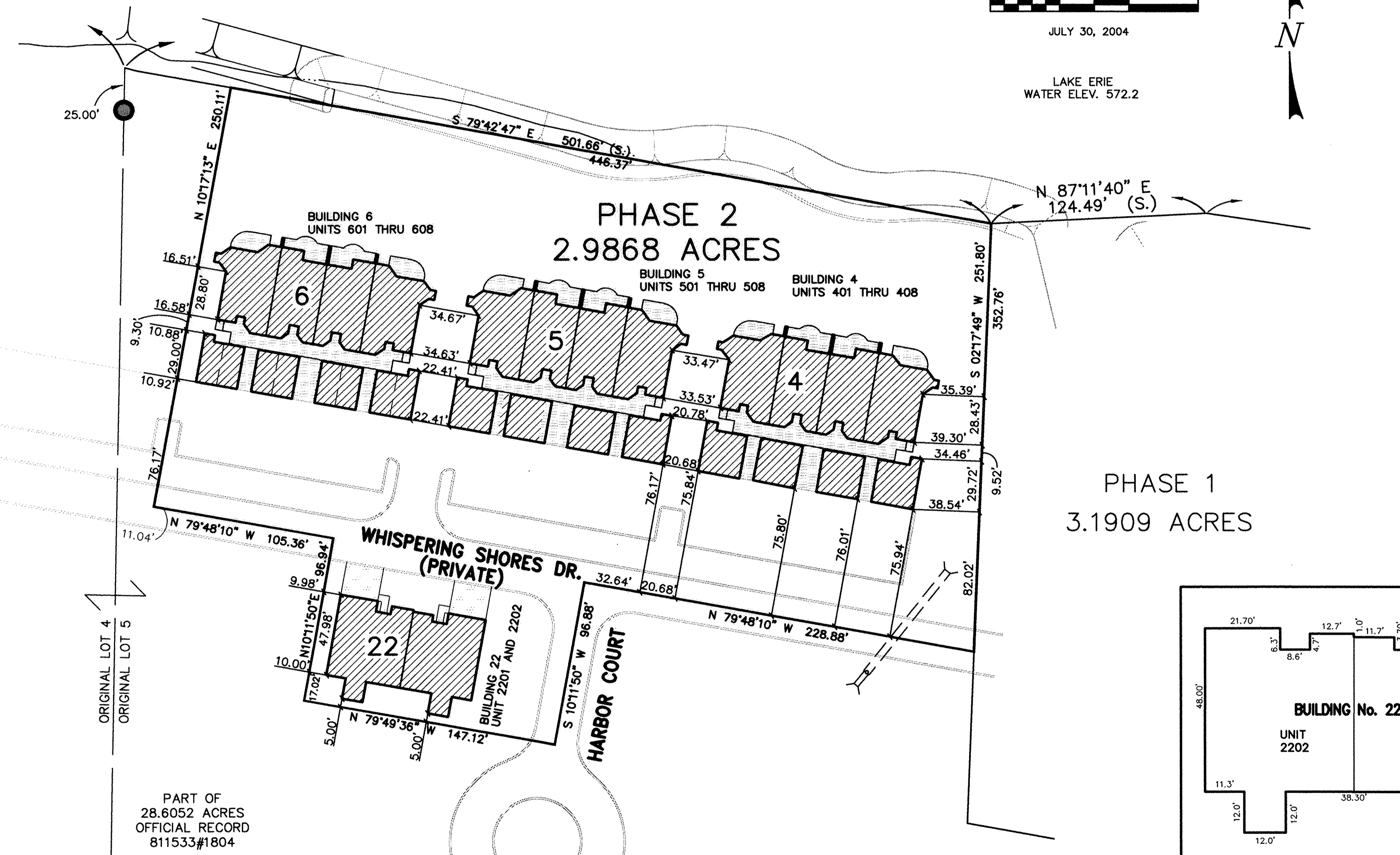
VERMILION SHORES - PHASE 2
CITY OF VERMILION, COUNTY OF LORAIN, STATE OF OHIO
PART OF ORIGINAL BROWHELM TOWNSHIP LOT 5 AND
ALSO PART OF A 28.6052 ACRE TRACT AS RECORDED IN OFFICIAL RECORD 811533#1804
EXHIBIT "B" - CONTINUED

NOTES:
 COMMON AREAS AND LIMITED COMMON AREAS ARE AS DEFINED IN EXHIBIT "B" OF THE DECLARATION
 ALL BUILDINGS ARE CURRENTLY UNDER CONSTRUCTION.



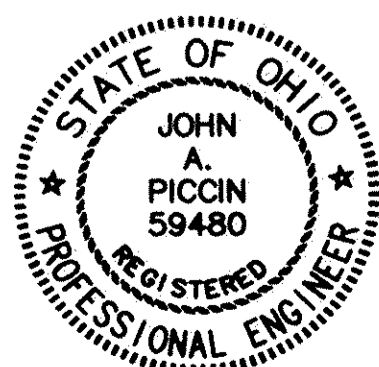
JULY 30, 2004

LAKE ERIE
 WATER ELEV. 572.2



PART OF
 28.6052 ACRES
 OFFICIAL RECORD
 811533#1804

AUDITOR'S PARCEL #: 01-00-005-102-020
 TOTAL ACREAGE: 13.2113 ACRES
 PHASE 2 ACRES: 2.9868 ACRES
 PHASE 1 ACRES: 3.1909 ACRES
 TOTAL RESIDUE: 7.0336 ACRES



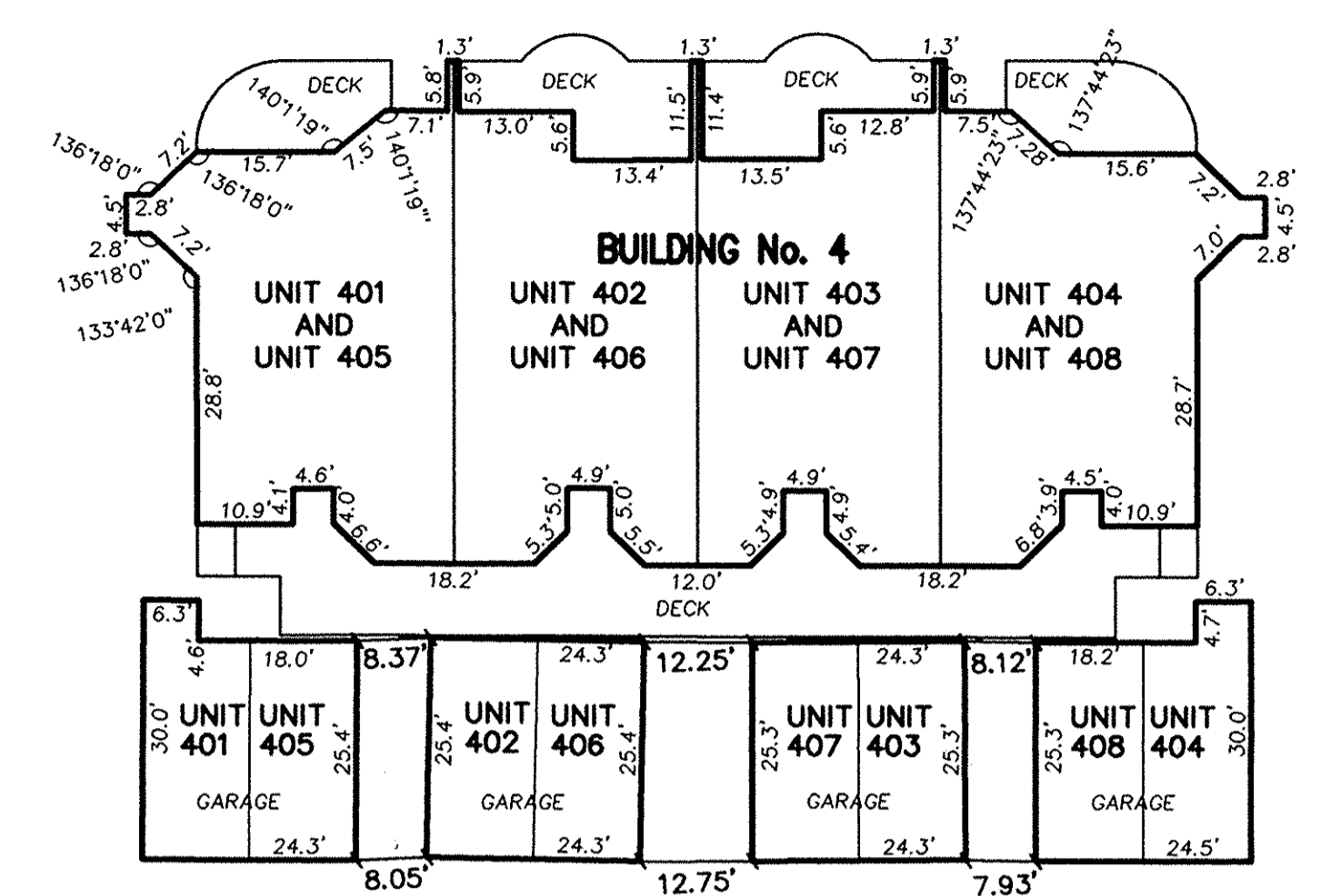
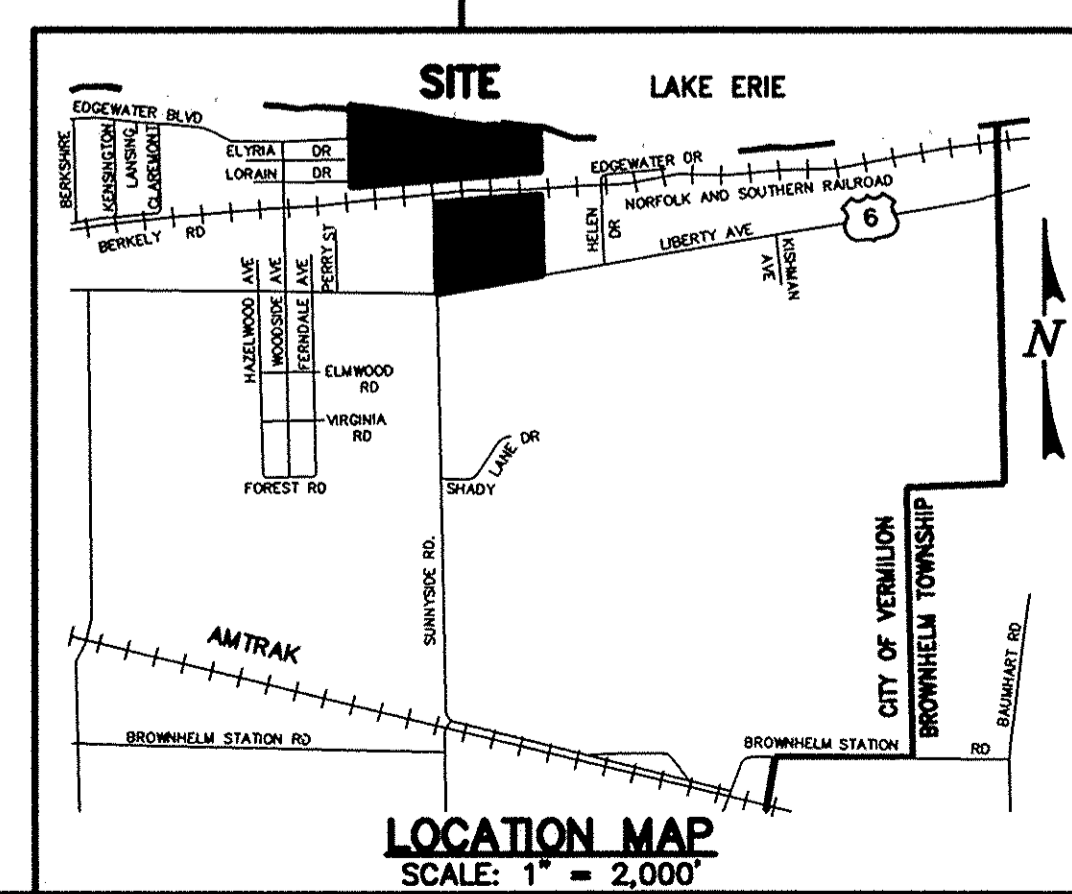
CERTIFICATION
 THIS IS TO CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY
 REPRESENTS THE BUILDING(S) CURRENTLY UNDER CONSTRUCTION
 AND THAT THERE ARE NO ENCROACHMENTS ON ADJUTING
 PROPERTIES.



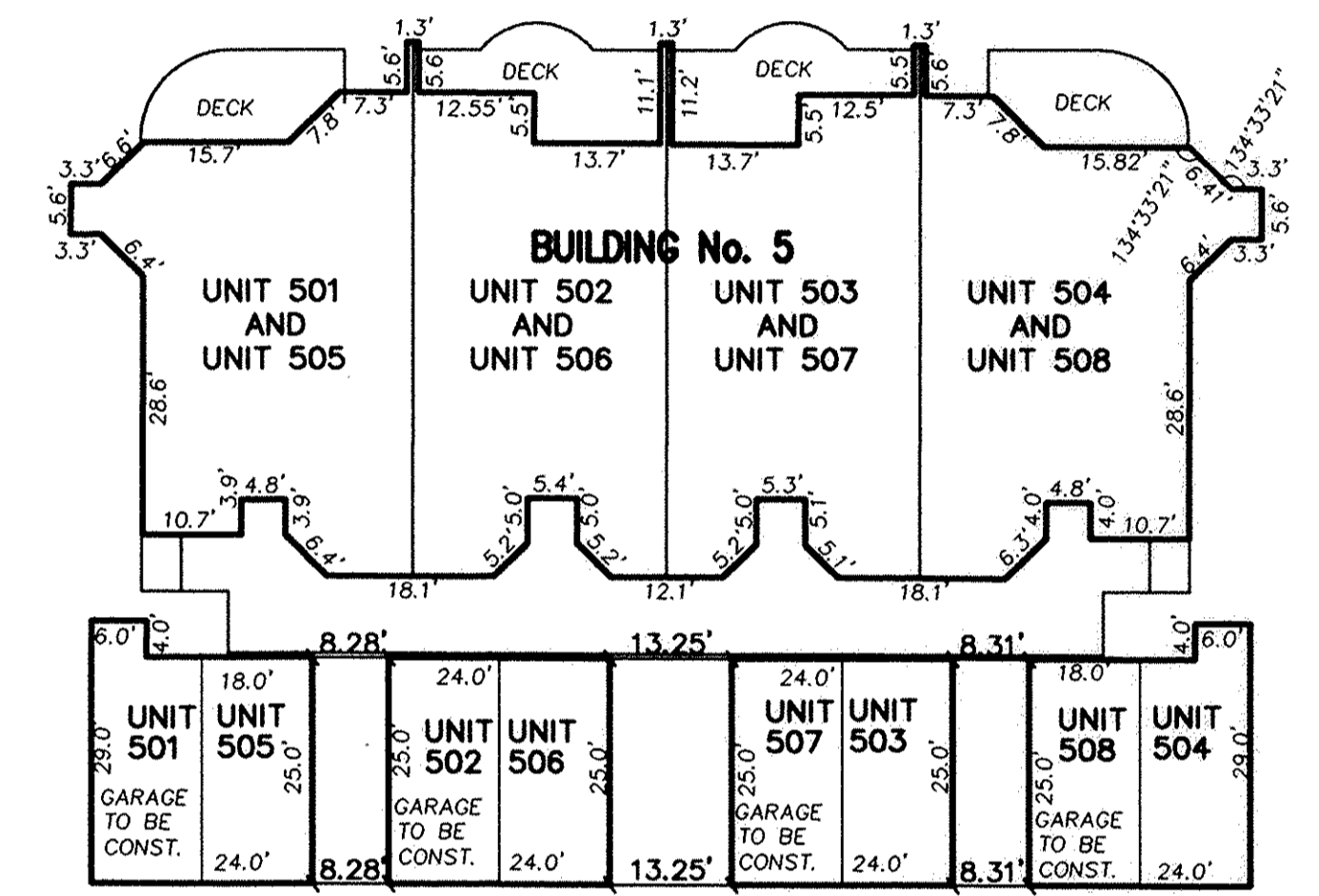
REGISTERED ENGINEER No. 59480
 REGISTERED SURVEYOR No. 8154

DATE 4-15-04

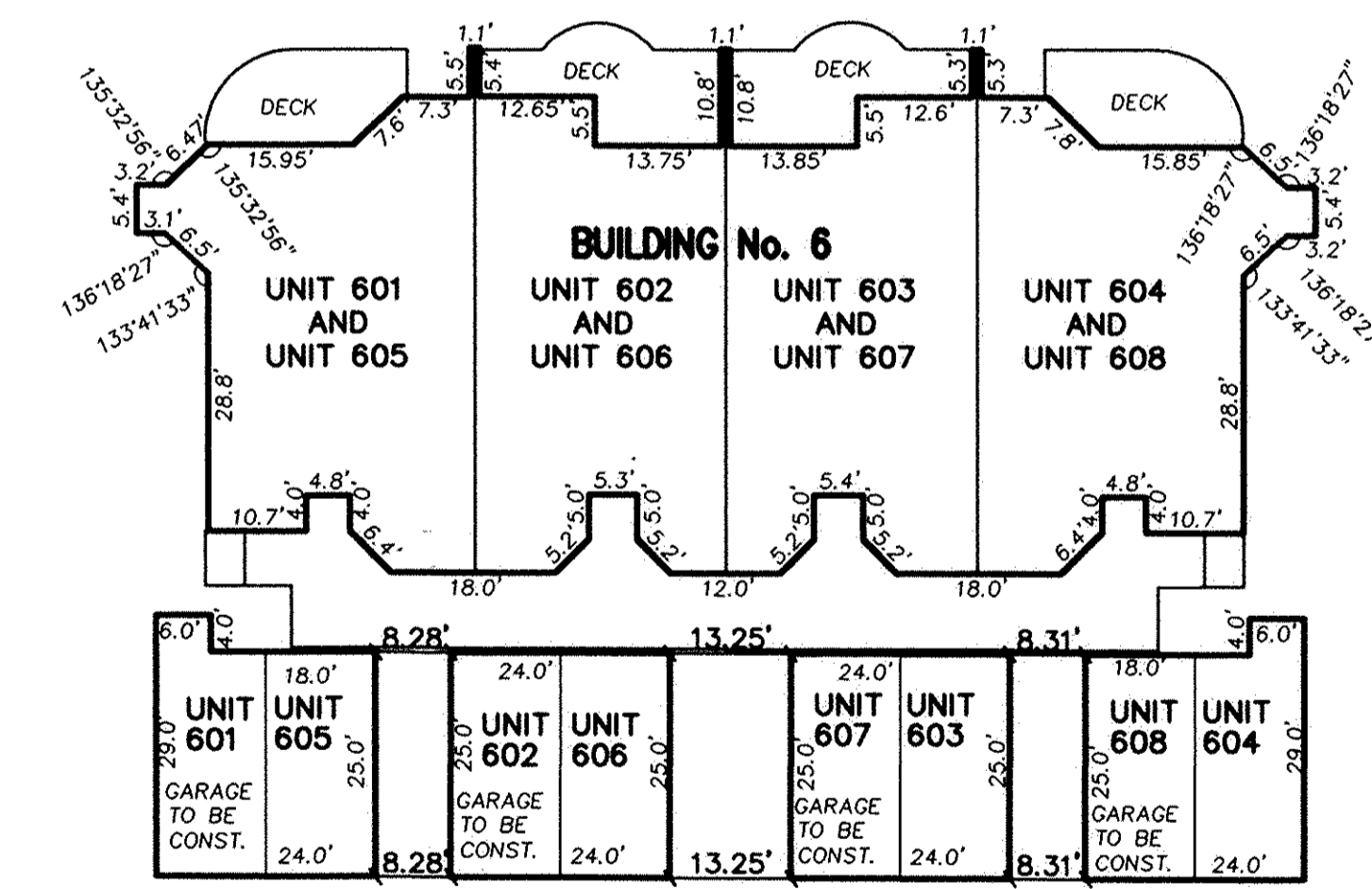
- LEGEND:**
- BUILDING UNIT
 - LIMITED COMMON AREA
 - COMMON AREA



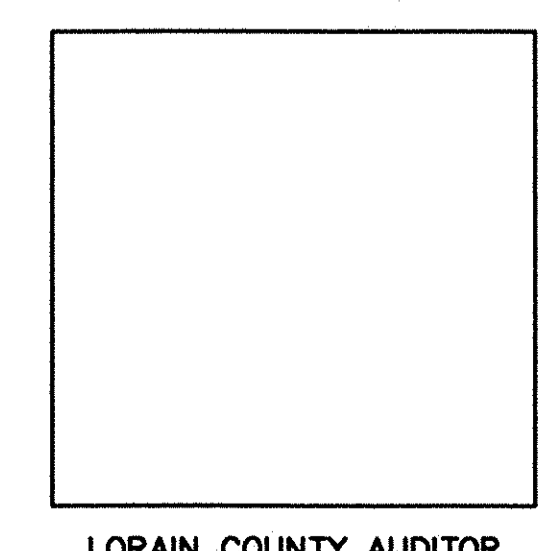
ALL ANGLES ARE 45°00'00" OR 90°00'00",
 UNLESS NOTED OTHERWISE



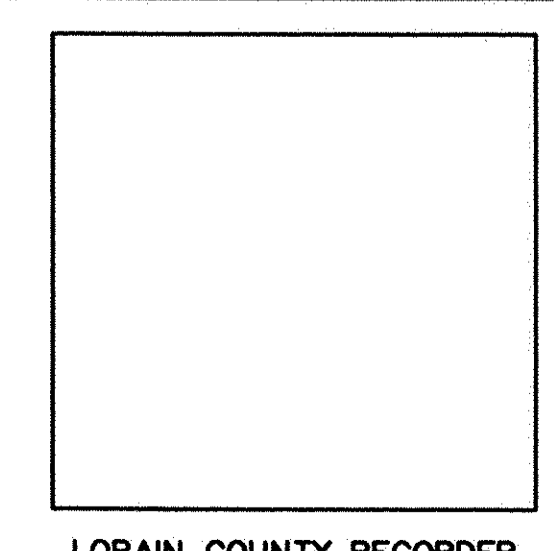
ALL ANGLES ARE 45°00'00" OR 90°00'00",
 UNLESS NOTED OTHERWISE



NOTE:
 ALL BUILDING ANGLES ARE 90° OR 45°, UNLESS NOTED OTHERWISE
BUILDING DETAILS
 1" = 20"



LORAIN COUNTY AUDITOR



LORAIN COUNTY RECORDER

DEVELOPER:
 GILTZ & ASSOCIATES INC.
 4835 MUNSON ST. N.W.
 CANTON, OHIO 44718
 (330) 494-6688

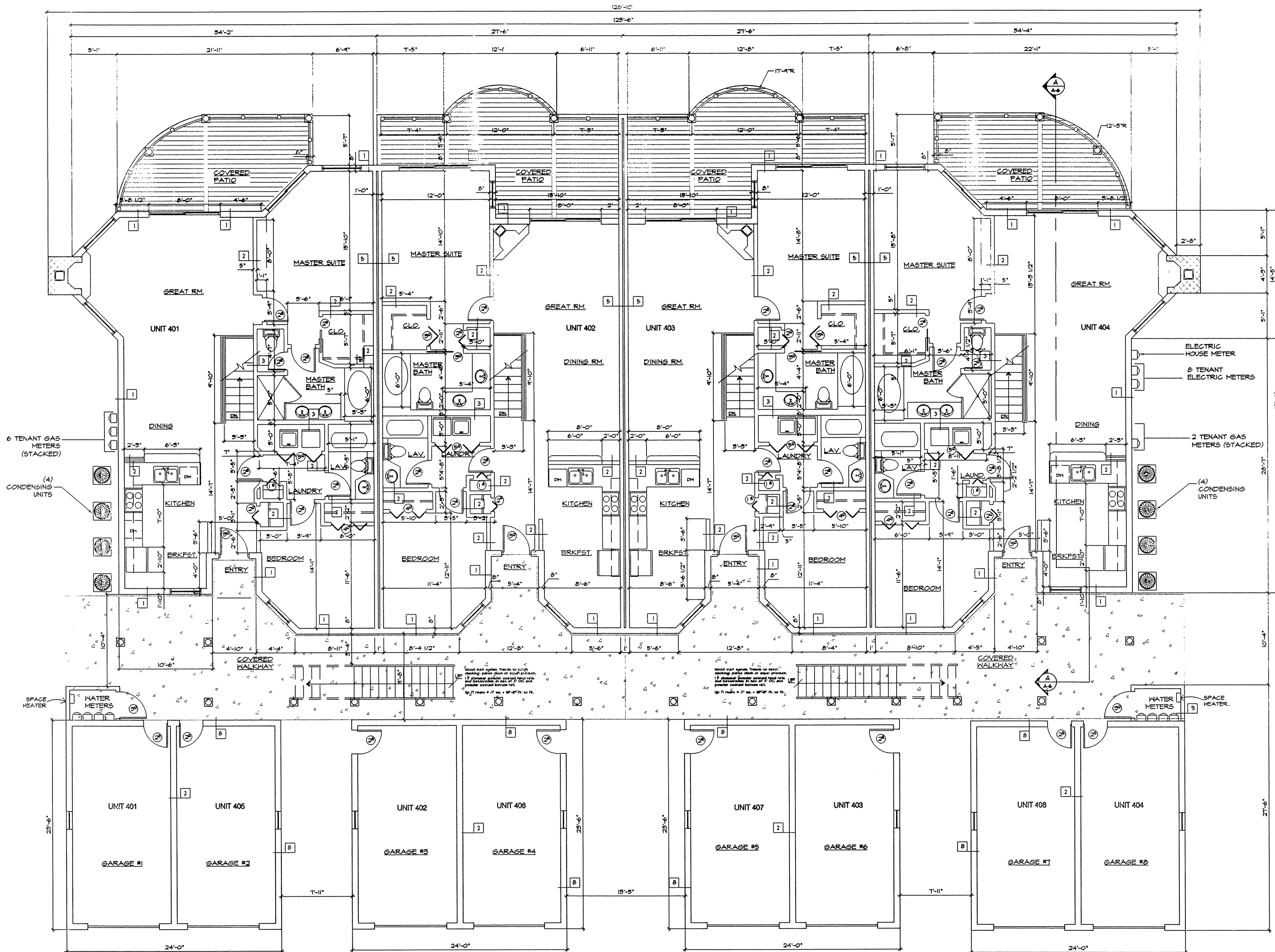
VERMILION SHORES - PHASE 2
 CITY OF VERMILION
 LORAIN COUNTY, OHIO

**CHENEY AND PICCIN
 ENGINEERING, INC.**
 86 EAST CHEROKEE DRIVE
 POWELL, OHIO 43065
 (614) 798-8000

DATE
 SEPTEMBER 15, 2004
 DRAWN BY CHECKED BY
 EPC
 PROJECT MANAGER

DATE	INITIAL	REVISION DESCRIPTION

SHEET TITLE
S2
 SHEET
2 OF 15



WALL TYPES:

- 1 2 X 6 WOOD STUDS @ 16" OC W/ R2 FIBERGLASS INSULATION, 1/2" GYP. BD. @ INT, 1/16" O.S.B. BOARD W/ J.M.B.O. TEX URLE EXTERIOR. EXTERIOR FINISH AS NOTED. SEE WALL SECTIONS AND EXTERIOR ELEVATIONS.
- 2 2X4 WOOD STUDS @ 16" OC W/ 1 LAYER 1/2" GYP. BD. EA. SIDE - WET AREAS TO HAVE MR BOARD.
- 3 PLUMBING WALL: 2X8 WOOD STUDS @ 16" OC W/ 1 LAYER 1/2" MOISTURE RETARDANT GYP. BD. @ WET SIDE OF WALL, 1 LAYER 1/2" GYP. BD. @ OTHER SIDE.
- 4 CMU WITH SUBSTRATE AND EXTERIOR FINISH. SEE BUILDING SECTION AND EXT. ELEVATION.
- 5 UL Design No. U35: Two layers 5/8" class X gypsum board applied vertically. Inner layer attached to studs with 6d nails spaced 6 in. OC. Outer layer attached to studs over inner layer with 6d nails spaced 8 in. OC. All joints in inner layers staggered with the joints in outer layers and from joints on opposite side. Extend full height to roof deck. Seal with fire resistant sealant. Insulation - Sound batts Min. in thick min 2.5 pcf unfaced mineral fiber insulation pressure fit in the wall cavity between studs and plates. Bearing Plates: Nom. 2X10's.
- 6 2x4 WOOD STUDS WITH 1/2" GYP BD EACH SIDE TO 3'-6" ABOVE FLOOR.
- 7 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH ON SIDES. SEE EXTELEV.
- 8 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH. 1/2" DRYWALL @ INTERIOR. SEE EXT. ELEV.
- 9 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH TO MATCH GARAGE. SEE EXT. ELEV. FULL BATT INSULATION IN WALLS AND ROOF.
- 10 ADD 1/2" MR BOARD TO TENANT SEPARATION WALL.

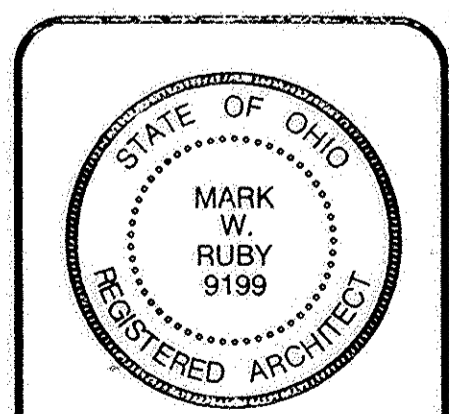
NOTE:

- 1. All floors are to have sound insulation: a 1/2" layer of Homocote (1/2" backboard under ceramic floors typ.)
- 2. Laundry bi-fold doors to be 6'-0"

NO.	REVISIONS	BY

MARK W. RUBY
 ARCHITECT
 1110 COOPER FOSTER PARK ROAD
 AMHERST, OH. 44001
 (440) 986-2081

TITLE
VERMILION SHORES CONDOMINIUMS
 BUILDING #4
 WHISPERING SHORES DR.
 VERMILION, OHIO



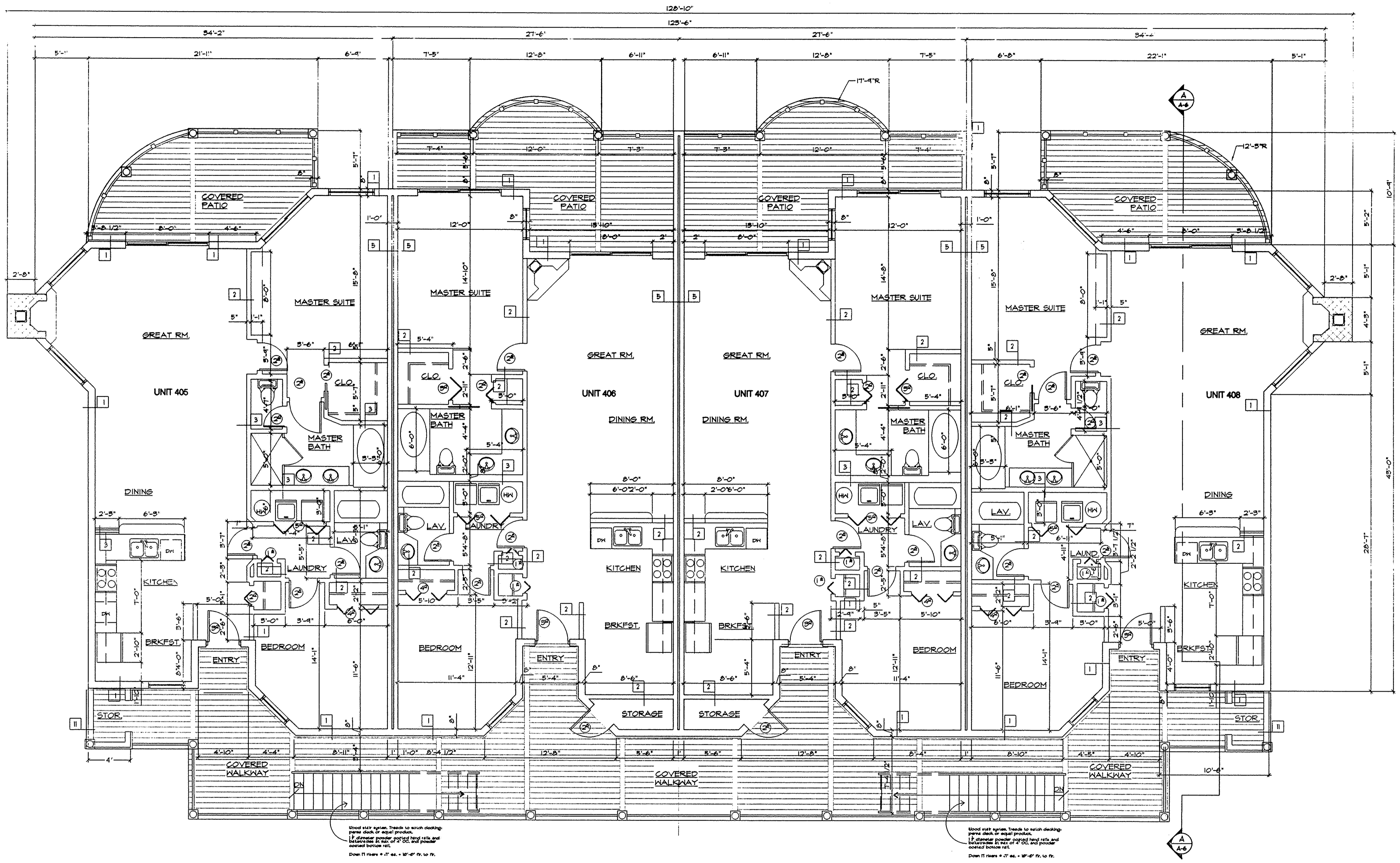
DATE 8/2/04
 PROJ. 0373
 SHEET

BUILDING NUMBER 4
UNITS 401 THRU 404

FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

030585

030585 #2130



- WALL TYPES:**
- 1 2 X 6 WOOD STUDS @ 16" O.C. W/ R21 FIBERGLASS INSULATION, 1/2" GYP. BD. @ INT. 1/16" O.S.B. BOARD W/ JUNBO TEX WRAP @ EXTERIOR. EXTERIOR FINISH AS NOTED. SEE WALL SECTIONS AND EXTERIOR ELEVATIONS.
 - 2 2X4 WOOD STUDS AT 16" O.C. W/ 1 LAYER 1/2" GYP. BD. EA. SIDE - WET AREAS TO HAVE MR. BOARD.
 - 3 FLUMING WALL: 2X2 WOOD STUDS AT 16" O.C. W/ 1 LAYER 1/2" MOISTURE RETARDANT GYP. BD. @ WET SIDE OF WALL, 1 LAYER 1/2" GYP. BD. @ OTHER SIDE.
 - 4 CMU WITH SUBSTRATE AND EXTERIOR FINISH. SEE BUILDING SECTION AND EXT. ELEVATION.
 - 5 UL Design No. I251. Two layers 5/8" class X gypsum board: applied vertically. Inner layer attached to studs with 6d nails spaced 6 in. O.C. Outer layer attached to studs over inner layer with 8d nails spaced 8 in. O.C. All joints in inner layers staggered with the joints in outer layers and from joints on opposite side. Extend full height to roof deck. Seal with fire resistant sealant. Insulation - Sound batts 1 1/2" in thick, min 2 1/2 pcf unfaced mineral fiber insulation, pressure fit in the wall cavity between studs and plates. Bearing Plates: Nom. 2X10's.
 - 6 2X4 WOOD STUDS WITH 1/2" GYP. BD. EACH SIDE TO 3'-6" ABOVE FLOOR.
 - 7 2X4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH BO. SIDES. SEE EXTELEV.
 - 8 2X4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH. 1/2" DRYWALL @ INTERIOR. SEE EXT. ELEV.
 - 9 2X4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH TO MATCH GARAGE. SEE EXT. ELEV. FULL BATT INSULATION IN WALLS AND ROOF.
 - 10 ADD 1/2" MR BOARD TO TENANT SEPARATION WALL.
 - 11 2X4 WOOD STUDS WITH 1/16" O.S.B. BOARD ON INSIDE AND 1/16" O.S.B. WITH EXTERIOR FINISH. SEE EXTERIOR ELEVATIONS.

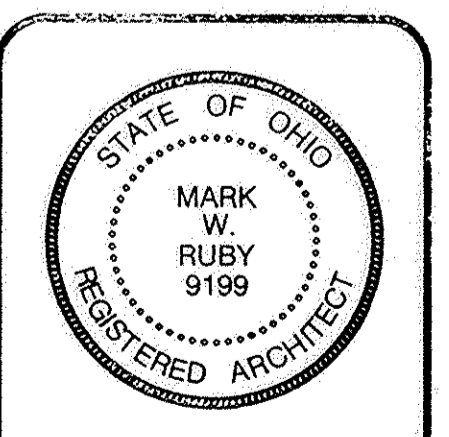
NOTE:

1. All floors are to have sound insulation: a 1/2" layer of Homosote. (1/2" backerboard under ceramic floors, typ.)
2. Laundry bi-fold doors to be 6'-0"

REVISIONS	BY

MARK W. RUBY
ARCHITECT
1110 COOPER FOSTER PARK ROAD
AMHERST, OH. 44001
(440) 986-2091

TITLE
VERMILION SHORES CONDOMINIUMS
BUILDING #4
WHISPERING SHORES DR.
VERMILION, OHIO



DATE 8/2/04
PROJ. 0373
SHEET

5 of 15

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
	KITCHEN		CERAMIC TILE	V.B. WALL COVERING	PT.	
	DINING		CARPET	WOOD	PT.	
	GREAT RM.		CARPET	WOOD	PT.	
	MASTER SUITE		CARPET	WOOD	WALL COVERING/C.T.	
	MASTER BATH		CERAMIC TILE	C.T.	PT.	
	LAUNDRY		CERAMIC TILE	V.B.	PT.	
	LAV.		CERAMIC TILE	C.T.	WALL COVERING/C.T.	
	BEDROOM		CARPET	WOOD	PT.	
	BASEMENT		UNFINISHED	UNFINISHED	UNFINISHED	

INSTALL 1/2" BACKER BOARD UNDER ALL CERAMIC FLOORS AND
INSTALL 1/2" HOMOSOTE UNDER ALL OTHER FLOORS

BUILDING NUMBER 4
UNITS 405 THRU 408

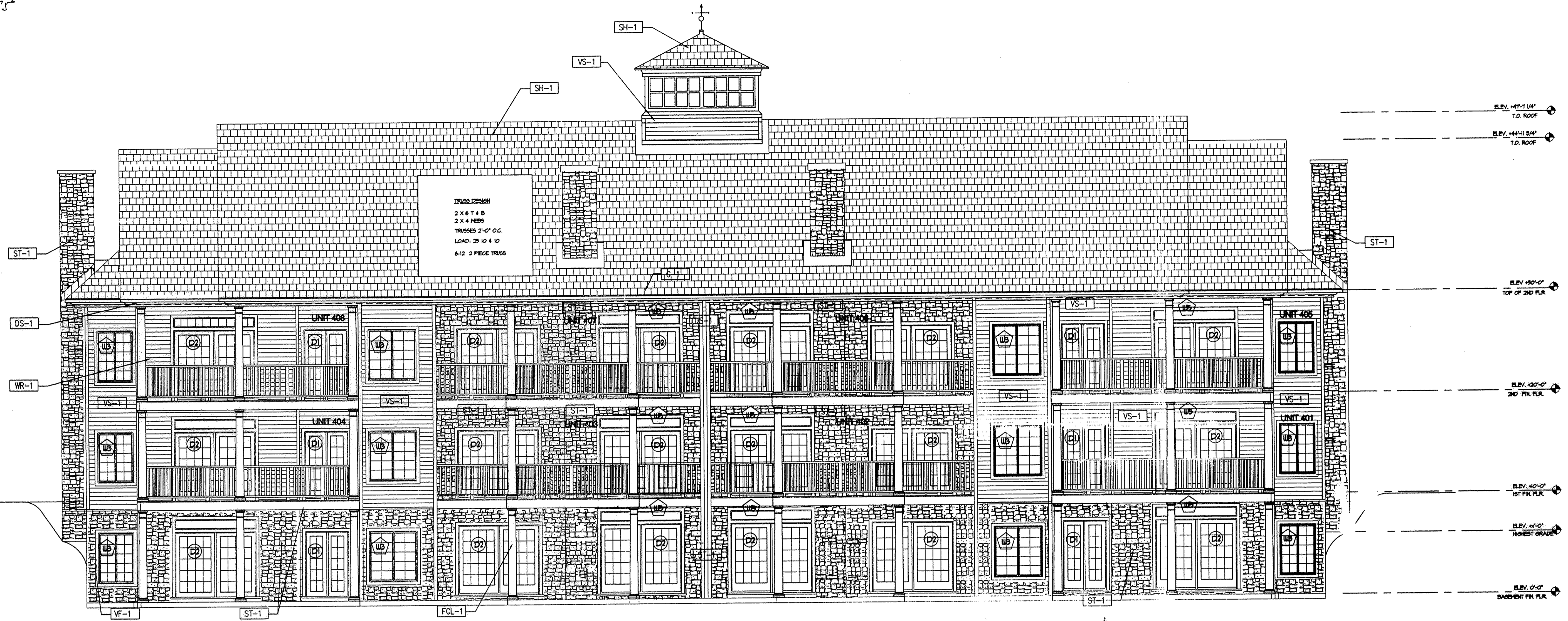
SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

TAX MAP DEPT. COPY #04-00761

8/1/05

030595

030595



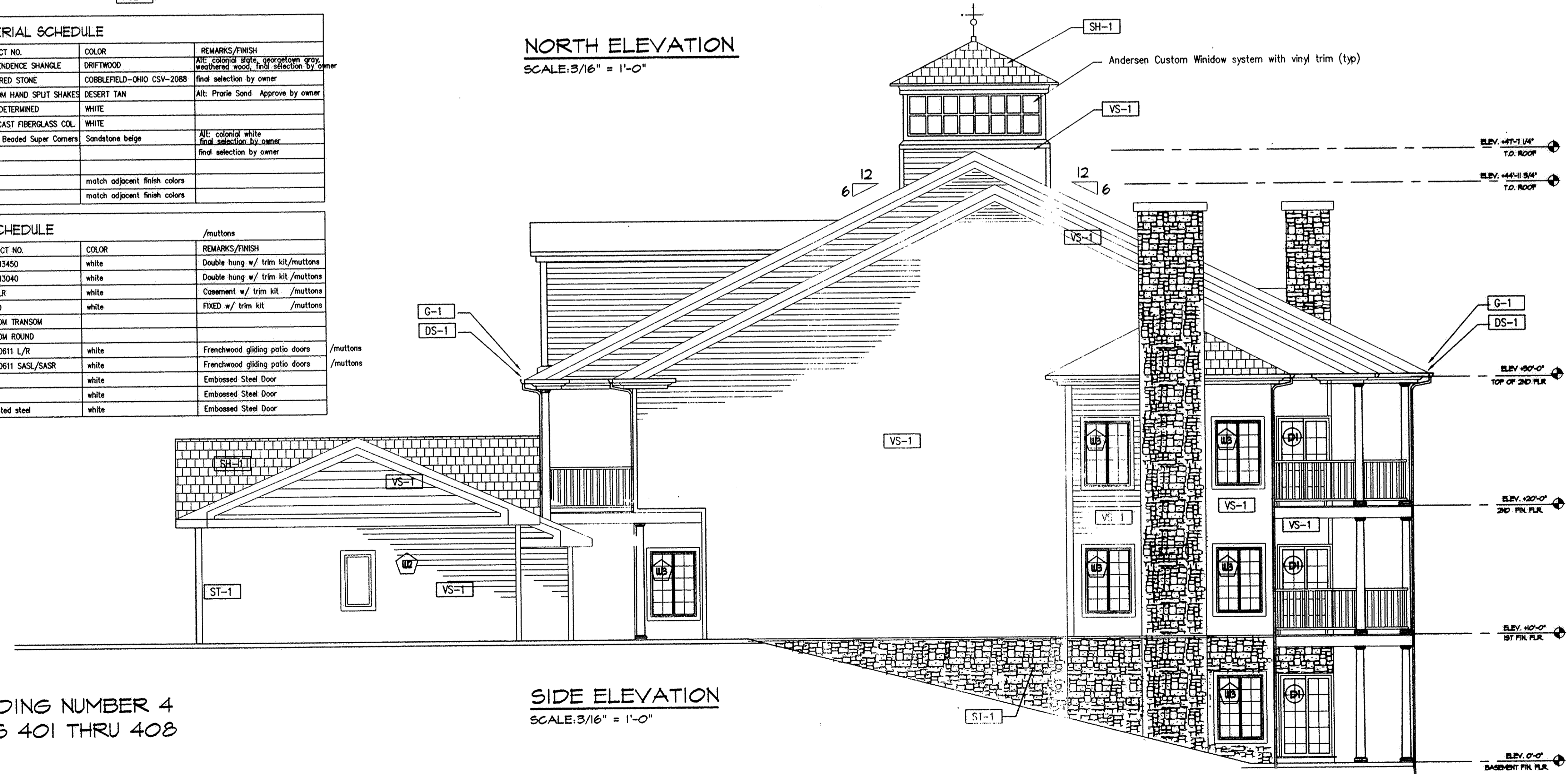
EXTERIOR FINISH MATERIAL SCHEDULE

CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
SH-1	SHINGLES	CERTANTEED	INDEPENDENCE SHANGLE	DRIFTWOOD	Alt: colonial style, grey/stone gray weathered wood. final selection by owner
ST-1	CULTURED STONE	OWENS CORNING	CULTURED STONE	COBBLEFIELD-OHIO CSV-2088	final selection by owner
VS-1	VINYL SIDING	CERTANTEED - CEDAR IMPRESSIONS	RANDOM HAND SPLIT SHAKES	DESERT TAN	Alt: Prairie Sand. Approve by owner
WR-1	POWDER COATED ALUMINUM RAILING	TO BE DETERMINED	TO BE DETERMINED	WHITE	
CL-1	8" AL. BOX WRAP OVER 838 TRTD. WD. POST		PERMACAST FIBERGLASS COL.	WHITE	
VF-1	VINYL TRIM	CERTANTEED	3 1/2" Beaded Super Corners	Sandstone beige	Alt: colonial white final selection by owner
D-1	PLASTIC LUMBER DECK		5/4"		final selection by owner
G-1	ALUMINUM GUTTERS				match adjacent finish colors
DS-1	ALUMINUM DOWNSPOUT				match adjacent finish colors

DOOR AND WINDOW SCHEDULE

CODE	ROUGH OPENING	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
W1	3'-4" x 5'-0"	ANDERSEN	Z44DH3450	white	Double hung w/ trim kit/muttons
W2	2'-0" x 4'-0"	ANDERSEN	Z44DH3040	white	Double hung w/ trim kit/muttons
W3	4'-9" x 5'-0 1/2"	ANDERSEN	CW25LR	white	Casement w/ trim kit /muttons
W4	3'-0 1/2" x 5'-0 1/2"	ANDERSEN	P3050	white	FIXED w/ trim kit /muttons
W5	1' X	ANDERSEN	CUSTOM TRANSOM		
W6		ANDERSEN	CUSTOM ROUND		
D1	6'-0" x 6'-11"	ANDERSEN	FW60611 L/R	white	Frenchwood gliding patio doors /muttons
D2	8'-0" x 6'-11"	ANDERSEN	FW60611 SASL/SASR	white	Frenchwood gliding patio doors /muttons
D3	3'-0" x 6'-8"	Thermo-Tru	210	white	Embossed Steel Door
D4	3'-0" x 6'-8"	Thermo-Tru	210	white	Embossed Steel Door
G1	9'-0" x 7'-0"	wayne-dalton	insulated steel	white	Embossed Steel Door

NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



SIDE ELEVATION
 SCALE: 3/16" = 1'-0"

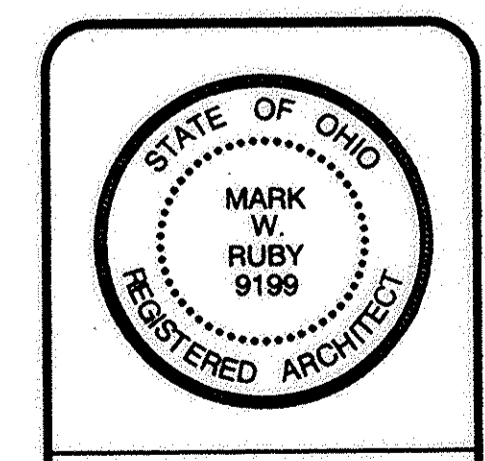
BUILDING NUMBER 4
 UNITS 401 THRU 408

REVISIONS BY

NO.	DATE	BY	DESCRIPTION

MARK W. RUBY
 ARCHITECT
 1110 COOPER FOSTER PARK ROAD
 ANKERST, OH. 44001
 (440) 986-2091

TITLE
VERMILION SHORES CONDOMINIUMS
 BUILDING #4
 WHISPERING SHORES DR.
 VERMILION, OHIO

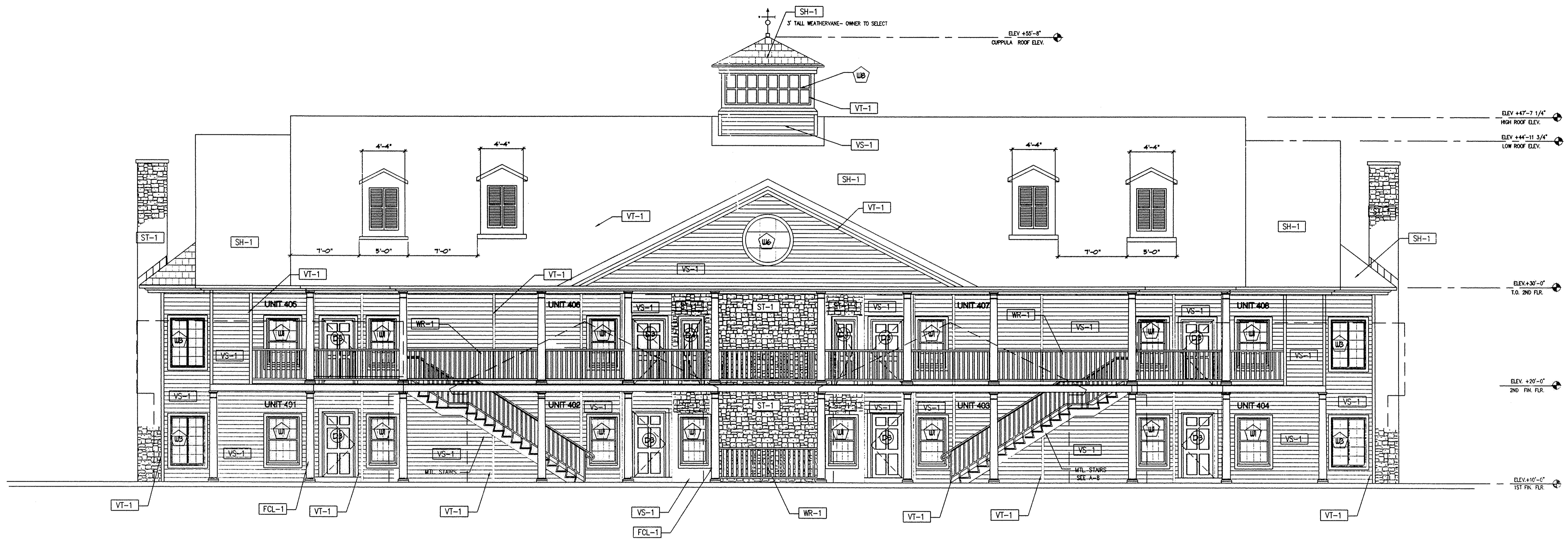


DATE 8/2/04
 PROJ. 0373
 SHEET

6 of 15

TAX MAP DEPT. COPY #04-00761

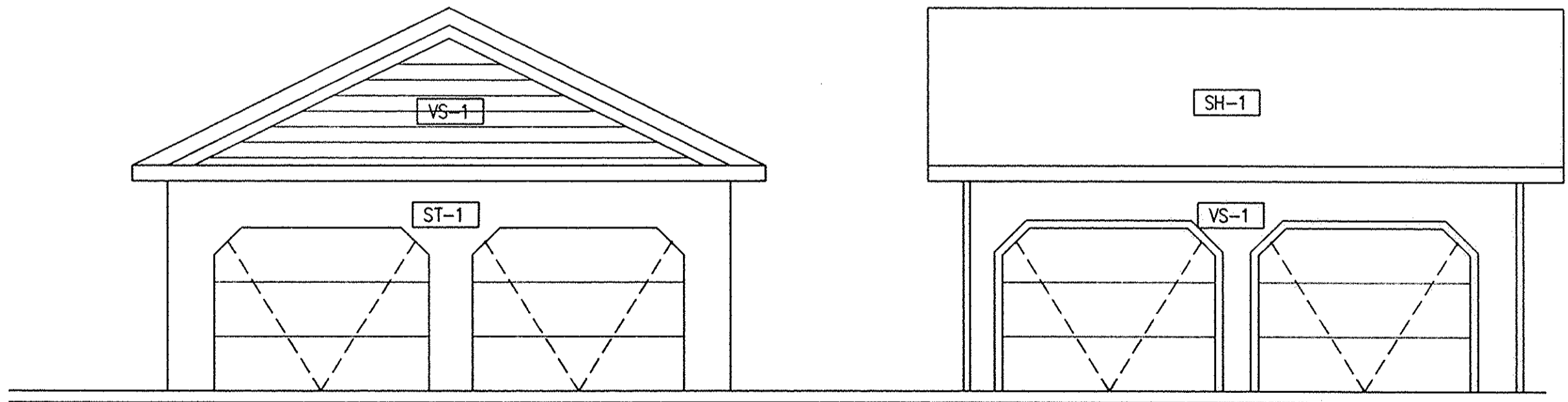
81/66



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISH MATERIAL SCHEDULE					
CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
SH-1	SHINGLES	CERTAINTEED	INDEPENDENCE SHANGLE	DRIFTWOOD	Alt: colonial slate, georgetown gray, weathered wood, final selection by owner
ST-1	CULTURED STONE	OWENS CORNING	CULTURED STONE	COBBLEFIELD-OHIO CSV-2088	final selection by owner
VS-1	VINYL SIDING	CERTAINTEED - CEDAR IMPRESSIONS	RANDOM HAND SPLIT SHAKES	DESERT TAN	Alt: Prairie Sand Approve by owner
WR-1	POWDER COATED ALUMINUM RAILING	TO BE DETERMINED	TO BE DETERMINED	WHITE	
CL-1	8" AL. BOX W/RAIP OVER GAS TRTD. NO. POST		PERMACAST FIBERGLASS COL.	WHITE	
WF-1	VINYL TRIM	CERTAINTEED	3 1/2" Beaded Super Corners	Sandstone beige	Alt: colonial white final selection by owner
D-1	PLASTIC LUMBER DECK		5/4"		final selection by owner
G-1	ALUMINUM GUTTERS			match adjacent finish colors	
DS-1	ALUMINUM DOWNSPOUT			match adjacent finish colors	

DOOR AND WINDOW SCHEDULE					
CODE	ROUGH OPENING	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
W1	3'-4" x 5'-0"	ANDERSEN	244H3450	white	Double hung w/ trim kit/muttons
W2	2'-0" x 4'-0"	ANDERSEN	244H3040	white	Double hung w/ trim kit/muttons
W3	4'-9" x 5'-0 1/2"	ANDERSEN	CW2SLR	white	Casement w/ trim kit /muttons
W4	3'-0 1/2" x 5'-0 1/2"	ANDERSEN	P3050	white	FIXED w/ trim kit /muttons
W5	1' x	ANDERSEN	CUSTOM TRANSOM	white	
W6	NOMINAL	ANDERSEN	CUSTOM ROUND	white	
W7	NOMINAL	ANDERSEN	CUSTOM	white	
W8	NOMINAL	ANDERSEN	CUSTOM	white	
D1	6'-0" x 6'-11"	ANDERSEN	FWG0611 L/R	white	Frenchwood gliding patio doors /muttons
D2	8'-0" x 6'-11"	ANDERSEN	FWG0611 SASL/SASR	white	Frenchwood gliding patio doors /muttons
D3	3'-0" x 6'-8"	Therma-Tru	210	white	Embossed Steel Door
D4	3'-0" x 6'-8"	Therma-Tru	210	white	Embossed Steel Door
G1	9'-0" x 7'-0"	wayne-dalton	Insulated steel	white	Embossed Steel Door



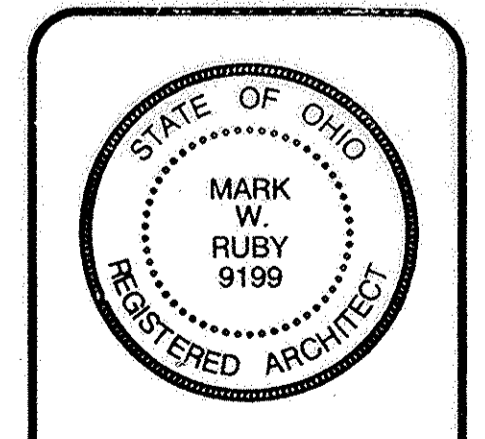
GARAGE ELEVATION
SCALE: 3/16" = 1'-0"

BUILDING NUMBER 4
UNITS 401 THRU 408

REVISIONS	BY

MARK W. RUBY
ARCHITECT
1110 COOPER FOSTER PARK ROAD
AMHERST, OH. 44001
(440) 986-2091

BUILDING #4
VERMILION SHORES CONDOMINIUMS
WHISPERING SHORES DR.
VERMILION, OHIO



DATE 8/2/04
PROJ. 0373
SHEET

7 of 15

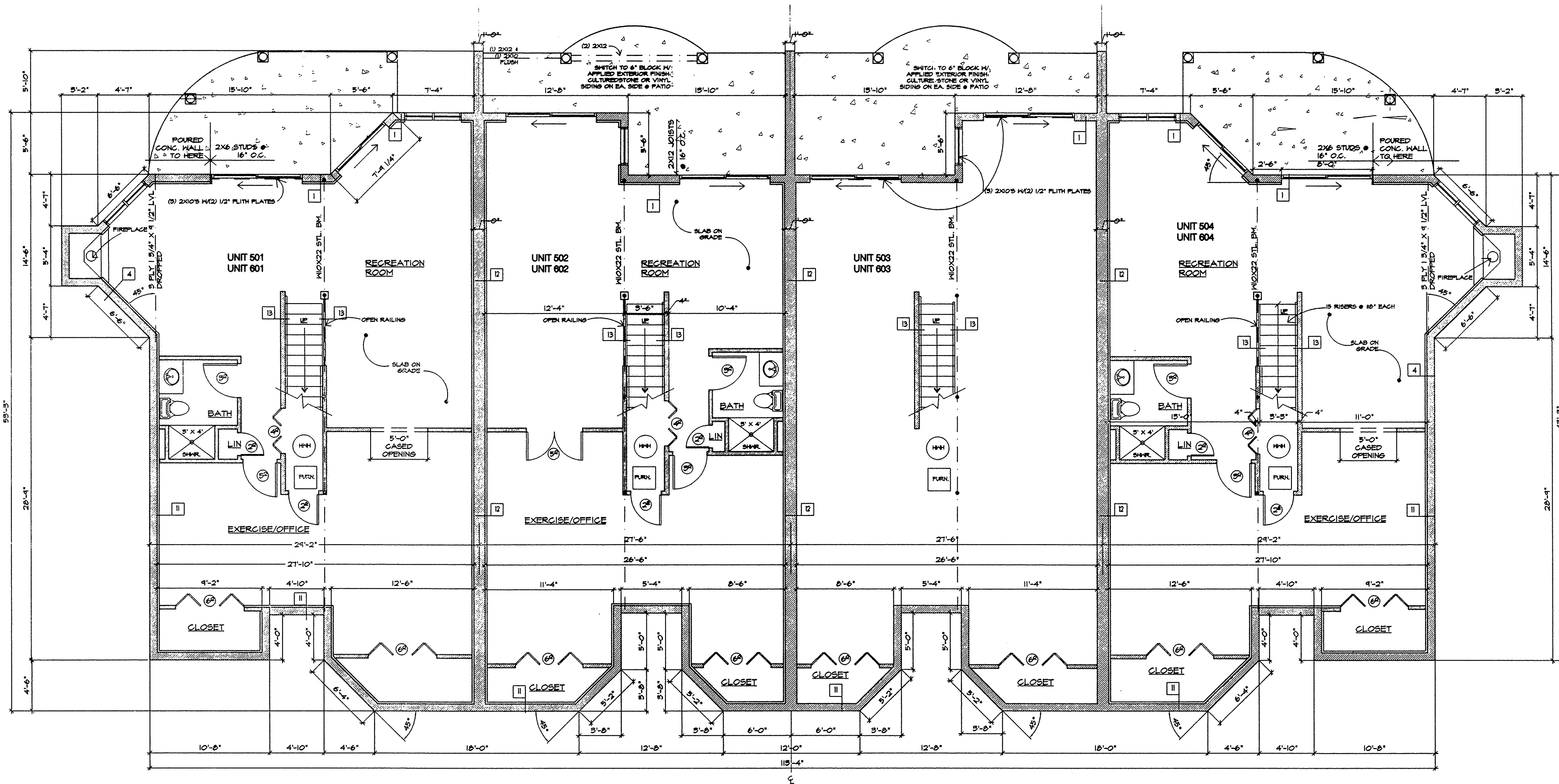
REVISIONS	BY

MARK W. RUBY
ARCHITECT
1110 COOPER FOSTER PARK ROAD
AMHERST, OH. 44001
(440) 986-2091

TITLE
VERMILION SHORES CONDOMINIUMS
BUILDING #5 & #6
WHISPERING SHORES DR.
VERMILION, OHIO

STATE OF OHIO
REGISTERED ARCHITECT
MARK W. RUBY
9199

DATE 8/2/04
PROJ. 0370/0419
SHEET
8 of 15



- WALL TYPES:**
- 2 X 6 WOOD STUDS @ 16" O.C. W/ R21 FIBERGLASS INSULATION, 5/8" GYP. BD. @ INT. 5/8" PLYWOOD W/ JUMBO TEX WRAP @ EXTERIOR. EXTERIOR FINISH AS NOTED. SEE WALL SECTIONS AND EXTERIOR ELEVATIONS.
 - 2X4 WOOD STUDS AT 16" OC W/ 1 LAYER 5/8" GYP. BD. EA. SIDE
 - PLUMBING WALL: 2X6 WOOD STUDS AT 16" OC W/ 1 LAYER 5/8" MOISTURE RETARDANT GYP. BD. @ WET SIDE OF WALL, 1 LAYER 5/8" GYP. BD. @ OTHER SIDE.
 - 8" REINFORCED POURED CONC. WITH EXT. SUBSTRATE AND EXTERIOR FINISH. SEE BUILDING SECTION AND EXT. ELEVATION.
 - UL Design No. U381. Two layers 5/8" class X gypsum board; applied vertically. Inner layer attached to studs with ed nails spaced @ in. OC. Outer layer attached to studs over inner layer with ed nails spaced @ in. OC. All joints in inner layers staggered with the joints in outer layers and from joints on opposite side. Extend full height to roof deck. Seal with fire resistant sealant. Insulation- sound batts 1 1/2" in thick, min. 2.5 pcf unfaced mineral fiber insulation, pressure fit in the wall cavity between studs and plates. Bearing Plates: Nom. 2X10's.
 - 2x4 WOOD STUDS WITH 5/8" GYP BD EACH SIDE TO 3'-6" ABOVE FLOOR.
 - 2x4 WOOD STUDS WITH 3/4" PLYWOOD AND EXTERIOR FINISH BO. SIDES. SEE EXT. ELEV.
 - 2x4 WOOD STUDS WITH 3/4" PLYWOOD AND EXTERIOR FINISH. SEE EXT. ELEV. AND 5/8" DRYWALL @ INTERIOR.
 - 2x4 WOOD STUDS WITH 3/4" PLYWOOD AND EXTERIOR FINISH TO MATCH GARAGE. SEE EXT. ELEV. FULL BATT INSULATION IN WALLS AND ROOF.
 - 8" CMU.
 - 8" REINFORCED POURED CONCRETE.
 - 12" REINFORCED POURED CONCRETE.
 - 2x6 WOOD STUDS W/ 1/2" GYP. BD. EA. SIDE.

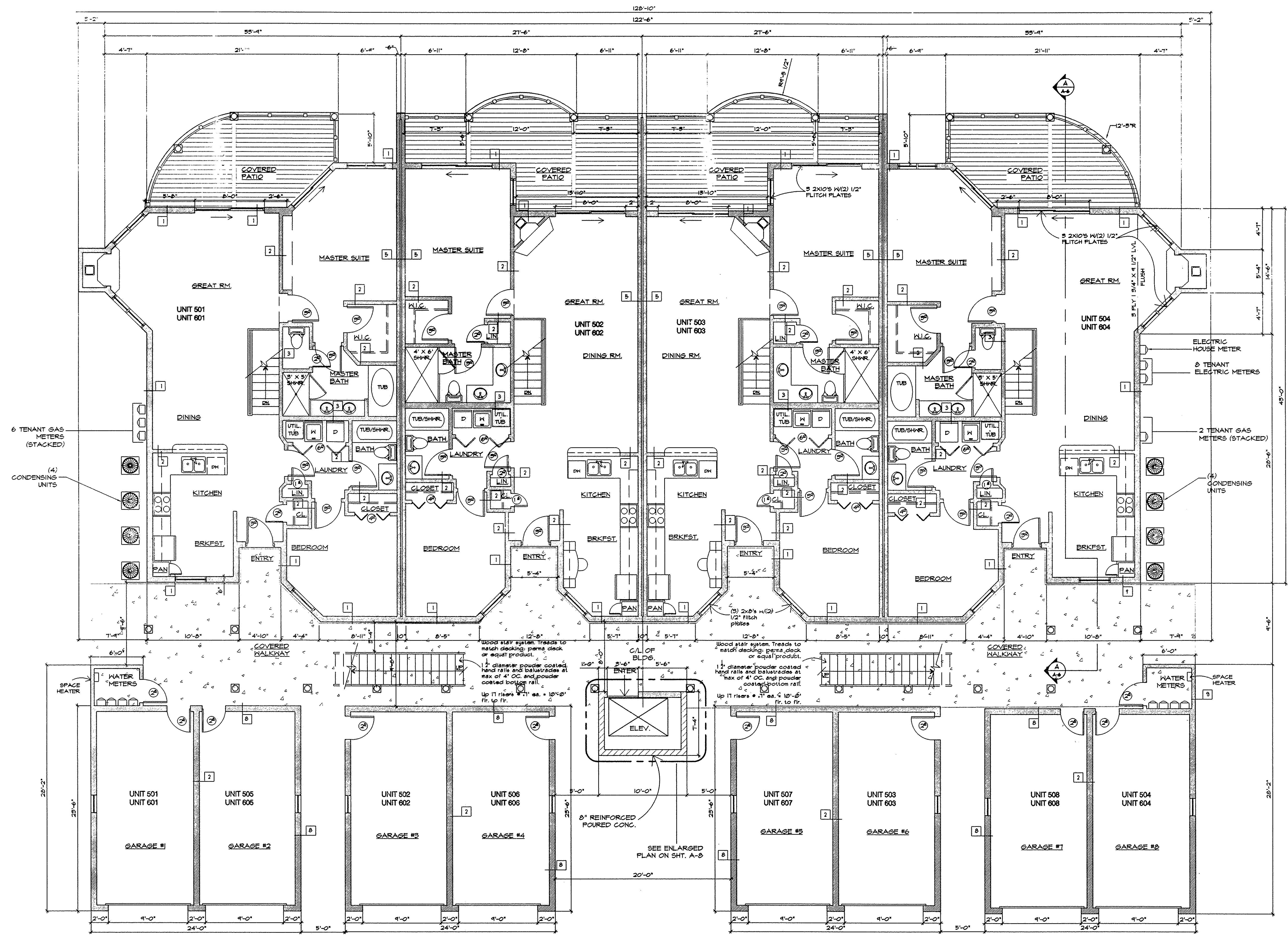
NOTE:

- All floors are to have sound insulation: a 10mil. (min) SAM3- self-adhering sound deadening sheet membrane applied between the floor joist and plywood.
- Add 2x furring and 1/2" gyp. bd. to poured concrete walls.

BASEMENT PLAN
SCALE: 3/16" = 1'-0"

BUILDING NUMBER 5
UNITS 501 THRU 504
BUILDING NUMBER 6
UNITS 601 THRU 604

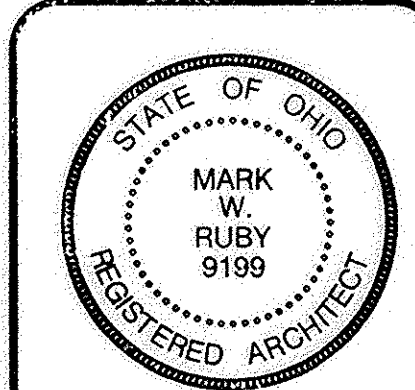
REVISIONS	BY



- WALL TYPES:**
- 2 X 6 WOOD STUDS @ 16" O.C. W/ R21 FIBERGLASS INSULATION, 1/2" GYP. BD. @ INT. 1/16" O.S.B. BOARD W/ JUMBO TEX WRAP @ EXTERIOR. EXTERIOR FINISH AS NOTED. SEE WALL SECTIONS AND EXTERIOR ELEVATIONS.
 - 2X4 WOOD STUDS AT 16" O.C. W/ 1 LAYER 1/2" GYP. BD. EA. SIDE - WET AREAS TO HAVE MR BOARD.
 - PLUMBING WALL: 2X6 WOOD STUDS @ 16" O.C. W/ 1 LAYER 1/2" MOISTURE RETARDANT GYP. BD. @ WET SIDE OF WALL, 1 LAYER 1/2" GYP. BD. @ OTHER SIDE.
 - CMU WITH SUBSTRATE AND EXTERIOR FINISH. SEE BUILDING SECTION AND EXT. ELEVATION.
 - W/ Design No. U251. Two layers 5/8" class X gypsum board; applied vertically. Inner layer attached to studs with 6d nails spaced 6 in. O.C. Outer layer attached to studs over inner layer with 8d nails spaced 8 in. O.C. All joints in inner layers staggered with the joints in outer layers and from joints on opposite side. Extend full height to roof deck. Seal with fire resistant sealant. Insulation - Sound batts Min. in thick, min 2.5 pcf unfaced mineral fiber insulation, pressure fit in the wall cavity between studs and plates. Bearing Plates: Nom. 2x12's.
 - 2x4 WOOD STUDS WITH 1/2" GYP BD EACH SIDE TO 3'-6" ABOVE FLOOR.
 - 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH BO. SIDES. SEE EXTELEV.
 - 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH. 1/2" DRYWALL @ INTERIOR. SEE EXT. ELEV.
 - 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH TO MATCH GARAGE. SEE EXT. ELEV. FULL BATT INSULATION IN WALLS AND ROOF.
 - ADD 1/2" MR BOARD TO TENANT SEPARATION WALL.
- NOTE:**
- All floors are to have sound insulation: a 1/2" layer of Homosote (1/2" backboard under ceramic floors top.)
 - Laundry bi-fold doors to be 6'-0"

MARK W. RUBY
ARCHITECT
1110 COOPER FOSTER PARK ROAD
AMHERST, OH. 44001
(440) 986-2091

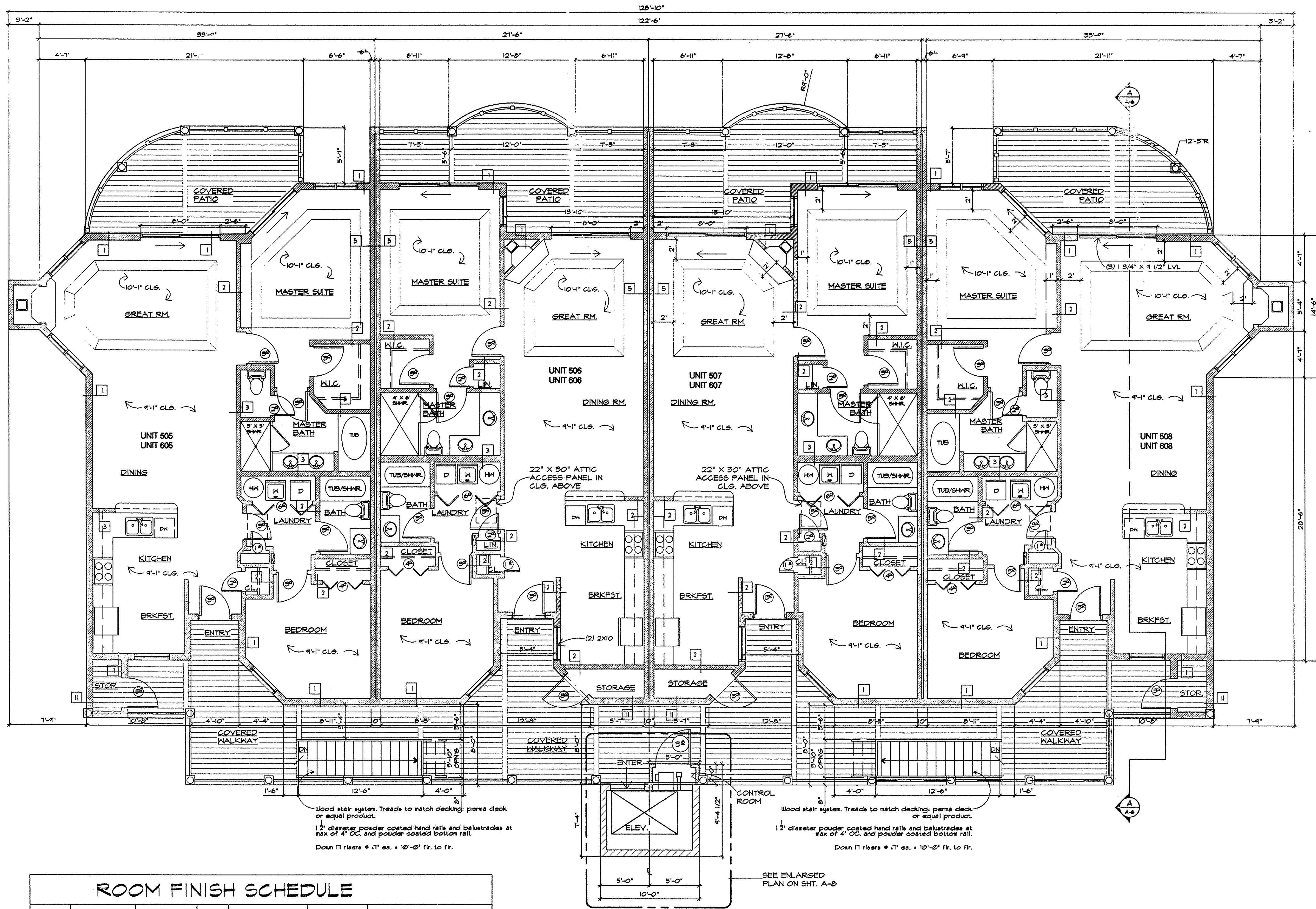
TITLE
BUILDING #5 & #6
VERMILION SHORES CONDOMINIUMS
WHISPERING SHORES DR.
VERMILION, OHIO



DATE 8/2/04
PROJ. 0370/0419
SHEET

BUILDING NUMBER 5
UNITS 501 THRU 504
BUILDING NUMBER 6
UNITS 601 THRU 604

FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



- WALL TYPES:**
- 1 2 X 6 WOOD STUDS @ 16" O.C. W/ R21 FIBERGLASS INSULATION, 1/2" GYP. BD. • INT. 1/16" O.S.B. BOARD W/ JUMBO TEX WRAP • EXTERIOR. EXTERIOR FINISH AS NOTED. SEE WALL SECTIONS AND EXTERIOR ELEVATIONS.
 - 2 2X4 WOOD STUDS AT 16" O.C. W/ 1 LAYER 1/2" GYP. BD. EA. SIDE- UET AREAS TO HAVE MR BOARD.
 - 3 PLUMBING WALL: 2X6 WOOD STUDS AT 16" O.C. W/ 1 LAYER 1/2" MOISTURE RETARDANT GYP. BD. • UET SIDE OF WALL. 1 LAYER 1/2" GYP. BD. • OTHER SIDE.
 - 4 CMU WITH SUBSTRATE AND EXTERIOR FINISH. SEE BUILDING SECTION AND EXT. ELEVATION.
 - 5 Wall Design No. U251: Two layers 5/8" class X gypsum board, applied vertically. Inner layer attached to studs with 6d nails spaced 6 in. OC. Outer layer attached to studs over inner layer with 6d nails spaced 8 in. OC. All joints in inner layers staggered with the joints in outer layers and from joints on opposite side. Extend full height to roof deck. Seal with fire resistant sealant. Insulation - Sound batts Min. in thick, min 2.5 pcf unfaced mineral fiber insulation, pressure fit in the wall cavity between studs and plates. Bearing Plates: Nom. 2X10's.
 - 6 2x4 WOOD STUDS WITH 1/2" GYP BD EACH SIDE TO 3'-6" ABOVE FLOOR.
 - 7 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH BO. SIDES. SEE EXTELEV.
 - 8 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH. 1/2" DRYWALL • INTERIOR. SEE EXT. ELEV.
 - 9 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH TO MATCH GARAGE. SEE EXT. ELEV. FULL BATT INSULATION IN WALLS AND ROOF.
 - 10 ADD 1/2" MR BOARD TO TENANT SEPARATION WALL.
 - 11 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD ON INSIDE AND 1/16" O.S.B. WITH EXTERIOR FINISH. SEE EXTERIOR ELEVATIONS.

- NOTE:**
1. All floors are to have sound insulation: a 1/2" layer of Homosote, (1/2" backboard under ceramic floors, typ.
 2. Laundry bi-fold doors to be 6'-0"

ROOM FINISH SCHEDULE						
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
	KITCHEN		CERAMIC TILE	V.B. WALL COVERING	PT.	
	DINING		CARPET	WOOD PT.	PT.	
	GREAT RM.		CARPET	WOOD PT.	PT.	
	MASTER SUITE		CARPET	WOOD WALL COVERING/C.T.	PT.	
	MASTER BATH		CERAMIC TILE	C.T. PT.	PT.	
	LAUNDRY		CERAMIC TILE	V.B. PT.	PT.	
	LAV		CERAMIC TILE	C.T. WALL COVERING/C.T.	PT.	
	BEDROOM		CARPET	WOOD PT.	PT.	
	BASEMENT		UNFINISHED	UNFINISHED	UNFINISHED	

INSTALL 1/2" BACKER BOARD UNDER ALL CERAMIC FLOORS AND INSTALL 1/2" HOMOSOTE UNDER ALL OTHER FLOORS

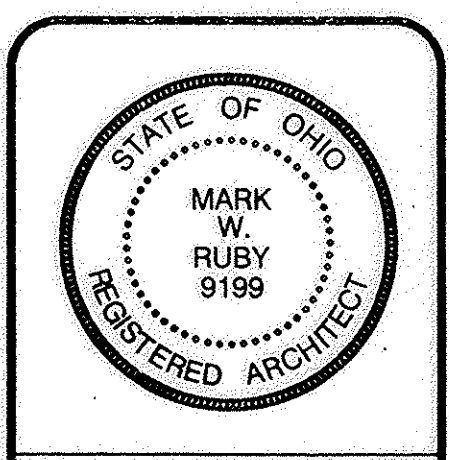
BUILDING NUMBER 5
UNITS 505 THRU 508
BUILDING NUMBER 6
UNITS 605 THRU 608

SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

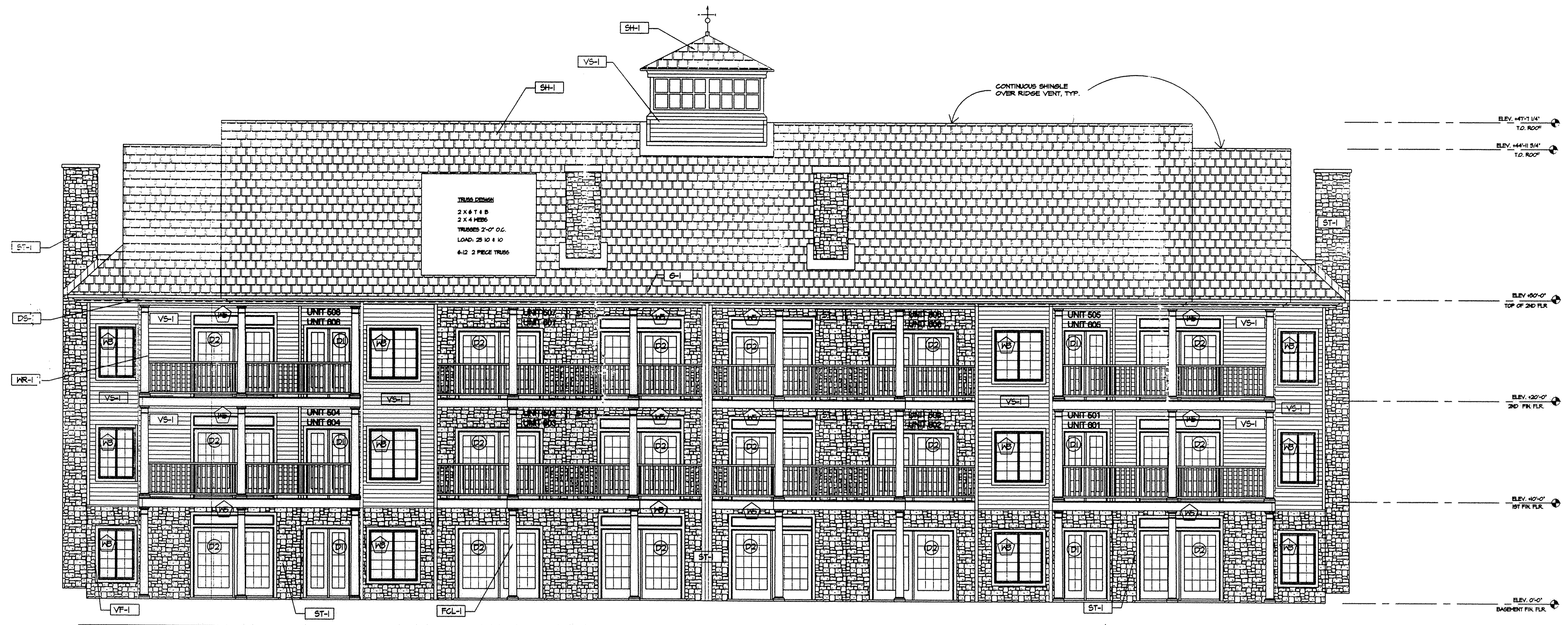
REVISIONS	BY

MARK W. RUBY
ARCHITECT
1110 COOPER FOSTER PARK ROAD
AMHERST, OH. 44001
(440) 986-2091

TITLE
BUILDING #5 & #6
VERMILION SHORES CONDOMINIUMS
WHISPERING SHORES DR.
VERMILION, OHIO



DATE 8/2/04
PROJ. 0370/0419
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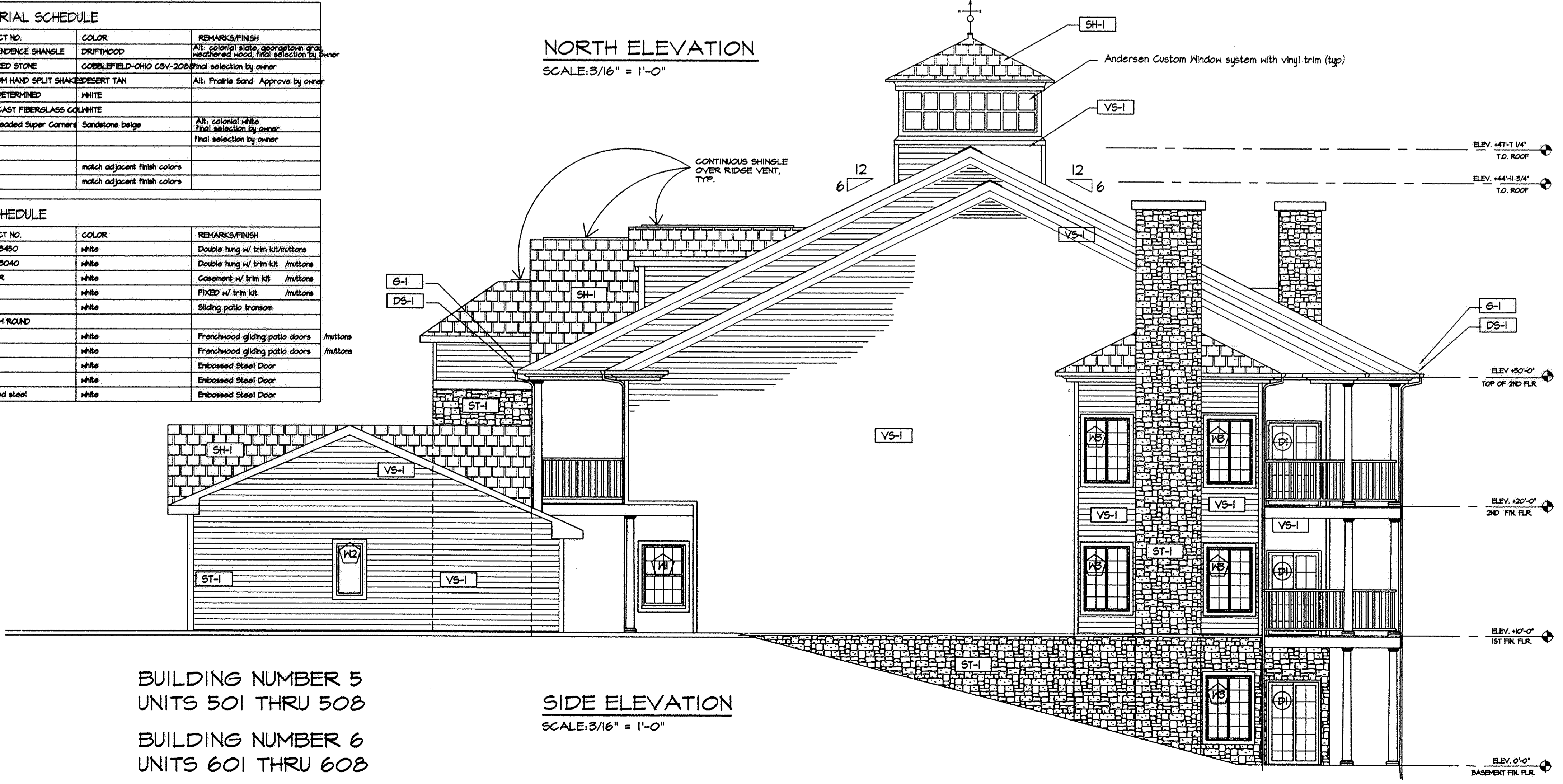
EXTERIOR FINISH MATERIAL SCHEDULE

CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
SH-1	SHINGLES	CERTANTEED	INDEPENDENCE SHANBLE	DRIFTHOOD	All colonial white galvanized steel weathered wood, final selection by owner
ST-1	CULTURED STONE	OHENS CORNING	CULTURED STONE	COBBLEFIELD-OHIO CSV-200	Final selection by owner
VS-1	VINYL SIDING	CERTANTEED - CEDAR IMPRESSIONS	RANDOM HAND SPLIT SHAKES	DESERT TAN	All: Prairie Sand Approve by owner
HR-1	POWDER COATED ALUMINUM RAILING	TO BE DETERMINED	TO BE DETERMINED	WHITE	
CL-1	6\"/>				

DOOR AND WINDOW SCHEDULE

CODE	ROUGH OPENING	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
W1	5'-4\"/>				

NORTH ELEVATION
SCALE: 3/16" = 1'-0"



SIDE ELEVATION
SCALE: 3/16" = 1'-0"

BUILDING NUMBER 5
UNITS 501 THRU 508
BUILDING NUMBER 6
UNITS 601 THRU 608

REVISIONS BY

NO.	DATE	BY	DESCRIPTION

MARK W. RUBY
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1110 COOPER FOSTER PARK ROAD
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STRUCTURAL NOTES

- TRUSSES TO BE DESIGNED BY TRUSS MANUFACTURER.
- TRUSS LAYOUT AND SPECIFICATIONS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW.
- PROVIDE CROSS BRACING & SOLID BLOCKING AS REQUIRED BETWEEN FLOOR JOISTS AT MID SPAN (NOT TO EXCEED 8'-0" O.C.).
- PROVIDE DOUBLE FLOOR JOIST OR SOLID BLOCKING BETWEEN JOISTS BELOW ALL PARTITION WALLS.
- ALL LUMBER EXPOSED TO THE WEATHER OR WITHIN 8' OF FINISHED GRADE SHALL BE PRESERVATIVE TREATED.

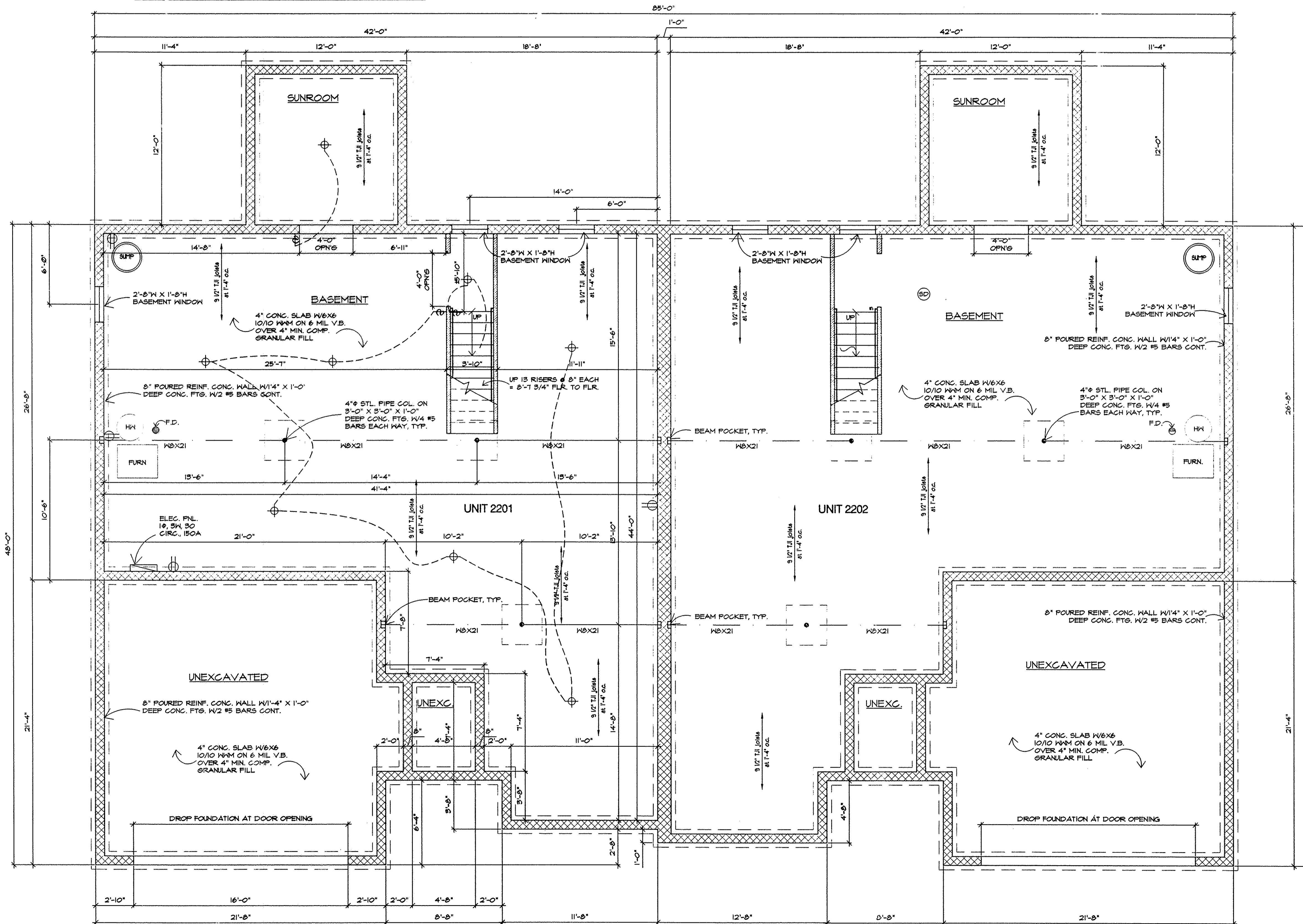
DESIGN LOADS	
DESIGN GROUND SNOW LOAD	25 P.S.F. + DRIFTING
ROOF DESIGN - LIVE LOAD	25 P.S.F.
TOP CHORD - DEAD LOAD	10 P.S.F.
BTM CHORD - DEAD LOAD	10 P.S.F.
	45 P.S.F. TOTAL
DESIGN WIND VELOCITY	90 M.P.H.
WIND EXPOSURE CLASSIFICATION	EXPOSURE 'B'
DESIGN WIND PRESSURE	BASIC P _e 12 P.S.F.
DESIGN SOIL PRESSURE	2,500 P.S.F. (TO BE VERIFIED)
GROU	3,000 P.S.F.
EARTHQUAKE DESIGN	SEISMIC ZONE 1 WIND CONTROLS

DRAWING INDEX	
SHT #	DESCRIPTION
A-1	CODE REVIEW, DRAWING INDEX, STRUCTURAL NOTES, DESIGN LOADS, FOUNDATION PLAN
A-2	FLOOR PLAN TYP, WALL SECTION, WINDOW SCHEDULE, TENANT SEPARATION WALL, NOTES
A-3	EXTERIOR ELEVATIONS, ROOF PLAN

CODE REVIEW	
USE GROUP :	RESIDENTIAL
CONSTRUCTION TYPE :	VB
BUILDING AREA:	UNIT A 1,558 S.F. + GARAGE UNIT B 1,570 S.F. + GARAGE TOTAL 3,128 S.F.
OCCUPANCY :	8 PER UNIT

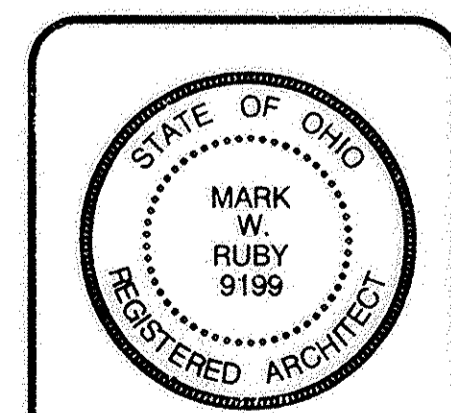
NOTE TO PLANS EXAMINER:
THE FOLLOWING PLANS ARE TO BE REVIEWED UNDER THE INTERNATIONAL RESIDENTIAL CODE PER SECTION 310.1 OHIO BUILDING CODE. FIRE SUPPRESSION IS NOT REQUIRED

REVISIONS	BY



MARK W. RUBY
ARCHITECT
1110 COOPER FOSTER PARK ROAD
AMHERST, OH. 44001
(440) 886-2091

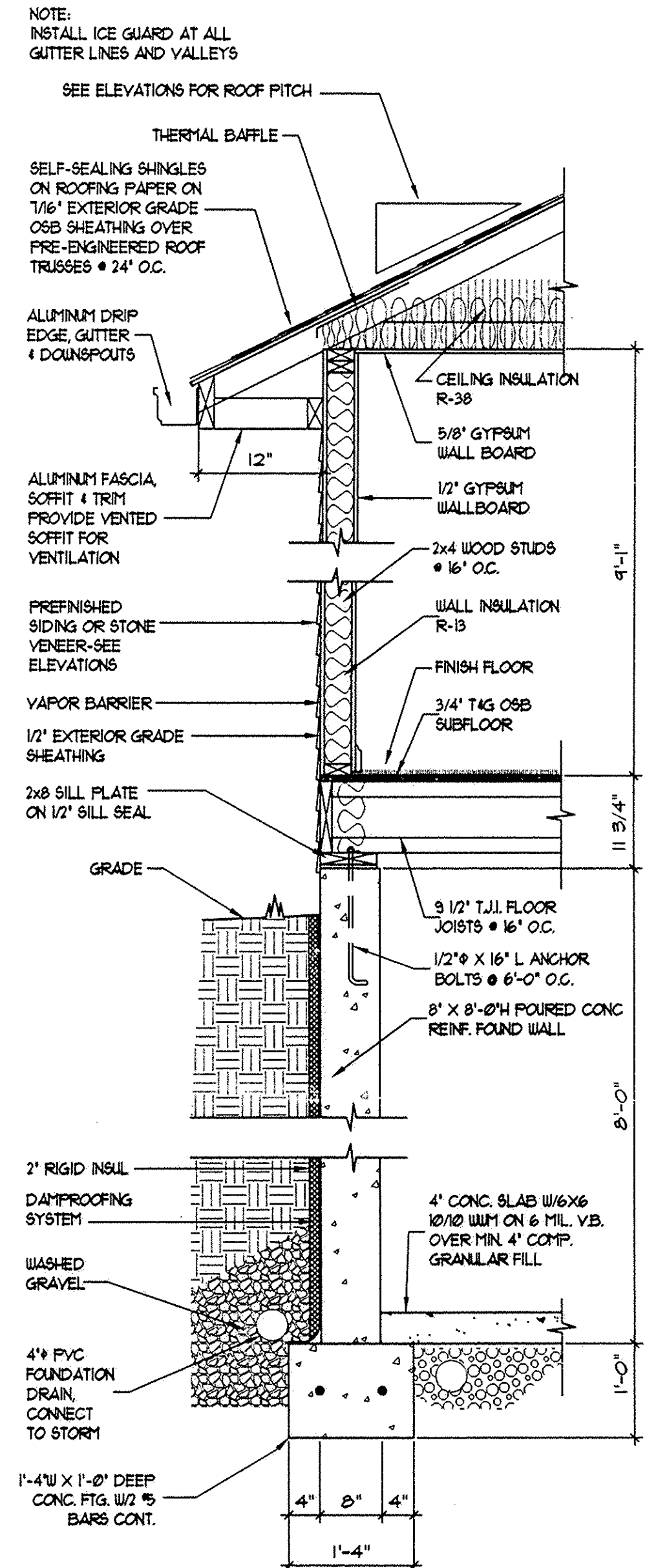
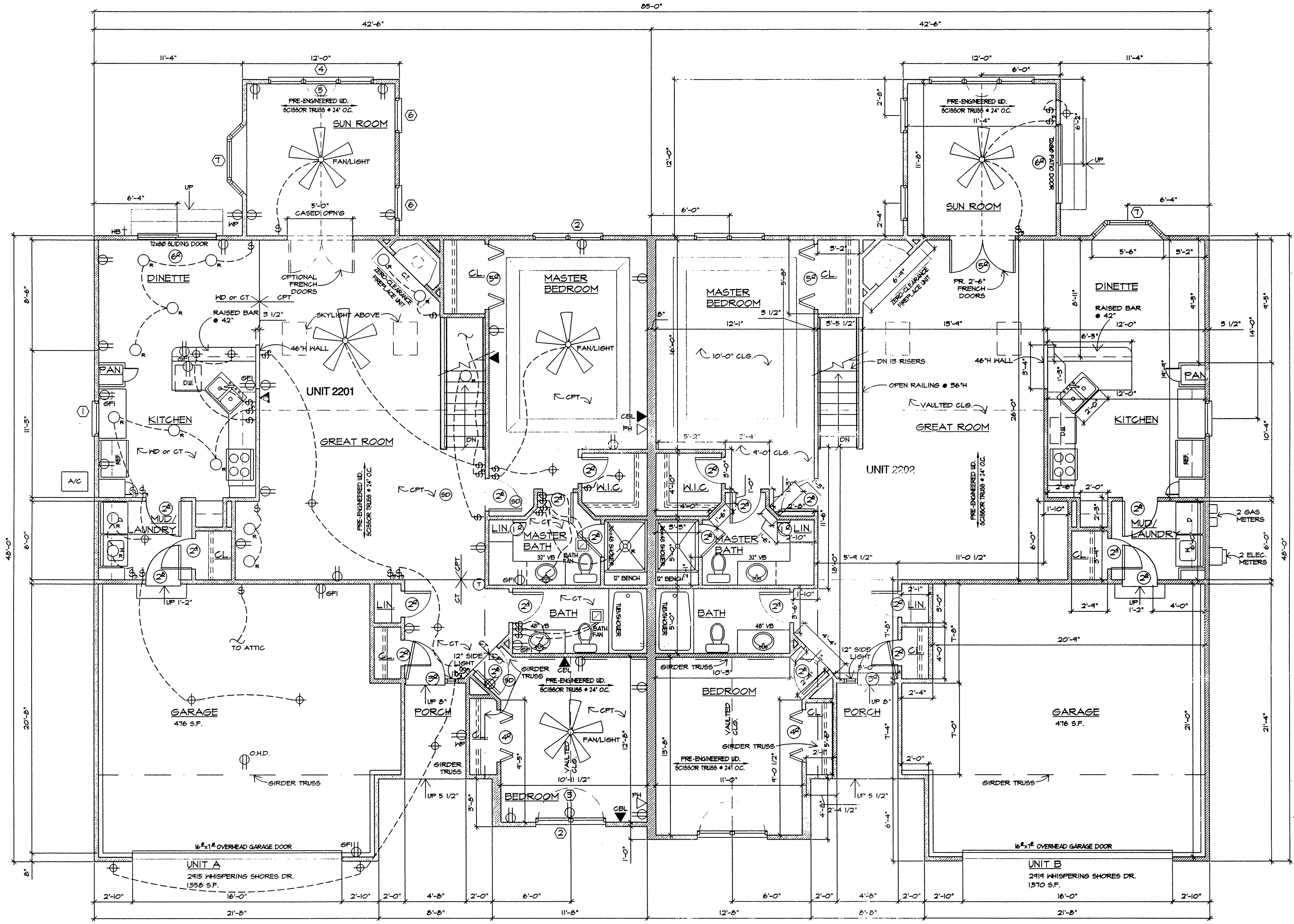
BUILDING #22
LAKESIDE VILLAS
2915/2919 WHISPERING SHORES DR.
VERMILION, OHIO



DATE 8/2/04
PROJ. 0411
SHEET

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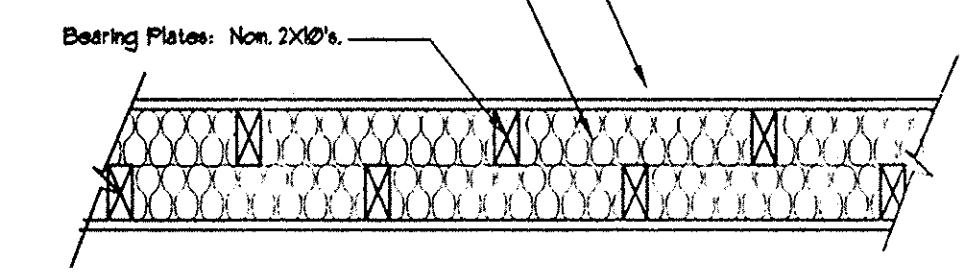


WALL SECTION
SCALE: 3/4" = 1'-0"

WINDOW SCHEDULE						
MARK	DESCRIPTION	ROUGH OPENING (MIN)	CLEAR AREA REQUIRED	CLEAR AREA PROVIDED	EGRESS REQUIREMENTS CLEAR OPENG. REQUIRED	CLEAR OPENG. PROVIDED
1	30210 NARROWLINE DOUBLE HUNG	3'-2 1/8" x 3'-1 1/4"				
2	2846-2 TWIN NARROWLINE DOUBLE HUNG	5'-1 13/16" x 4'-9 1/4"	50 SQ. FT.	524 SQ. FT.	20' x 24'	30 11/16" x 24 9/16"
3	GTN-2 NARROWLINE CIRCLE TOP	5'-1 13/16" x 3'-0 1/2"				
4	2846-3 TRIPLE NARROWLINE DOUBLE HUNG	8'-5 1/2" x 4'-9 1/4"				
5	GTN-9 NARROWLINE CIRCLE TOP	2'-10 1/8" x 1'-3 3/4"				
6	2846 NARROWLINE DOUBLE HUNG	2'-10 1/8" x 4'-9 1/4"				
7	50-C145-20 ANDERSEN CASEMENT 50" BAY	5'-10" x 4'-6 13/16"				

NOTES:
1. 44" MAX SILL HEIGHT
2. AT SUN ROOM

UL Design No. 22... no 2x4 class X gypsum board applied vertically to 2x4 studs...
Insulation: Sound batts Min. 1 1/2" thick, min 23 pcf unfaced mineral fiber insulation, pressure fit in the wall cavity between studs and plates.



TENANT SEPARATION WALL
SCALE: 1/2" = 1'-0"

NOTES

- Dimensions are rough frame dimensions.
3 1/2" interior walls
4" exterior walls
(unless noted otherwise)
- All points of egress shall be equipped with stairways, handrails and guardrails (if required) which meet requirements of OBOA Residential Building Code Sections 314 and 315.
- All interior headers shall be (2) 2x4's unless noted otherwise on the plans. All exterior headers shall be (2) 2x2's unless noted otherwise on the plans.
- All exhaust fans shall be vented to the exterior.
- All smoke detectors shall be electric with battery backup and shall be interconnected with one another per OBOA Residential Building Code Section 316.

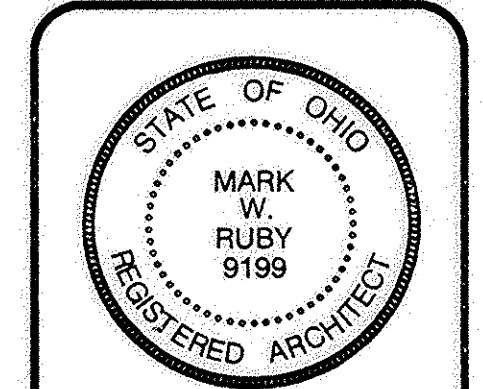
FLOOR PLAN
SCALE: 1/4" = 1'-0"

BUILDING NUMBER 22
UNITS 2201 AND 2202

REVISIONS	BY

MARK W. RUBY
ARCHITECT
COOPER FOSTER PARK ROAD
AMHERST, OH 44001
(440) 986-2091

BUILDING #22
LAKESIDE VILLAS
2915/2919 WHISPERING SHORES DR.
VERMILION, OHIO

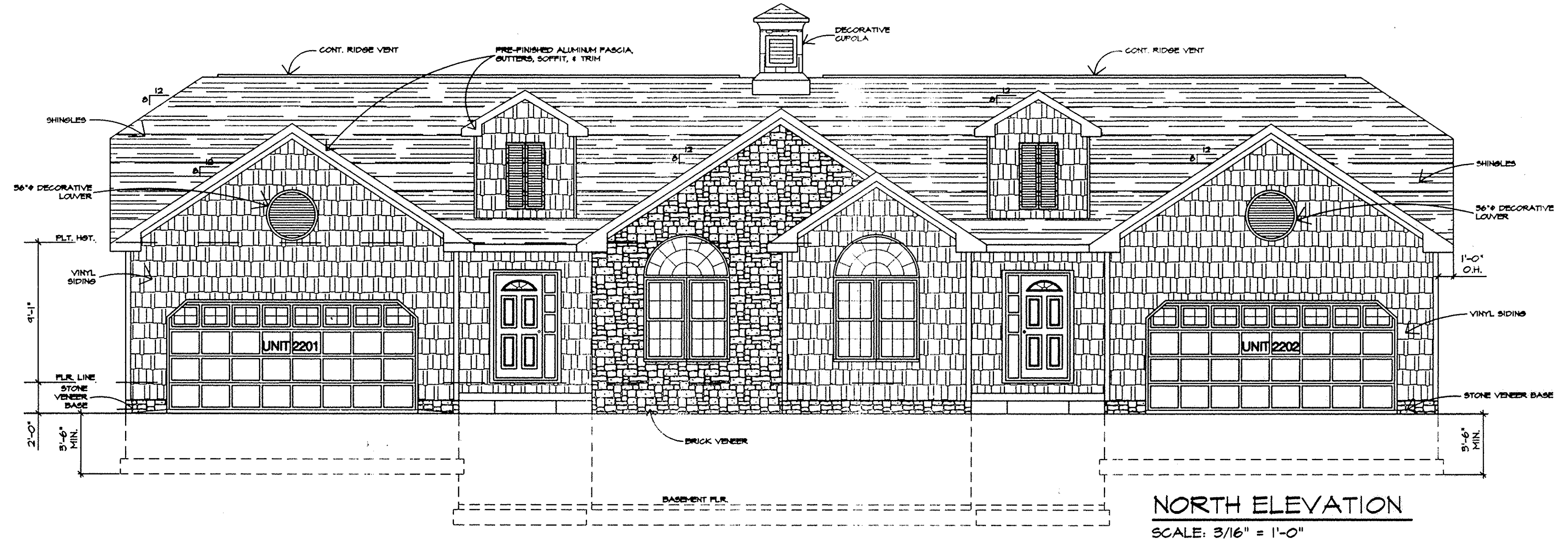


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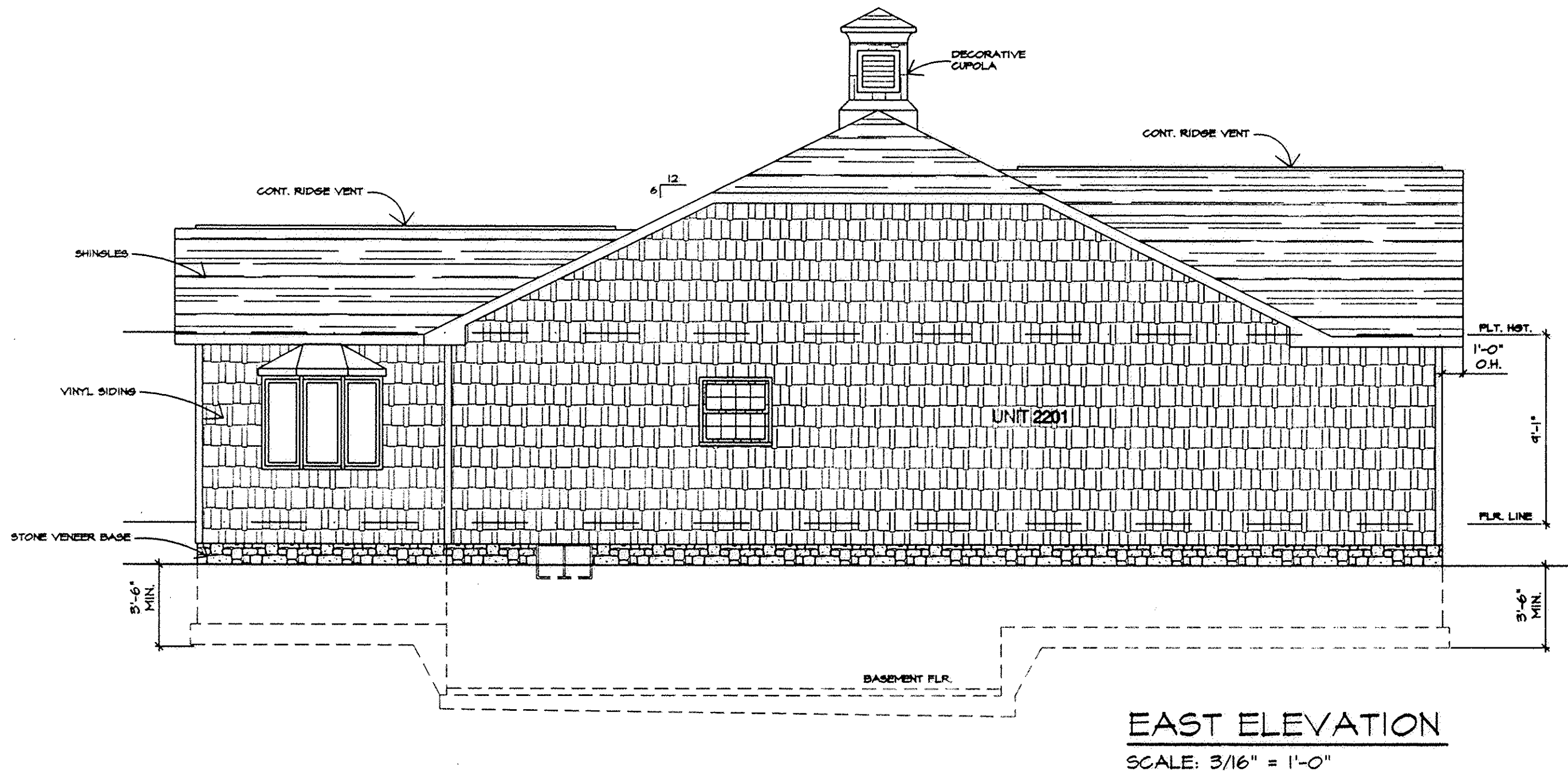
14 of 15

Tax Map Dept. Copy # 04-00761

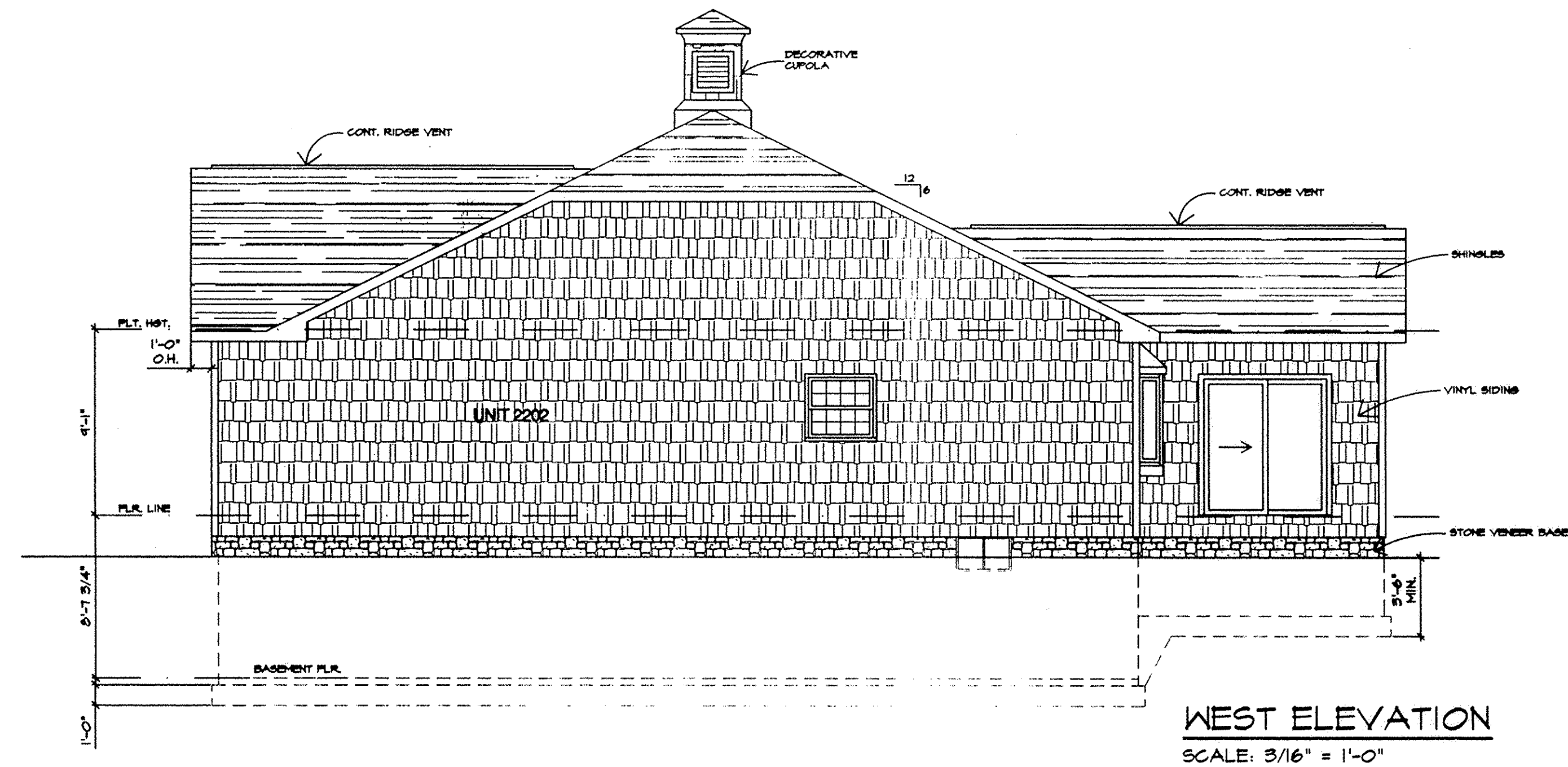
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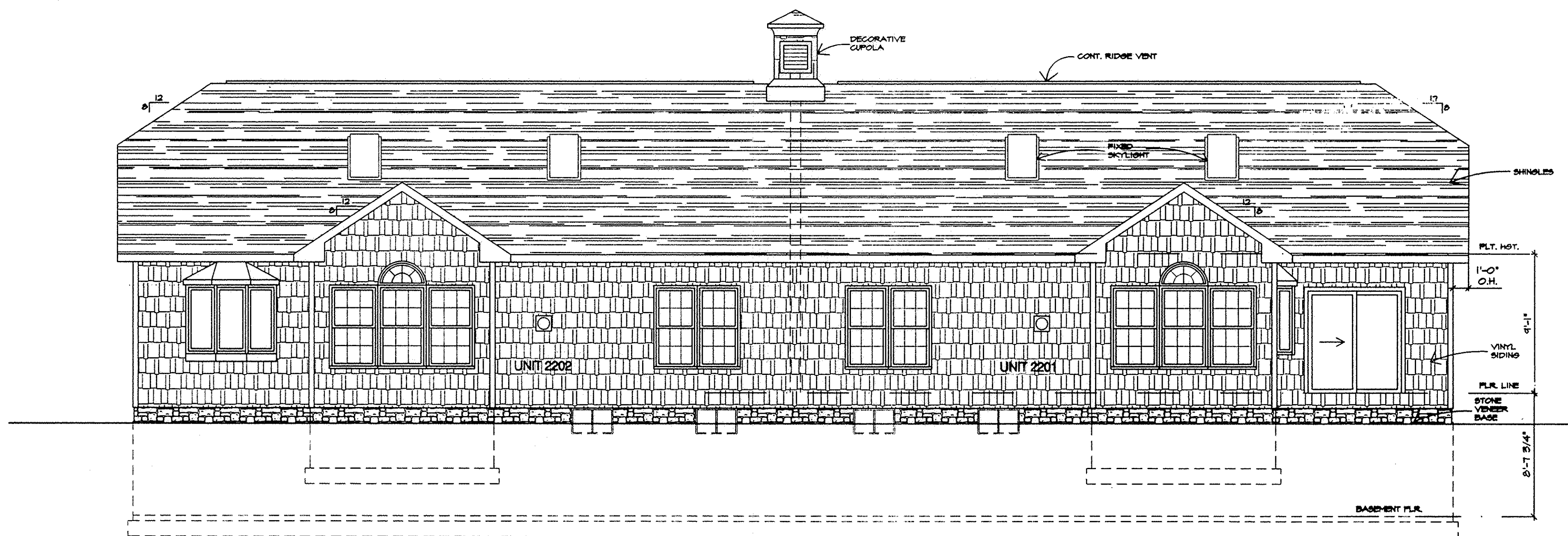
NORTH ELEVATION
SCALE: 3/16" = 1'-0"



EAST ELEVATION
SCALE: 3/16" = 1'-0"

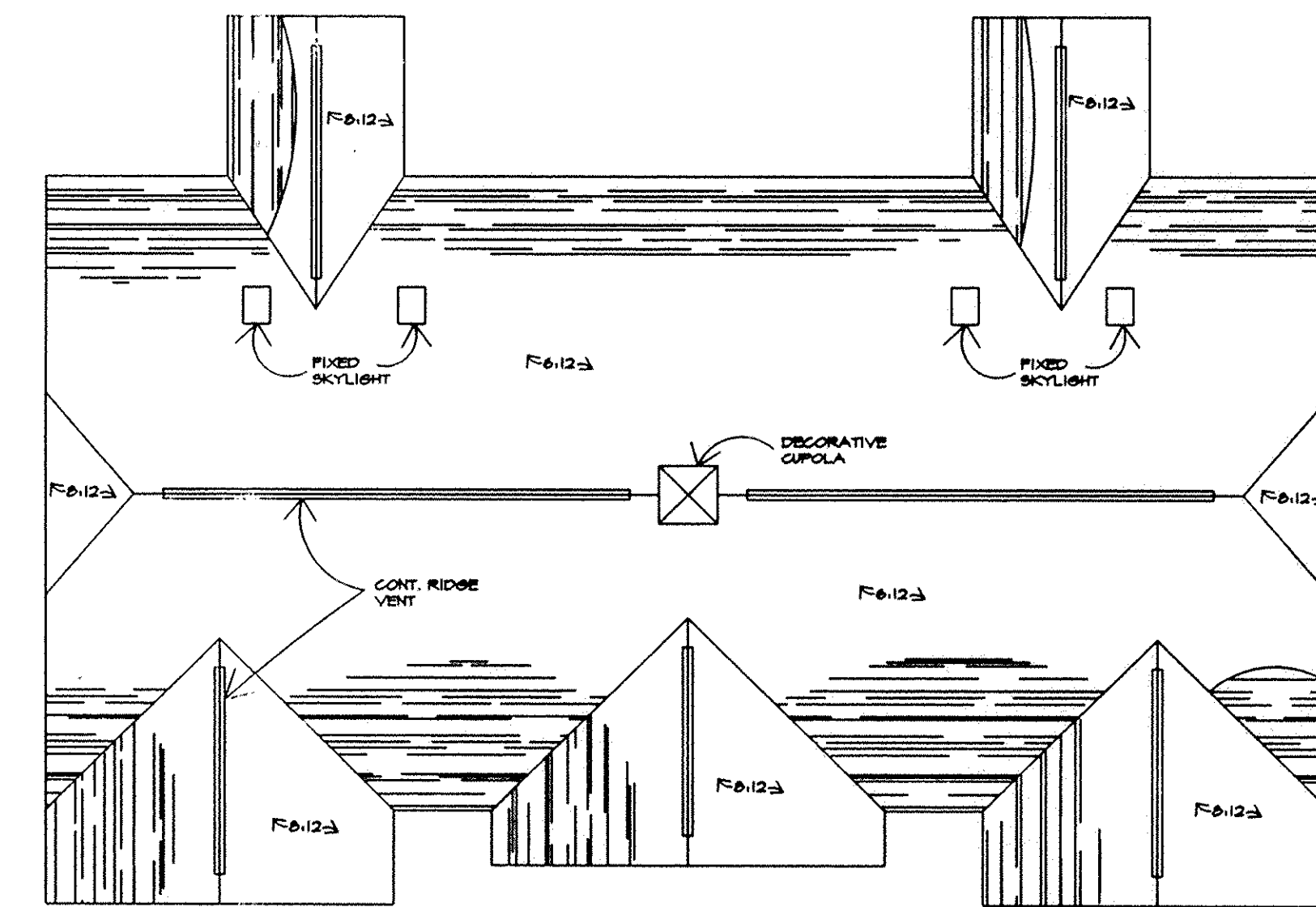


WEST ELEVATION
SCALE: 3/16" = 1'-0"



BUILDING NUMBER 22
UNITS 2201 AND 2202

SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



NOTE: 1'-0" O.H. THROUGHOUT

ROOF PLAN
SCALE: N.T.S.

REVISIONS BY

MARK W. RUBY
ARCHITECT
1110 COOPER FOSTER PARK ROAD
AMHERST, OH. 44001
(440) 986-2091

BUILDING #22
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15 of 15