

MARINER'S WATCH CONDOMINIUM COMPLEX PHASE 8

PART OF BLOCK "A" IN THE UPLAND GLEN SUBDIVISION NO. 2 VOL. 55 PAGE 48
 PART OF SHEFFIELD TOWNSHIP O.L. 45
 CITY OF SHEFFIELD LAKE, COUNTY OF LORAIN, STATE OF OHIO
 SEPTEMBER 2001

PHASE NO. 1
BUILDING NO. 1

UNIT	NO.	ADDRESS	SQUARE FOOTAGE	% OF COMBINED COMMON AREAS & FACILITIES
UNIT 1-A	204	MARINERS WAY	1661	2.37
UNIT 1-B	206	MARINERS WAY	1162	1.66
UNIT 1-C	200	MARINERS WAY	1162	1.66
UNIT 1-D	202	MARINERS WAY	1661	2.37

PHASE NO. 2
BUILDING NO. 6

UNIT	NO.	ADDRESS	SQUARE FOOTAGE	% OF COMBINED COMMON AREAS & FACILITIES
UNIT 6-E	244	MARINERS WAY	1661	2.37
UNIT 6-F	240	MARINERS WAY	1162	1.66
UNIT 6-G	246	MARINERS WAY	1162	1.66
UNIT 6-H	242	MARINERS WAY	1661	2.37

PHASE NO. 3
BUILDING NO. 2

UNIT	NO.	ADDRESS	SQUARE FOOTAGE	% OF COMBINED COMMON AREAS & FACILITIES
UNIT 2-I	212	MARINERS WAY	1650	2.35
UNIT 2-J	214	MARINERS WAY	1194	1.70
UNIT 2-K	208	MARINERS WAY	1194	1.70
UNIT 2-L	210	MARINERS WAY	1650	2.35

BUILDING NO. 3

UNIT	NO.	ADDRESS	SQUARE FOOTAGE	% OF COMBINED COMMON AREAS & FACILITIES
UNIT 3-M	220	MARINERS WAY	1650	2.35
UNIT 3-N	222	MARINERS WAY	1661	2.37
UNIT 3-O	216	MARINERS WAY	1661	2.37
UNIT 3-P	218	MARINERS WAY	1650	2.35

PHASE NO. 4
BUILDING NO. 4

UNIT	NO.	ADDRESS	SQUARE FOOTAGE	% OF COMBINED COMMON AREAS & FACILITIES
UNIT 4-Q	236	MARINERS WAY	1650	2.35
UNIT 4-R	238	MARINERS WAY	1661	2.37
UNIT 4-S	232	MARINERS WAY	1661	2.37
UNIT 4-T	234	MARINERS WAY	1650	2.35

BUILDING NO. 5

UNIT	NO.	ADDRESS	SQUARE FOOTAGE	% OF COMBINED COMMON AREAS & FACILITIES
UNIT 5-U	226	MARINERS WAY	1650	2.35
UNIT 5-V	224	MARINERS WAY	1661	2.37
UNIT 5-W	230	MARINERS WAY	1661	2.37
UNIT 5-X	228	MARINERS WAY	1650	2.35

PHASE NO. 5
BUILDING NO. 9

UNIT	NO.	ADDRESS	SQUARE FOOTAGE	% OF COMBINED COMMON AREAS & FACILITIES
UNIT 9-AA	270	MARINERS WAY	1650	2.35
UNIT 9-BB	272	MARINERS WAY	1661	2.37
UNIT 9-CC	264	MARINERS WAY	1661	2.37
UNIT 9-DD	268	MARINERS WAY	1650	2.35

PHASE NO. 6
BUILDING NO. 10

UNIT	NO.	ADDRESS	SQUARE FOOTAGE	% OF COMBINED COMMON AREAS & FACILITIES
UNIT 10-EE	286	MARINERS WAY	1650	2.35
UNIT 10-FF	288	MARINERS WAY	1661	2.37
UNIT 10-GG	282	MARINERS WAY	1661	2.37
UNIT 10-HH	284	MARINERS WAY	1650	2.35

PHASE NO. 7
BUILDING NO. 7

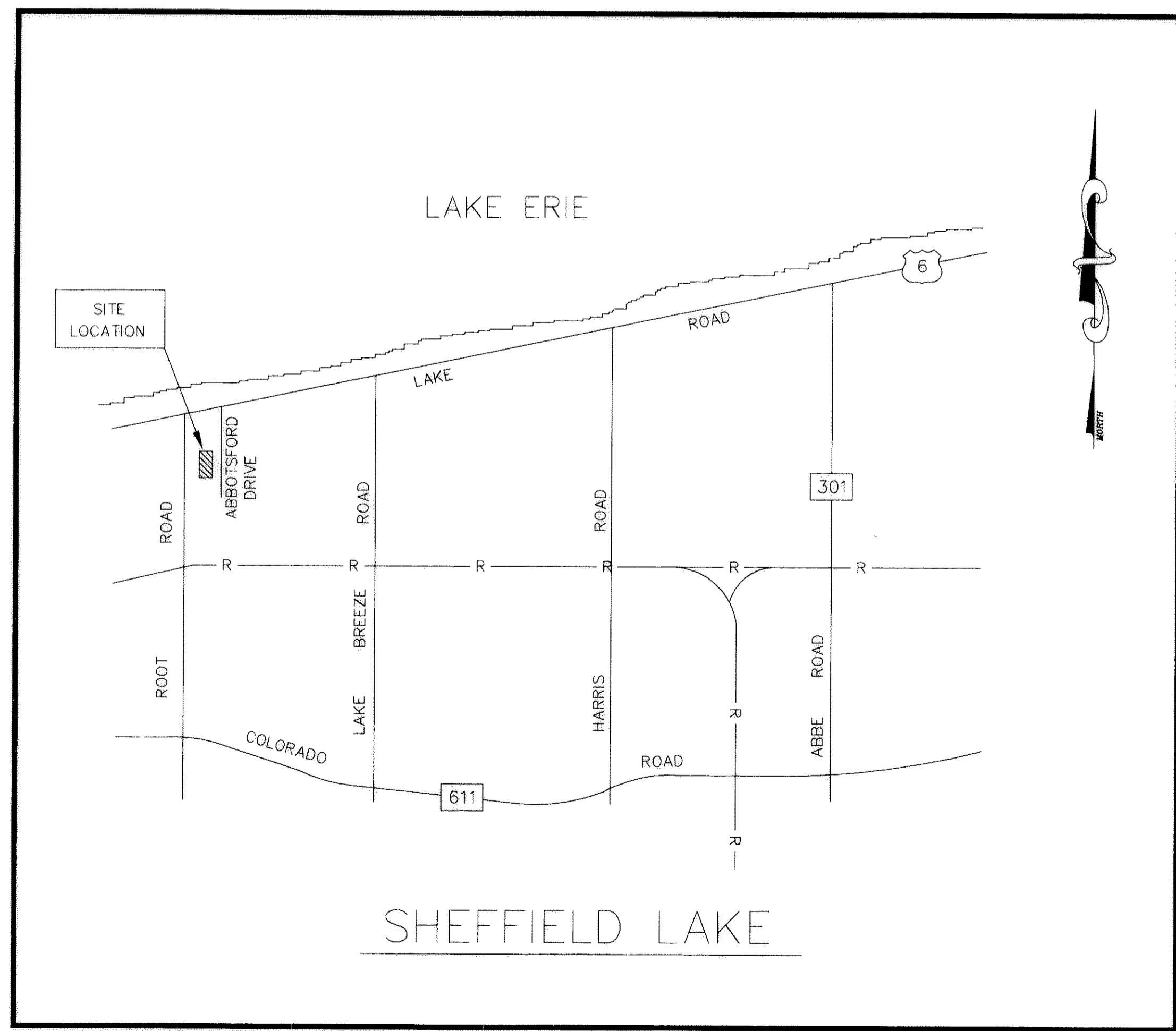
UNIT	NO.	ADDRESS	SQUARE FOOTAGE	% OF COMBINED COMMON AREAS & FACILITIES
UNIT 7-II	252	MARINERS WAY	1773	2.52
UNIT 7-JJ	248	MARINERS WAY	1769	2.52
UNIT 7-KK	254	MARINERS WAY	1769	2.52
UNIT 7-LL	250	MARINERS WAY	1773	2.52

BUILDING NO. 11

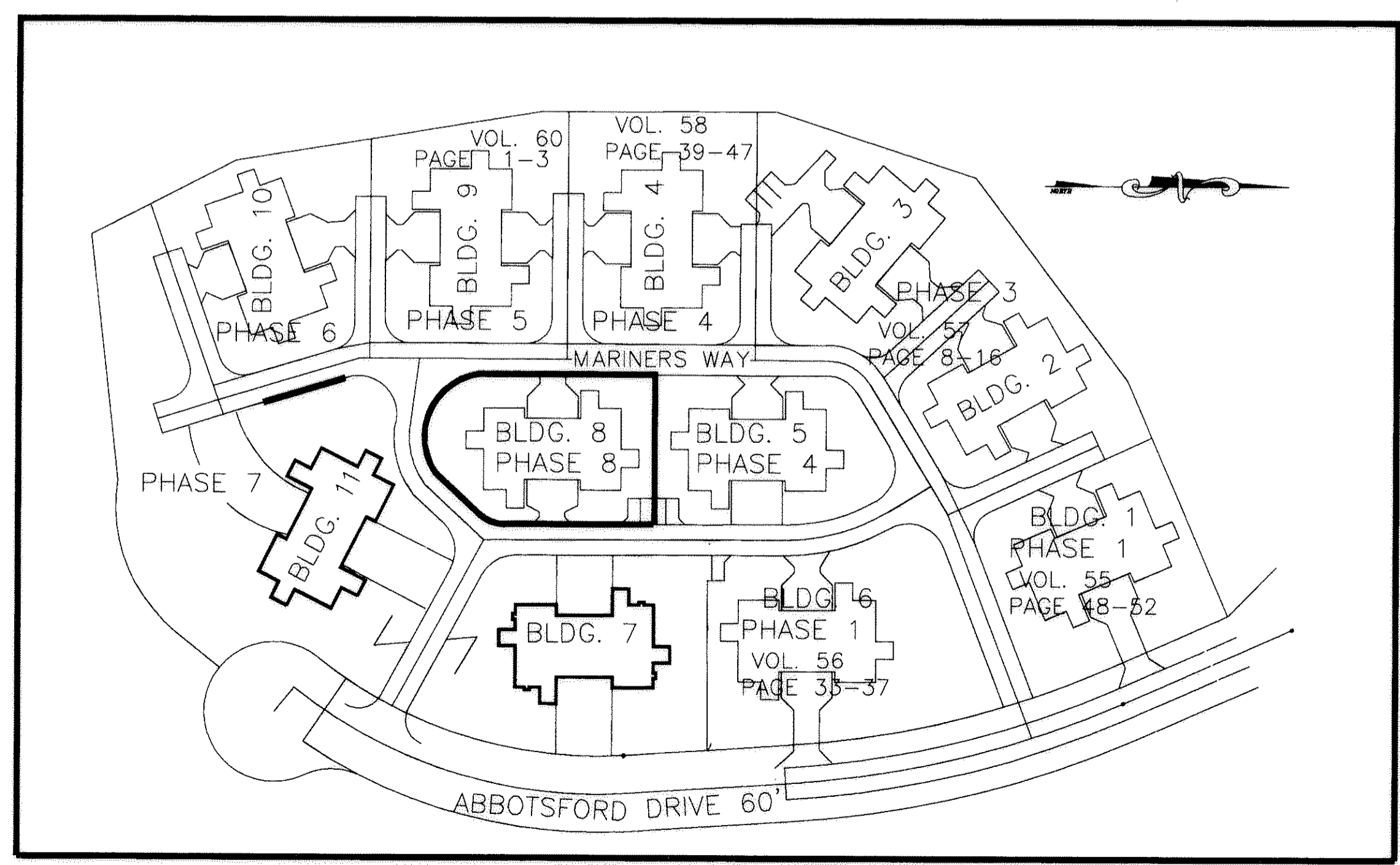
UNIT	NO.	ADDRESS	SQUARE FOOTAGE	% OF COMBINED COMMON AREAS & FACILITIES
UNIT 11-MM	276	MARINERS WAY	1773	2.52
UNIT 11-NN	280	MARINERS WAY	1769	2.52
UNIT 11-OO	274	MARINERS WAY	1769	2.52
UNIT 11-PP	278	MARINERS WAY	1773	2.52

PHASE NO. 8
BUILDING NO. 8

UNIT	NO.	ADDRESS	SQUARE FOOTAGE	% OF COMBINED COMMON AREAS & FACILITIES
UNIT 8-QQ	260	MARINERS WAY	1773	2.52
UNIT 8-RR	256	MARINERS WAY	1182	1.69
UNIT 8-SS	262	MARINERS WAY	1182	1.69
UNIT 8-TT	258	MARINERS WAY	1773	2.52



VICINITY MAP
NO SCALE



LOCATION MAP
NO SCALE

RECEIVED FOR RECORD
 at: *Block & M. in RECORD*
 VOL. 72 JUDITH M. NEDWICK
 PAGE 5 Lorain County Recorder
 3/27/04
 1878-40
 INDEX OF SHEETS
 SHEET

TRANSPERSED
 IN COMPLIANCE WITH SEC. 310303
 DEC 02 2003
 MARK R. STEWART
 LORAIN COUNTY AUDITOR

- 1 TITLE SHEET
- 2 BOUNDARY & EASEMENT MAP
- 3 BUILDING FOOTPRINTS (AS-BUILT)
- 4 FOUNDATION PLAN
- 5 FIRST FLOOR PLAN
- 6 SECOND FLOOR PLAN
- 7 ELEVATIONS DOOR & ROOM SCHEDULE
- 8 BUILDING SECTIONS & DETAILS
- 9 GENERAL STRUCTURAL NOTES, FOUNDATION NOTES
- 10 MECHANICAL PLAN, HVAC NOTES
- 11 LIGHTING PLAN, ELECTRICAL NOTES
- 12 WIRE SCHEDULE, ELECTRICAL LOADS
- 13 PLUMBING PLAN, PLUMBING NOTES
- 14 PLUMBING ISOMETRICS, WATER DIAGRAM

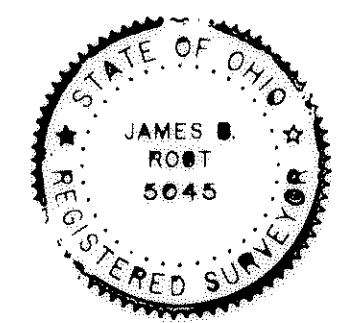
M. WATCH L.L.C.	
27201 ROYALTON RD. SUITE 3 COLUMBIA STATION, OHIO 44028	
JAMES B. ROOT	REG. SURVEYOR NO. 5045
JAMES B. ROOT & ASSOCIATES 200 ELLEN DR.	
Berea, Ohio 44017	(440) 243-9843
SCALE: NONE	SHEET 1 OF 11
DATE: 10-20-03	

TOWN AND SUBURB DEVELOPMENT CO. VOL. 743 PAGE 683

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS PLAT WAS PREPARED FROM ACTUAL SURVEY, THAT THE SAME SHOWS GRAPHICALLY, IN SO FAR AS POSSIBLE, THE LOCATION OF BOUNDARIES, THE LAYOUT, LOCATION, DESIGNATION AND DIMENSIONS OF THE BUILDINGS, COMMON AREAS AND LIMITED COMMON AREAS, THE LOCATION AND DIMENSIONS OF ALL APPURTENANT EASEMENTS; THAT THERE ARE NO ENCROACHMENTS UPON THE SUBJECT PREMISES OR FROM THE SUBJECT PREMISES, OTHER THAN SHOWN; THAT ALL PROPERTIES SURVEYED INCLUDING THE RIGHT OF WAY LINE FOR ABBOTSFORD DRIVE IS CONTIGUOUS TO THE PERIMETER LINES OF THE PREMISES ALONG THEIR ENTIRE LENGTH. THE PURPOSE OF THIS CERTIFICATION IS TO COMPLY, IN ALL RESPECTS, WITH THE PROVISIONS OF SECTION 5311.07 OF THE OHIO REVISED CODE.

I FURTHER CERTIFY TO LORAIN COUNTY TITLE COMPANY AND M. WATCH L.L.C. THAT THE PREMISES WERE ESTABLISHED BY ACTUAL FIELD MEASUREMENTS AND THAT MONUMENTS WERE FOUND OR SET AS SHOWN HEREON.

James B. Root
JAMES B. ROOT P.E. P.S.



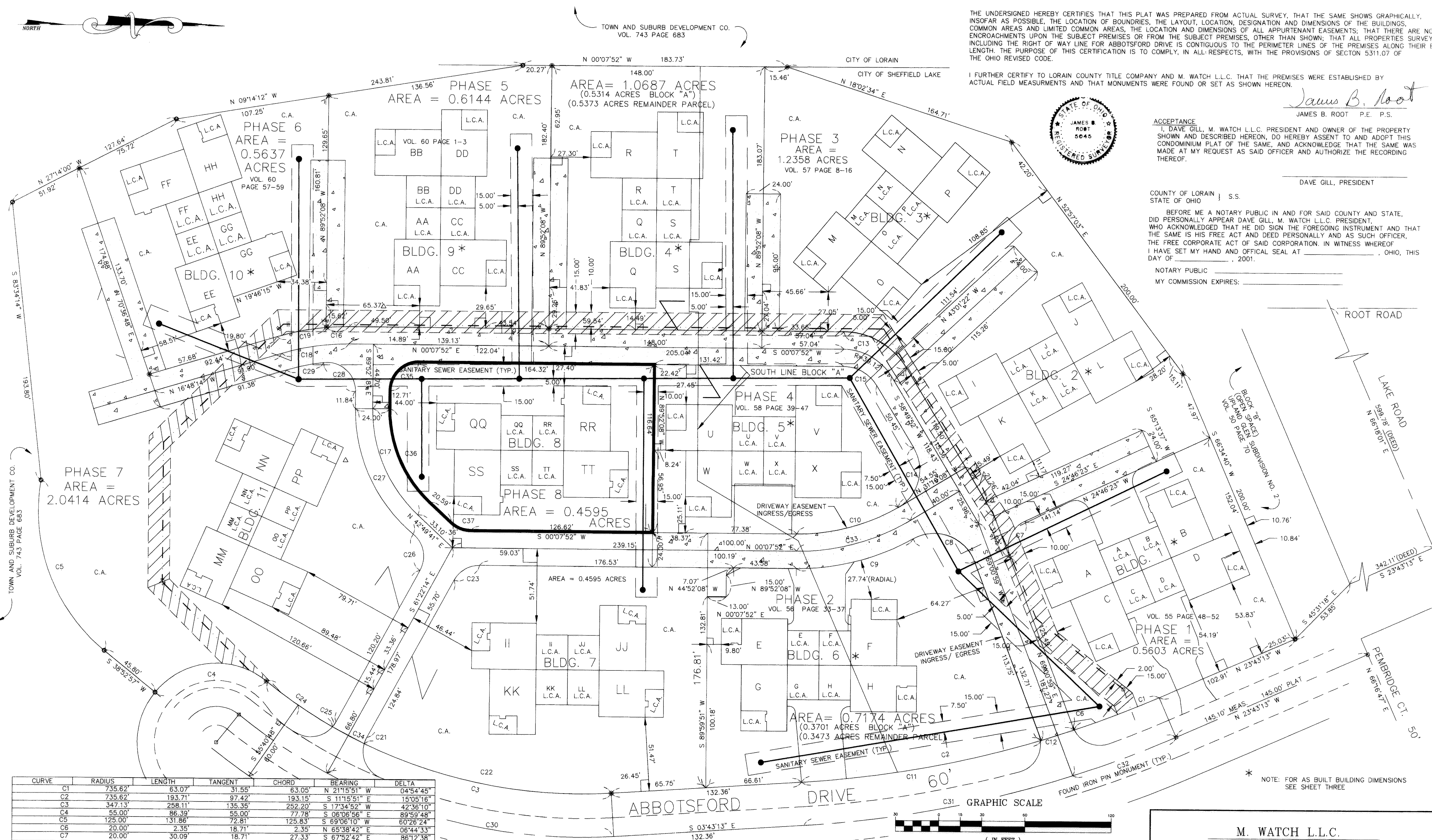
ACCEPTANCE
I, DAVE GILL, M. WATCH L.L.C. PRESIDENT AND OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, DO HEREBY ASSENT TO AND ADOPT THIS CONDOMINIUM PLAT OF THE SAME, AND ACKNOWLEDGE THAT THE SAME WAS MADE AT MY REQUEST AS SAID OFFICER AND AUTHORIZE THE RECORDING THEREOF.

DAVE GILL, PRESIDENT

COUNTY OF LORAIN } S.S.
STATE OF OHIO

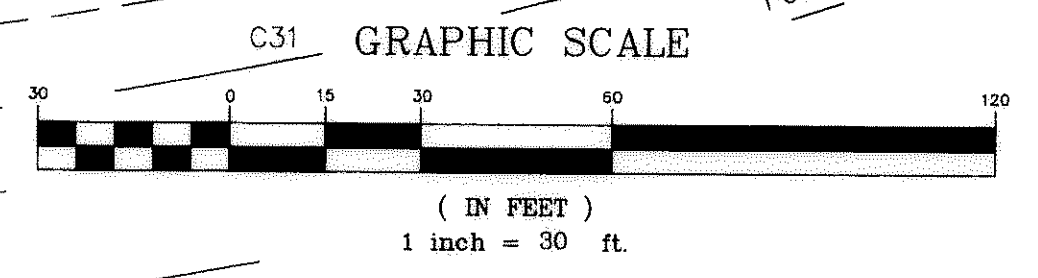
BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, DID PERSONALLY APPEAR DAVE GILL, M. WATCH L.L.C. PRESIDENT, WHO ACKNOWLEDGED THAT HE DID SIGN THE FOREGOING INSTRUMENT AND THAT THE SAME IS HIS FREE ACT AND DEED PERSONALLY AND AS SUCH OFFICER, THE FREE CORPORATE ACT OF SAID CORPORATION. IN WITNESS WHEREOF I HAVE SET MY HAND AND OFFICIAL SEAL AT _____ OHIO, THIS DAY OF _____, 2001.

NOTARY PUBLIC _____
MY COMMISSION EXPIRES: _____



CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	735.62	63.07	31.55	63.05	N 21°15'51" W	04°54'45"
C2	735.62	193.71	97.42	193.15	S 11°15'51" E	15°05'16"
C3	347.13	258.11	135.35	252.20	S 17°34'52" W	42°36'10"
C4	55.00	86.39	55.00	77.78	S 06°06'56" E	89°59'48"
C5	125.00	131.86	72.81	125.83	S 69°06'10" W	60°26'24"
C6	20.00	2.35	18.71	2.35	N 65°38'42" E	06°44'33"
C7	20.00	30.09	18.71	27.33	S 67°52'42" E	86°12'38"
C8	30.00	51.60	34.84	45.47	N 19°44'39" E	98°32'41"
C9	163.50	84.64	43.29	83.69	N 14°41'55" W	29°39'34"
C10	139.50	73.66	37.71	72.81	S 14°59'44" E	30°15'12"
C11	735.62	169.53	85.14	169.16	S 10°19'22" E	13°12'17"
C12	735.62	24.18	12.09	24.17	S 17°51'59" E	01°52'59"
C13	51.12	52.37	28.75	50.11	N 29°28'52" E	58°42'00"
C14	30.00	47.67	30.55	42.81	N 75°38'44" W	91°02'48"
C15	172.00	27.78	15.25	26.58	N 29°28'52" E	58°42'00"
C16	172.00	15.90	7.95	15.89	S 02°31'01" E	05°17'45"
C17	100.00	82.56	43.80	80.23	N 66°28'46" E	47°18'11"
C18	160.00	47.29	23.82	47.12	S 08°20'11" E	16°58'06"
C19	172.00	34.94	17.53	34.88	N 10°59'04" W	11°38'21"
C20	347.13	189.65	97.36	187.30	N 11°55'54" E	31°18'10"
C21	20.00	2.35	18.71	2.35	S 68°04'09" E	13°32'25"
C22	347.13	177.11	90.53	175.20	N 10°53'47" E	29°14'01"
C23	20.00	21.47	11.90	20.45	S 30°37'11" E	61°30'06"

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C24	347.13	55.97	28.05	55.91	S 34°15'45" W	09°14'20"
C25	20.00	4.18	2.10	4.17	S 55°23'17" E	11°57'54"
C26	20.00	27.68	16.58	25.53	N 78°58'27" E	79°18'38"
C27	112.00	99.33	53.20	96.10	S 64°43'30" W	50°48'44"
C28	20.00	33.75	22.48	29.89	N 41°47'18" E	96°41'07"
C29	148.00	26.48	13.27	26.44	N 11°40'44" W	10°14'58"
C30	377.13	206.60	105.97	204.03	S 11°58'26" W	31°23'19"
C31	765.62	267.25	135.00	265.90	S 13°43'13" E	20°00'00"
C32	765.62	76.65	38.36	76.62	S 20°51'07" E	05°44'11"
C33	151.50	82.76	42.44	81.74	N 15°31'08" E	31°18'00"
C34	347.13	24.99	12.50	24.98	N 27°34'51" E	04°07'27"
C35	20.00	31.42	20.00	27.80	S 45°50'51" E	90°00'00"
C36	88.00	72.65	38.54	70.61	N 66°28'46" E	47°18'11"
C37	20.00	14.90	7.82	14.56	S 21°28'46" W	42°41'49"



- LEGEND
- N.Y.C. NOT YET CONSTRUCTED
 - L.C.A. LIMITED COMMON AREA
 - C.A. COMMON AREA
 - N.Y.Cp. NOT YET COMPLETED
 - WATER LINE
 - WATER LINE EASEMENT
 - IRON PIN FOUND
 - IRON PIN SET (5/8" DIA. x 30" LONG REINFORCING ROD)
 - MONUMENT BOX W/IRON PIN
 - DIMENSION PERPENDICULAR TO PROPERTY LINE
 - SANITARY SEWER

M. WATCH L.L.C.

27201 ROYALTON RD. SUITE 3
COLUMBIA STATION, OHIO 44028

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JAMES B. ROOT & ASSOCIATES
200 ELLEN DR.

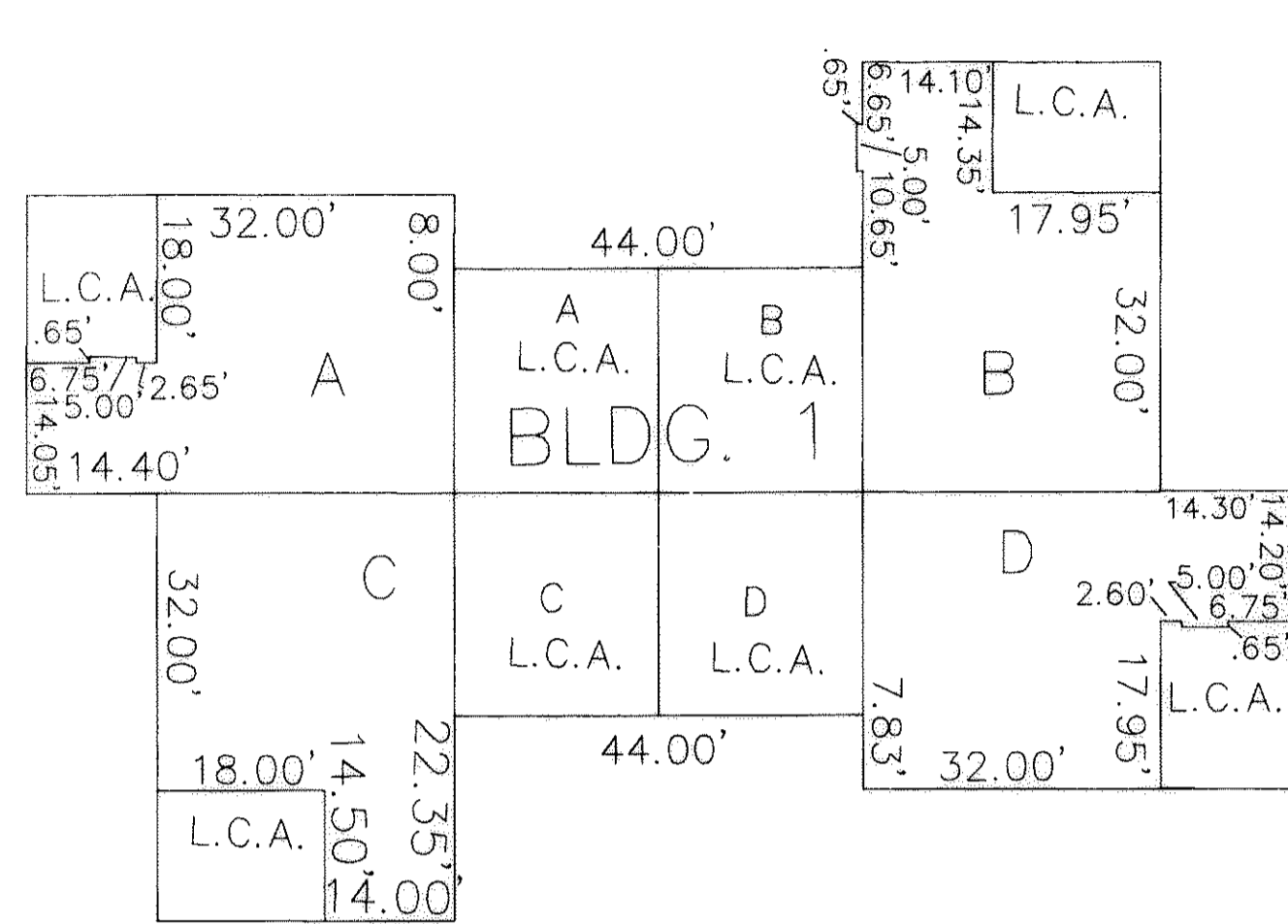
BEREA, OHIO 44017

(440) 243-9843

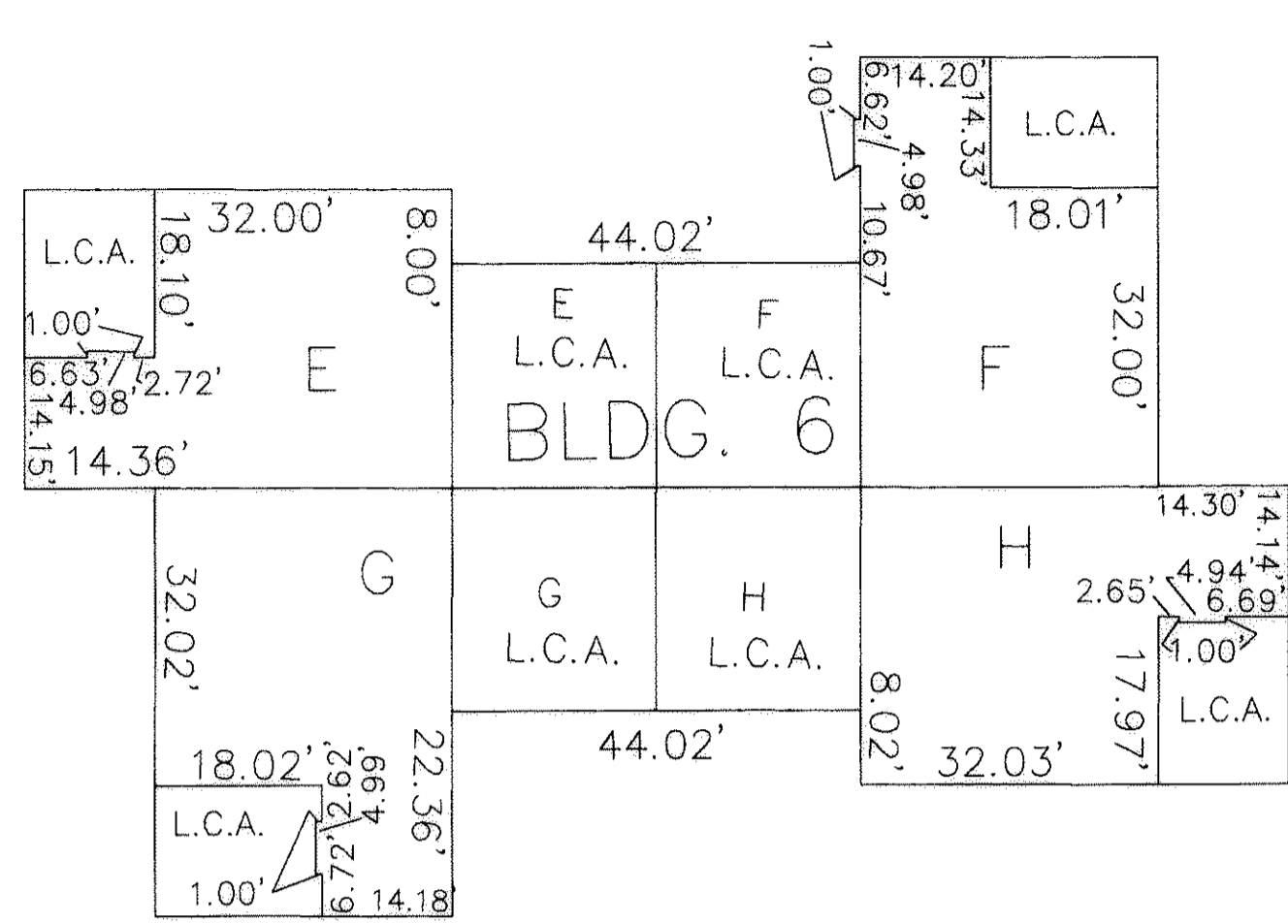
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DATE: 10-20-03

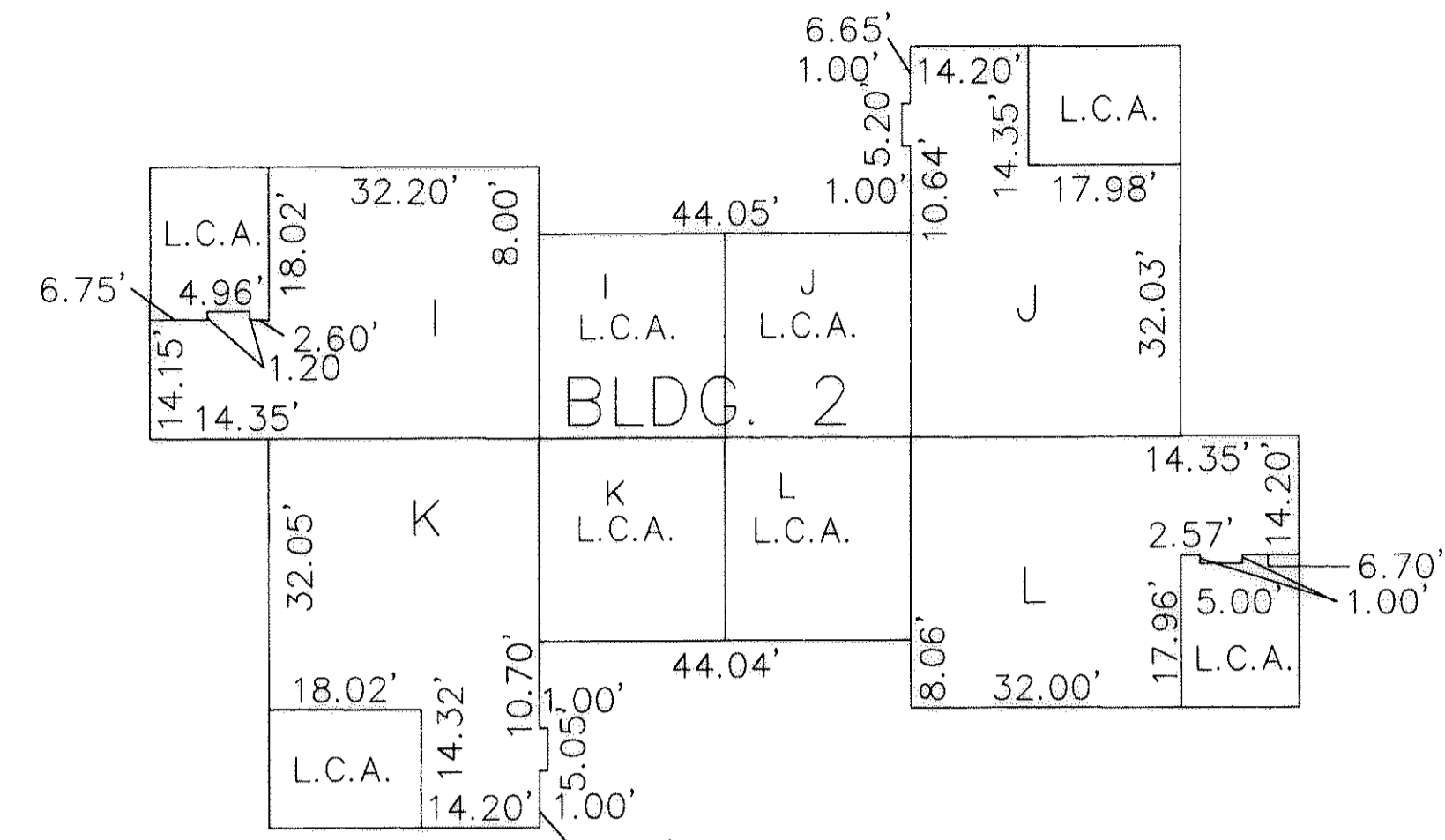
SHEET 2 OF 11



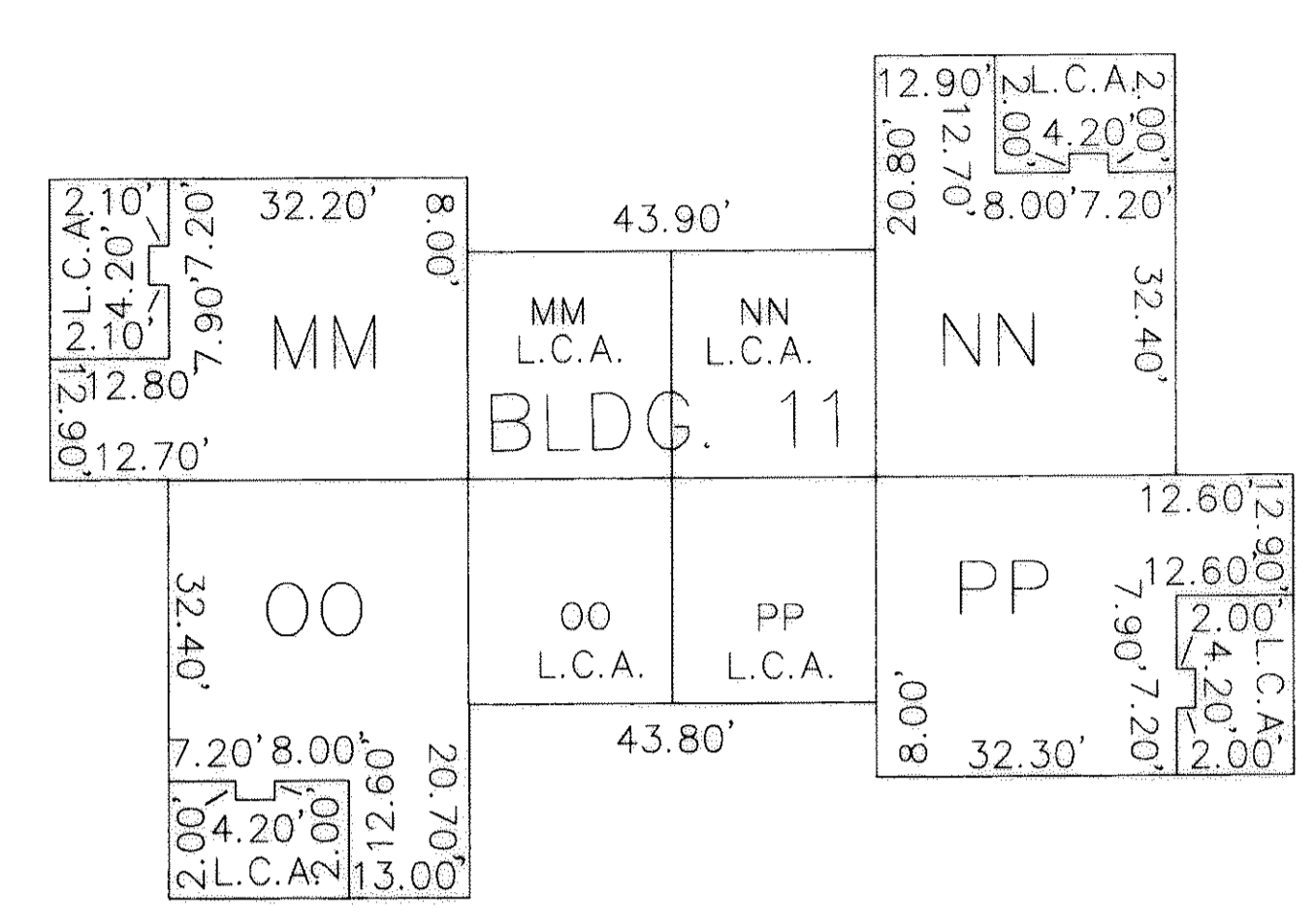
BUILDING ONE FOOTPRINT (AS BUILT)
SCALE: 1" = 20'



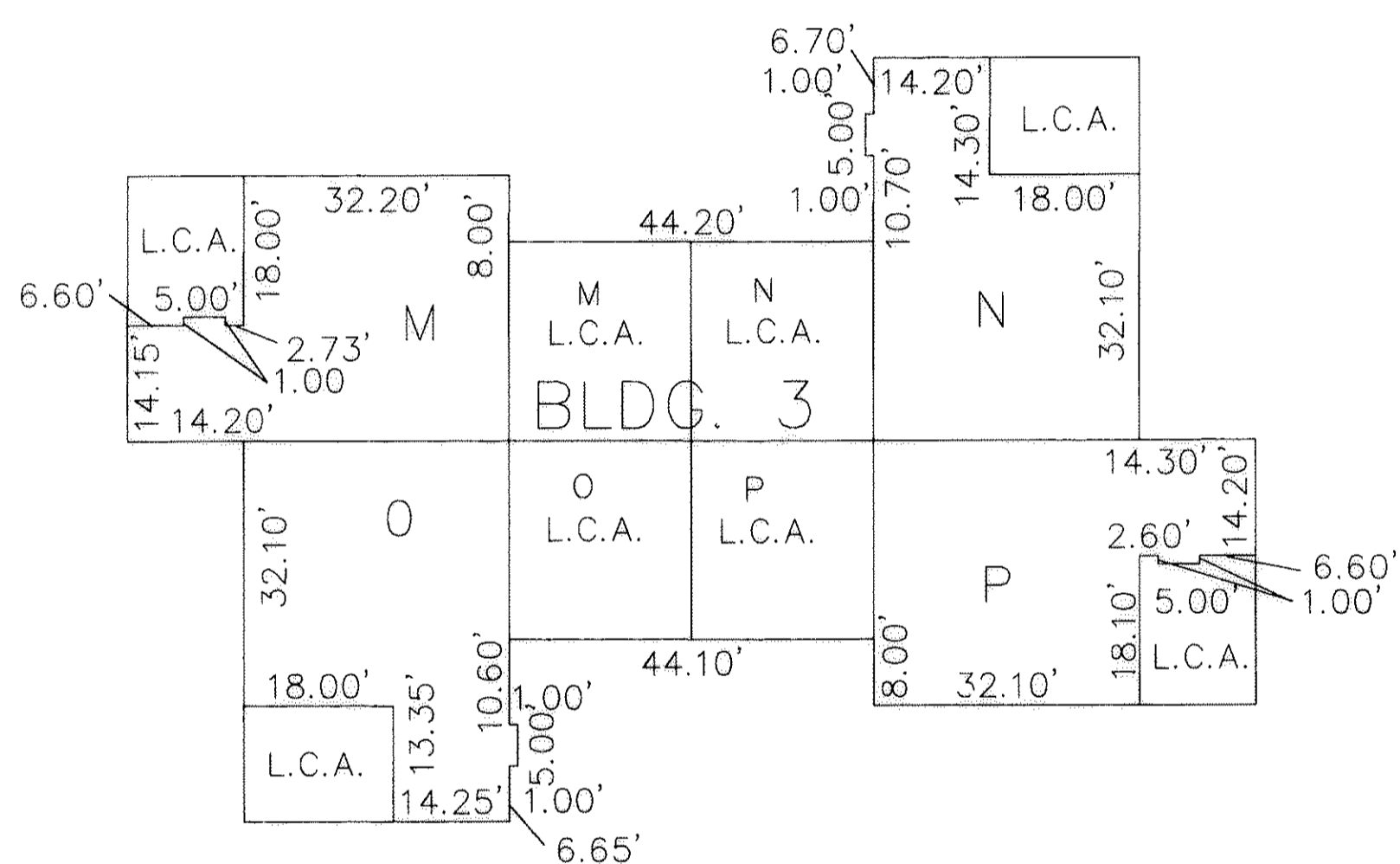
BUILDING SIX FOOTPRINT (AS BUILT)
SCALE: 1" = 20'



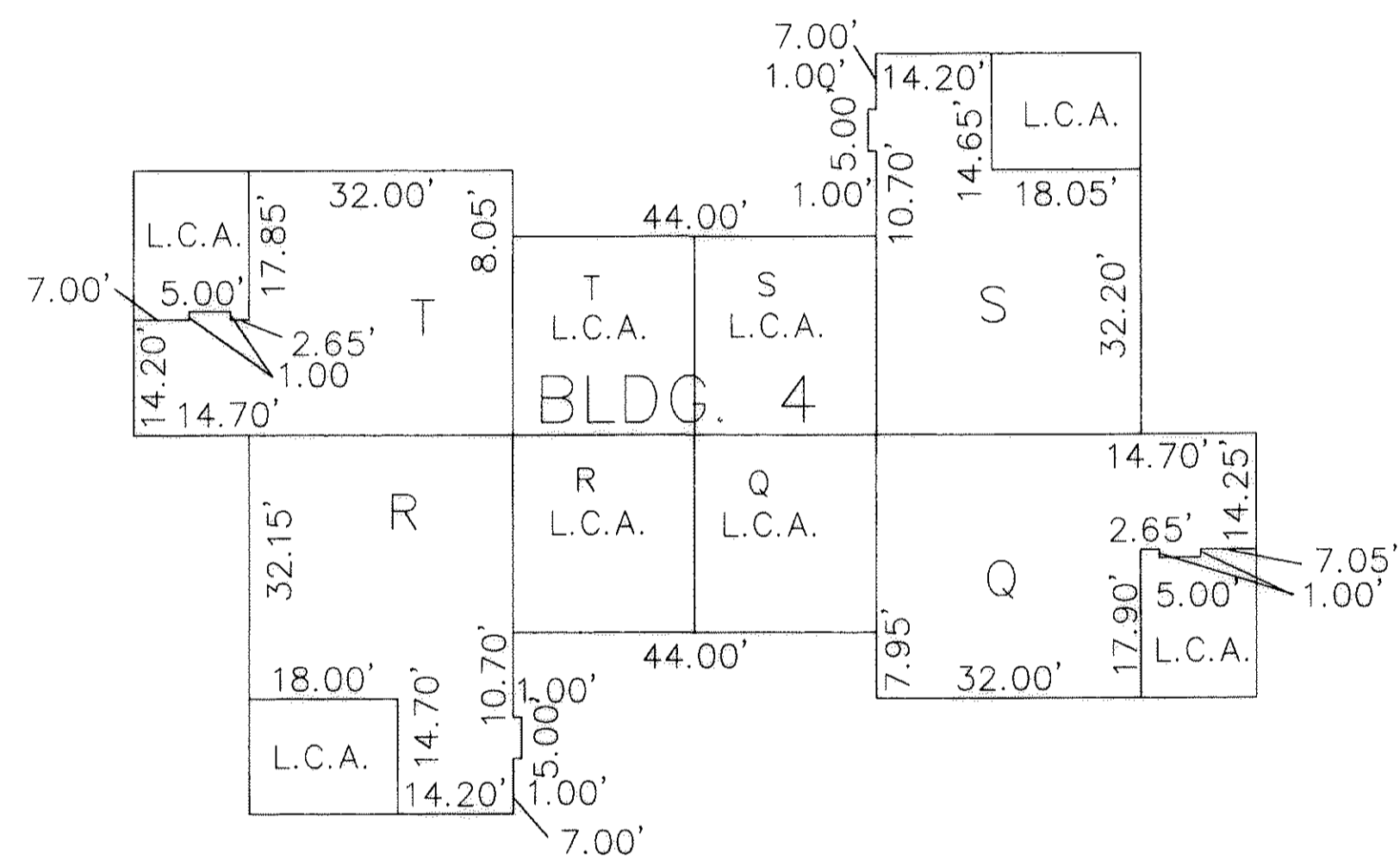
BUILDING TWO FOOTPRINT (AS BUILT)
SCALE: 1" = 20'



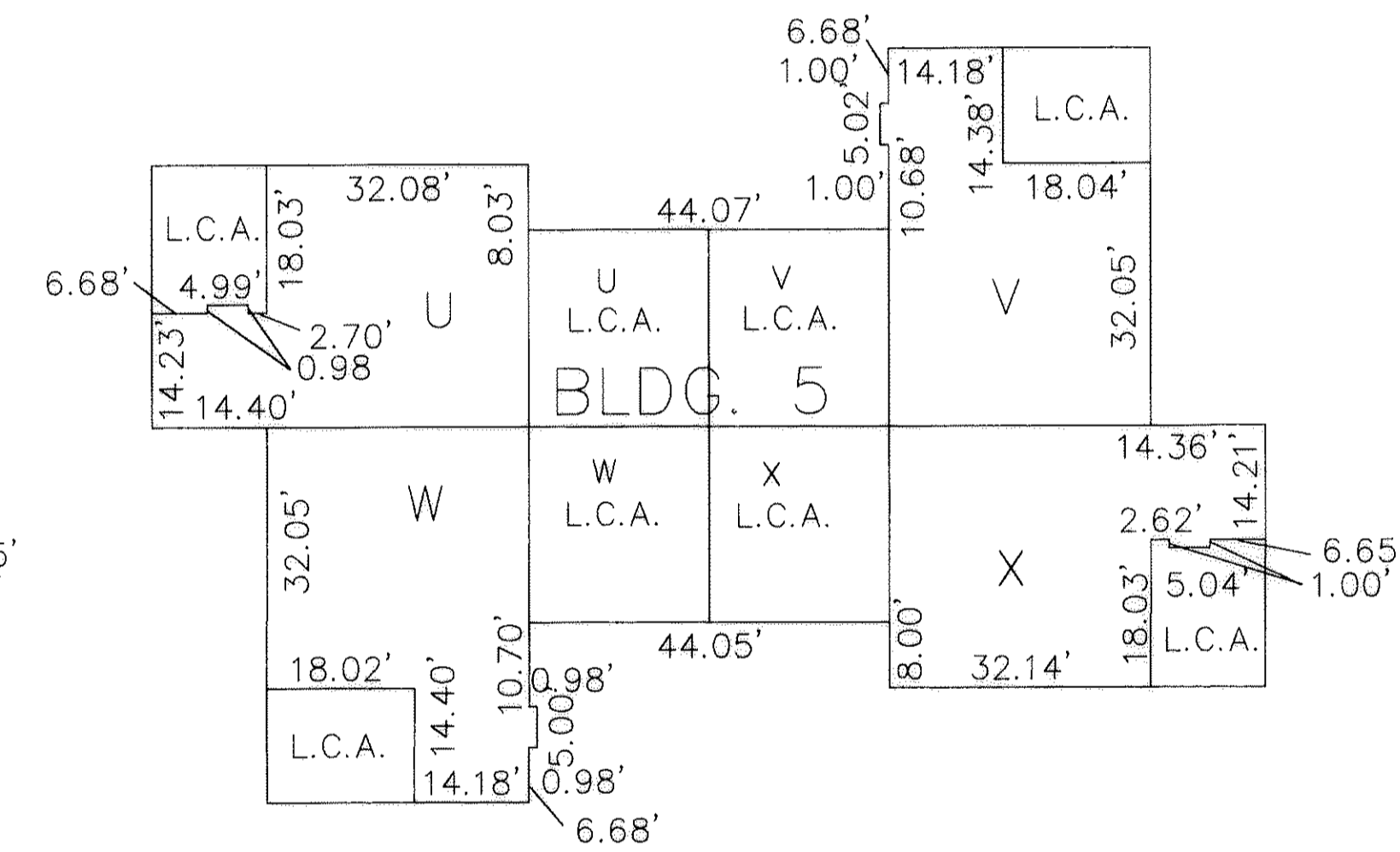
BUILDING ELEVEN FOOTPRINT (AS BUILT)
SCALE: 1" = 20'



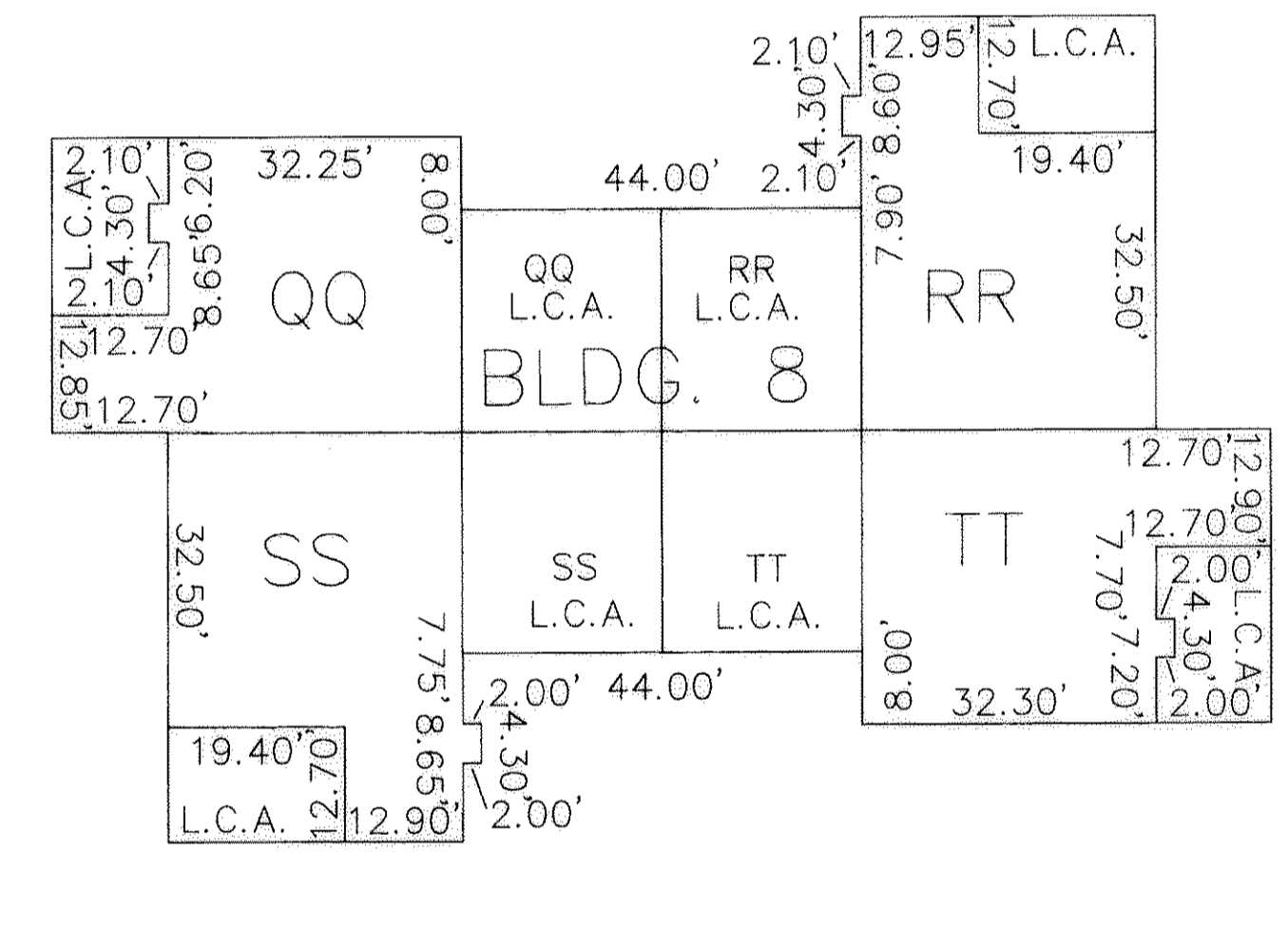
BUILDING THREE FOOTPRINT (AS BUILT)
SCALE: 1" = 20'



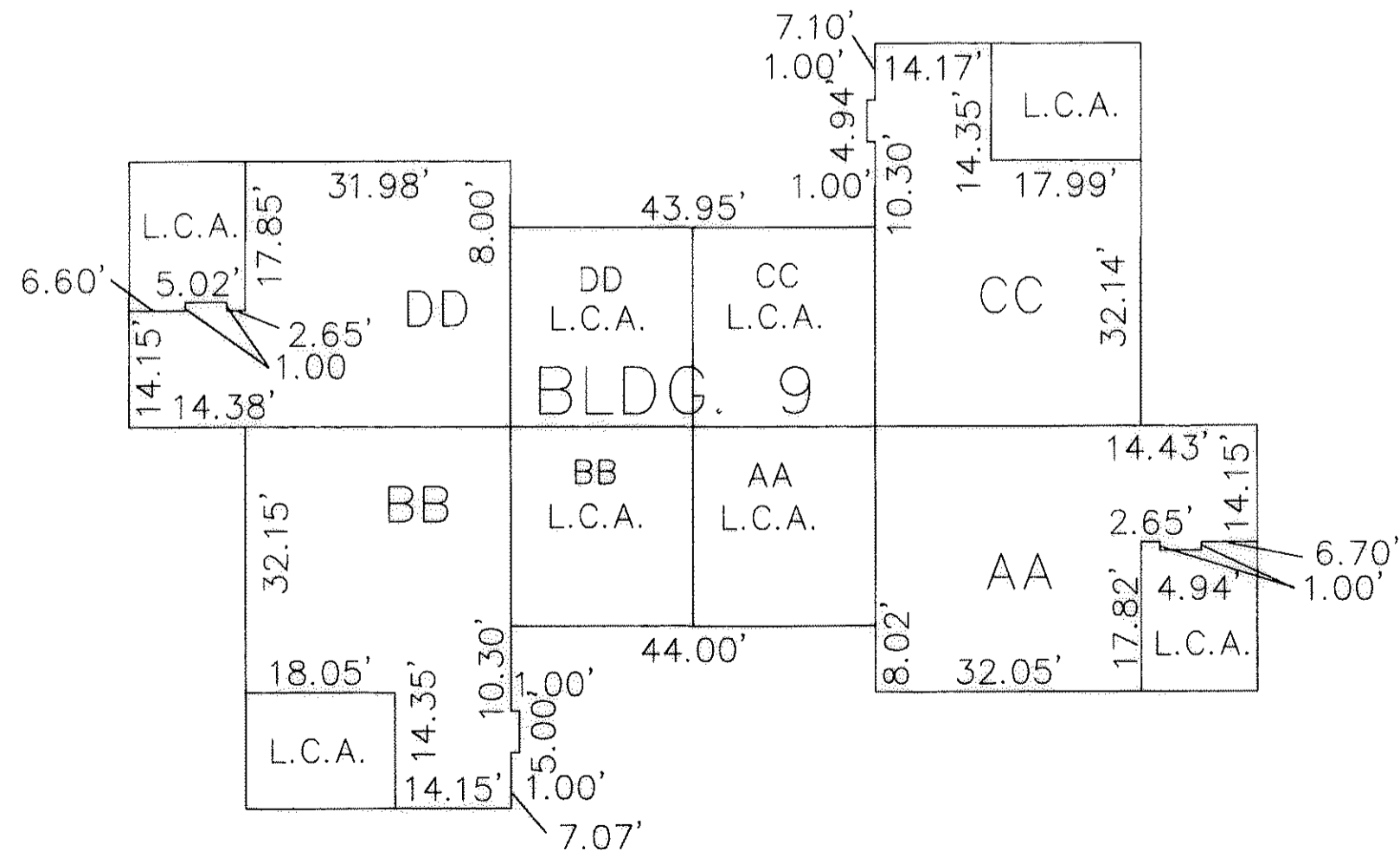
BUILDING FOUR FOOTPRINT (AS BUILT)
SCALE: 1" = 20'



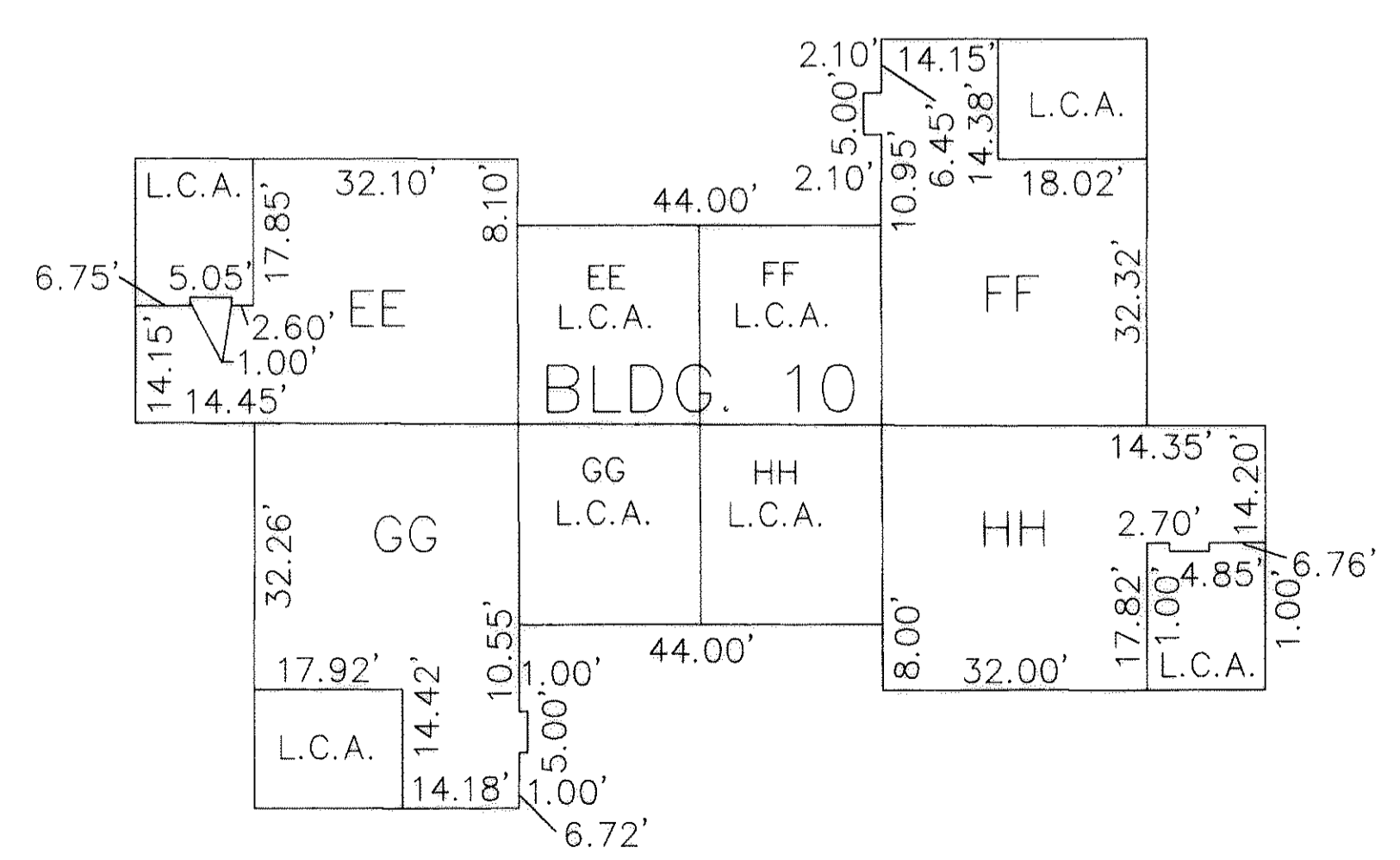
BUILDING FIVE FOOTPRINT (AS BUILT)
SCALE: 1" = 20'



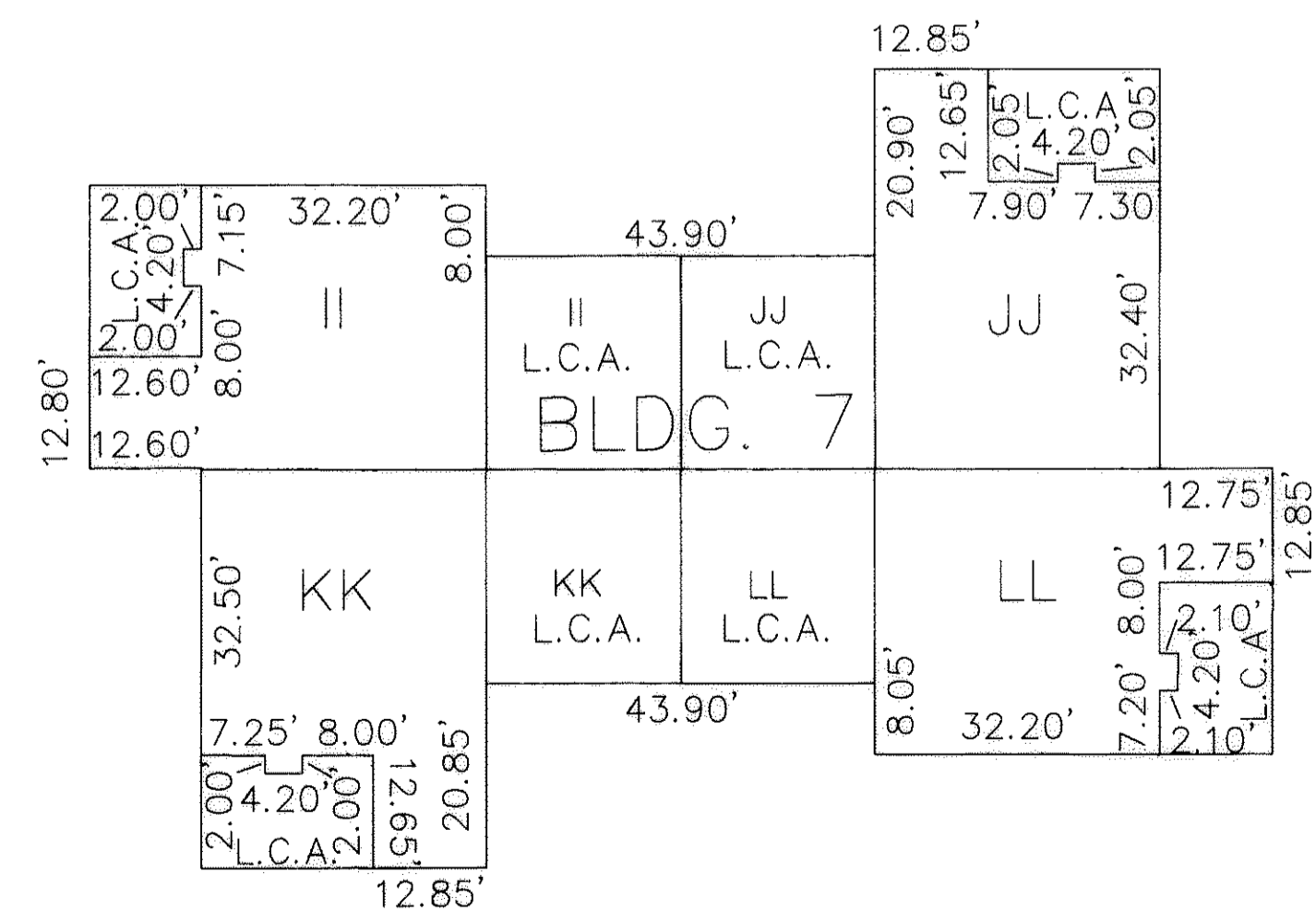
BUILDING EIGHT FOOTPRINT (AS BUILT)
SCALE: 1" = 20'



BUILDING NINE FOOTPRINT (AS BUILT)
SCALE: 1" = 20'



BUILDING TEN FOOTPRINT (AS BUILT)
SCALE: 1" = 20'



BUILDING SEVEN FOOTPRINT (AS BUILT)
SCALE: 1" = 20'

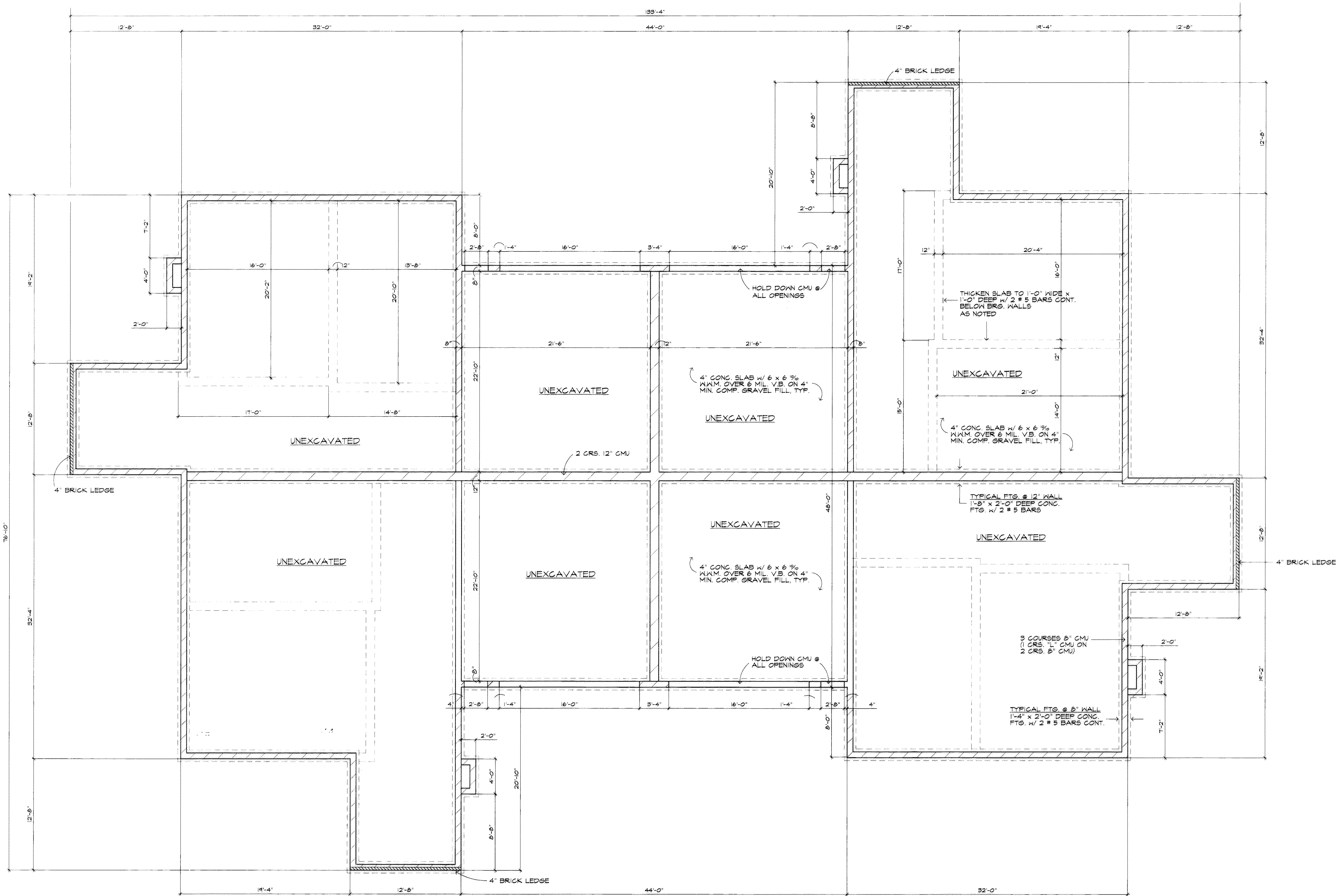
REVISED: 11-05-03 DIMENSIONS BLDG. # 8

M. WATCH L.L.C.
 27201 ROYALTON RD. SUITE 3
 COLUMBIA STATION, OHIO 44028

JAMES B. ROOT REG. SURVEYOR NO. 5045
 JAMES B. ROOT & ASSOCIATES
 200 ELLEN DR.
 BEREA, OHIO 44017 (440) 243-9843

SCALE: NONE
 DATE: 10-20-03

SHEET 3 OF 11



THE UNDERSIGNED HEREBY CERTIFIES THAT THESE DRAWINGS SHOW GRAPHICALLY, INSOFAR AS POSSIBLE, THE LAYOUT, LOCATION, DESIGNATION AND DIMENSIONS OF EACH UNIT, COMMON AREAS, FACILITIES, LIMITED COMMON AREAS AND FACILITIES OF THE BUILDINGS AS CONSTRUCTED. THE PURPOSE OF THIS CERTIFICATION IS TO COMPLY WITH, IN ALL RESPECTS, WITH THE PROVISIONS OF SECTION 5311.07 OF THE OHIO REVISED CODE.

FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

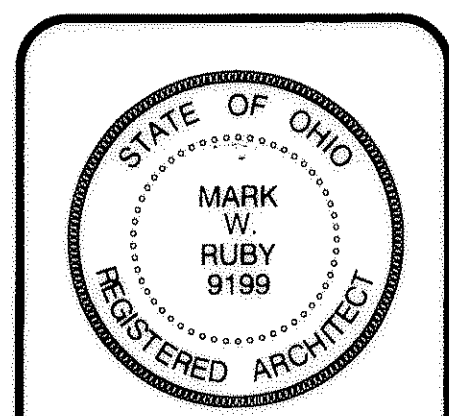


Mark W. Ruby
Mark W. Ruby, Architect #1999
11/11/03
Date

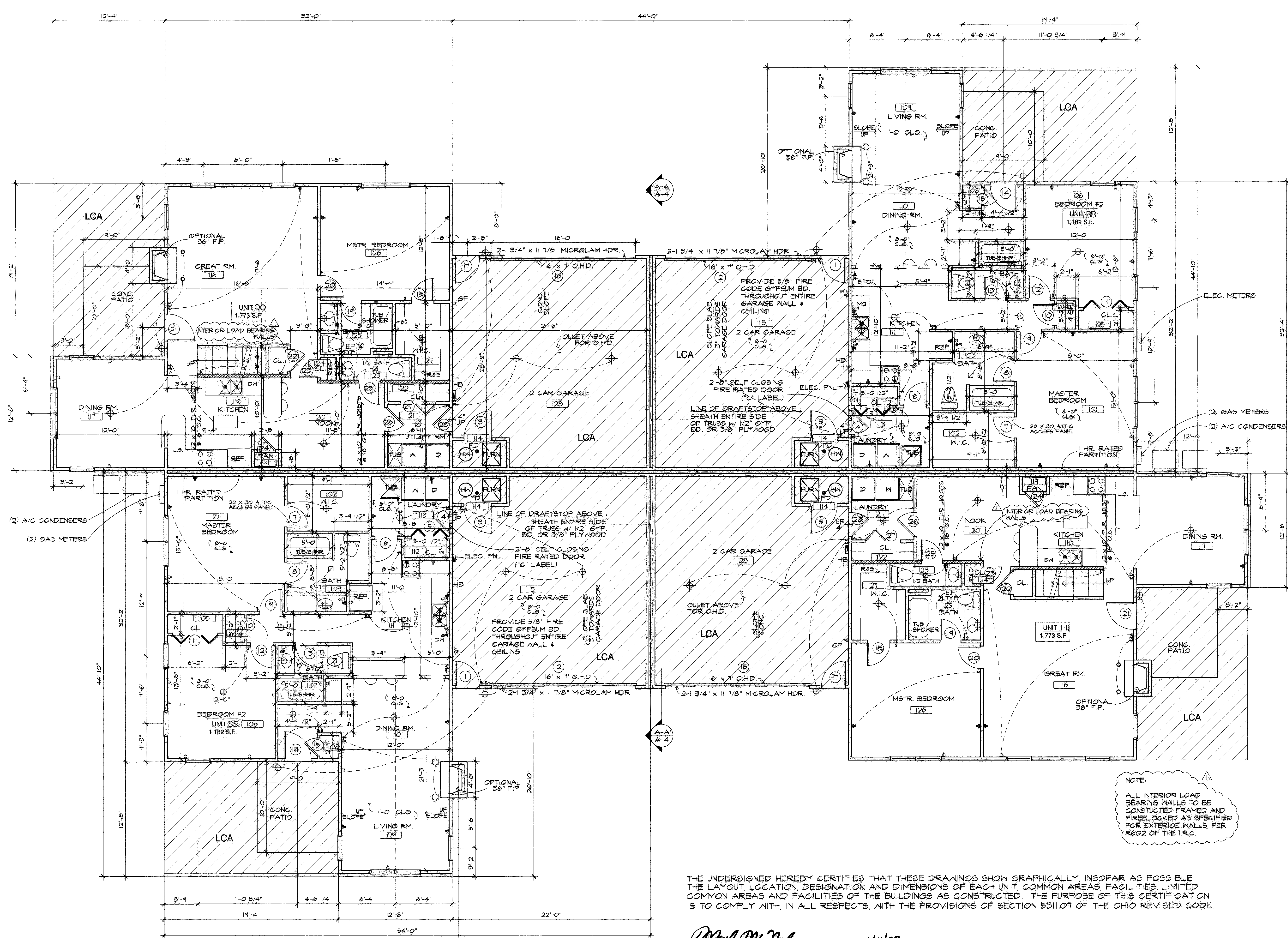
REVISIONS	BY

MARK W. RUBY
ARCHITECT
1110 COOPER FOSTER PARK ROAD
AMHERST, OH, 44001
(440) 966-2091

TITLE
BUILDING #8
MARINER'S WATCH
CONDOMINIUM COMPLEX
SHEFFIELD LAKE, OHIO
GILL CONSTRUCTION, INC.



DATE 11/7/03
PROJ. 0280
SHEET



THE UNDERSIGNED HEREBY CERTIFIES THAT THESE DRAWINGS SHOW GRAPHICALLY, INsofar AS POSSIBLE THE LAYOUT, LOCATION, DESIGNATION AND DIMENSIONS OF EACH UNIT, COMMON AREAS, FACILITIES, LIMITED COMMON AREAS AND FACILITIES OF THE BUILDINGS AS CONSTRUCTED. THE PURPOSE OF THIS CERTIFICATION IS TO COMPLY WITH, IN ALL RESPECTS, WITH THE PROVISIONS OF SECTION 5311.07 OF THE OHIO REVISED CODE.

Mark W. Ruby
Mark W. Ruby, Architect #9199

11/11/03
Date

FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



REVISIONS BY	
4/8/03	CMD

MARK W. RUBY
ARCHITECT
1110 COOPER FORSTER PARK ROAD
SHEFFIELD LAKE, OHIO 44201
(440) 986-2091

BUILDING #8
MARINER'S WATCH
CONDOMINIUM COMPLEX
SHEFFIELD LAKE, OHIO
GILL CONSTRUCTION, INC.




DATE 11/7/03
PROJ. 0280
SHEET

5 of 11

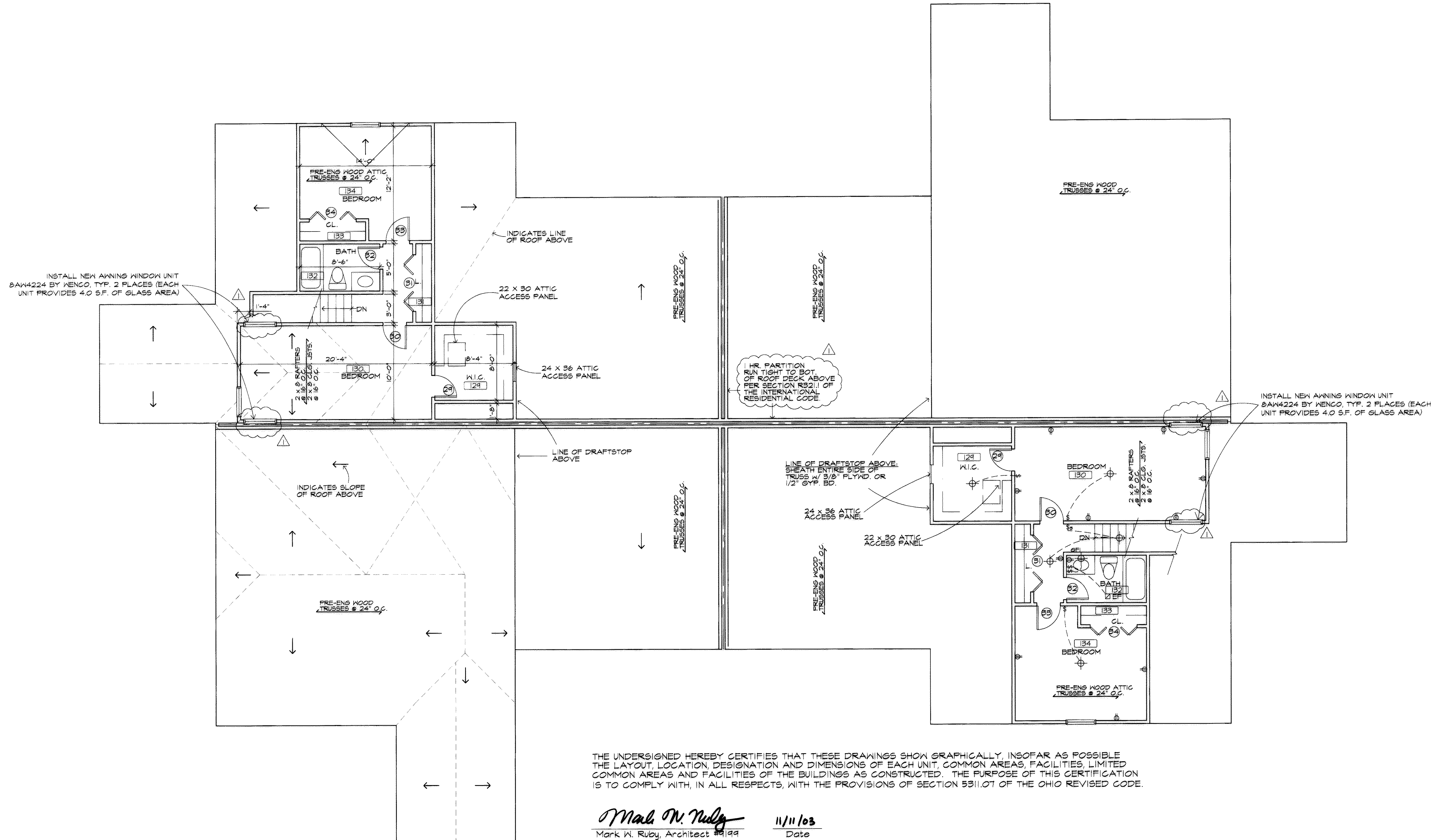
REVISIONS	BY
4/8/03	CMD

MARK W. RUBY
ARCHITECT
1110 COOPER FOSTER PARK ROAD
AMHERST, OH. 44001
(440) 986-2051

TITLE
BUILDING #8
MARINER'S WATCH
CONDOMINIUM COMPLEX
SHEFFIELD LAKE, OHIO
GILL CONSTRUCTION, INC.



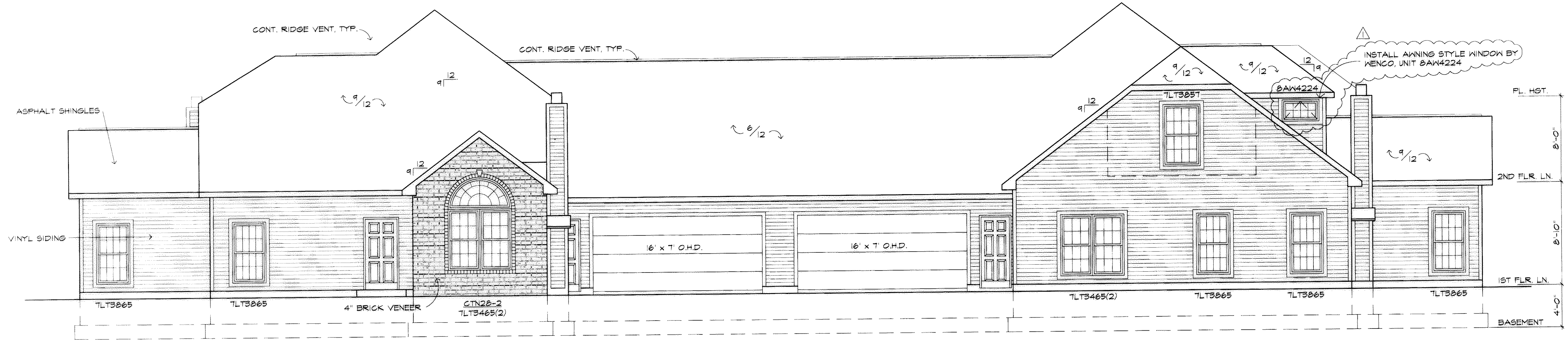
DATE	11/7/03
PROJ.	0280
SHEET	6 of 11



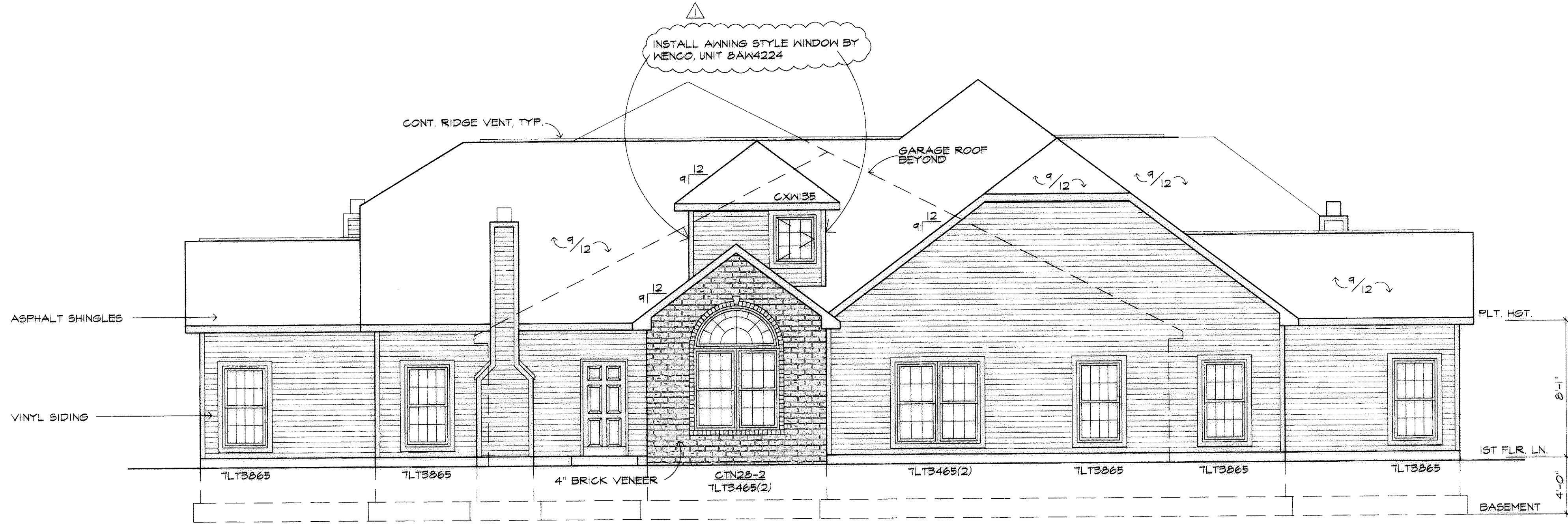
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Mark W. Ruby
Mark W. Ruby, Architect #199
11/11/03
Date

SECOND FLOOR PLAN
SCALE: 3/16"=1'-0" 



EAST/WEST ELEVATION
SCALE: 3/16"=1'-0"



NORTH/SOUTH ELEVATION
SCALE: 3/16"=1'-0"

ROOM SCHEDULE UNITS 2 & 3

NO.	ROOM NAME	FLOOR		BASE		WALLS		CEILING		REMARKS
		CARPET	VINYL	CONCRETE	VINYL	WOOD	NONE	GYP. BO. PAINT	STIPPLED	
101	MASTER BEDROOM	•							8'-0"	
102	WALK IN CLOSET	•							8'-0"	
103	MASTER BATH	•							8'-0"	
104	LINEN	•							8'-0"	
105	CLOSET	•							8'-0"	
106	BEDROOM #2	•							8'-0"	
107	BATH #2	•							8'-0"	
108	CLOSET	•							8'-0"	
109	LIVING ROOM	•							VARIES	SLOPED CEILING
110	DINING ROOM	•							VARIES	SLOPED CEILING
111	KITCHEN	•							8'-0"	
112	CLOSET	•							8'-0"	
113	LAUNDRY ROOM	•							8'-0"	
114	FURNACE	•							8'-0"	
115	GARAGE			•					8'-0"	

ROOM SCHEDULE UNITS 1 & 4

NO.	ROOM NAME	FLOOR		BASE		WALLS		CEILING		REMARKS
		CARPET	VINYL	CONCRETE	VINYL	WOOD	NONE	GYP. BO. PAINT	STIPPLED	
116	GREAT ROOM	•							8'-0"	
117	DINING ROOM	•							8'-0"	
118	KITCHEN	•							8'-0"	
119	PANTRY	•							8'-0"	
120	NOOK	•							8'-0"	
121	LAUNDRY ROOM	•							8'-0"	
122	CLOSET	•							8'-0"	
123	1/2 BATH	•							8'-0"	
124	CLOSET	•							8'-0"	
125	MASTER BATH	•							8'-0"	
126	MASTER BEDROOM	•							8'-0"	
127	WALK IN CLOSET	•							8'-0"	
128	GARAGE			•					8'-0"	
129	WALK IN CLOSET	•							8'-0"	
130	BEDROOM #2	•							8'-0"	
131	CLOSET	•							8'-0"	
132	BATH #2	•							8'-0"	
133	CLOSET	•							8'-0"	
134	BEDROOM #3	•							8'-0"	

DOOR SCHEDULE UNITS 2 & 3

NO.	SIZE	MAT'L	TYPE	FRAME	HARDWARE										REMARKS			
					PACKAGE LATCH	LOCKSET	PREVAIL	HINGED	DOOR STOP	FLOOR FINISH	TRIPLET	TRIPLE	CHAMFER	TRIPLE LOCK				
1	2'-8"x6'-8"x1 3/4"	MTL	INS	UD														
2	16'-0"x7'-0"	MTL	INS	MTL														OVERHEAD DOOR
3	3'-0"x6'-8"x1 3/4"	MTL	INS	UD														
4	2'-4"x6'-8"x1 3/4"	MTL	INS	UD														
5	4'-0"x6'-8"x1 3/4"	UD	HC	UD														PAIR BI-FOLD
6	2'-8"x6'-8"x1 3/4"	UD	HC	UD														
7	2'-4"x6'-8"x1 3/4"	UD	HC	UD														
8	2'-4"x6'-8"x1 3/4"	UD	HC	UD														
9	2'-6"x6'-8"x1 3/4"	UD	HC	UD														
10	2'-4"x6'-8"x1 3/4"	UD	HC	UD														
11	5'-0"x6'-8"x1 3/4"	UD	HC	UD														PAIR BI-FOLD
12	2'-6"x6'-8"x1 3/4"	UD	HC	UD														
13	2'-4"x6'-8"x1 3/4"	UD	HC	UD														
14	3'-0"x6'-8"x1 3/4"	MTL	INS	UD														
15	2'-0"x6'-8"x1 3/4"	UD	HC	UD														

DOOR SCHEDULE UNITS 1 & 4

NO.	SIZE	MAT'L	TYPE	FRAME	HARDWARE										REMARKS			
					PACKAGE LATCH	LOCKSET	PREVAIL	HINGED	DOOR STOP	FLOOR FINISH	TRIPLET	TRIPLE	CHAMFER	TRIPLE LOCK				
16	16'-0"x7'-0"	MTL	INS	MTL														OVERHEAD DOOR
17	2'-8"x6'-8"x1 3/4"	MTL	INS	UD														
18	2'-4"x6'-8"x1 3/4"	UD	HC	UD														
19	2'-4"x6'-8"x1 3/4"	UD	HC	UD														
20	2'-8"x6'-8"x1 3/4"	UD	HC	UD														
21	3'-0"x6'-8"x1 3/4"	MTL	INS	UD														
22	2'-6"x6'-8"x1 3/4"	UD	HC	UD														
23	2'-0"x6'-8"x1 3/4"	UD	HC	UD														
24	2'-0"x6'-8"x1 3/4"	UD	HC	UD														
25	2'-4"x6'-8"x1 3/4"	UD	HC	UD														
26	2'-8"x6'-8"x1 3/4"	UD	HC	UD														
27	4'-0"x6'-8"x1 3/4"	UD	HC	UD														SINGLE BI-FOLD
28	2'-8"x6'-8"x1 3/4"	MTL	INS	UD														
29	2'-4"x6'-8"x1 3/4"	UD	HC	UD														
30	2'-6"x6'-8"x1 3/4"	UD	HC	UD														
31	6'-0"x6'-8"x1 3/4"	UD	HC	UD														PAIR BI-FOLD
32	2'-4"x6'-8"x1 3/4"	UD	HC	UD														
33	2'-6"x6'-8"x1 3/4"	UD	HC	UD														PAIR BI-FOLD
34	5'-0"x6'-8"x1 3/4"	UD	HC	UD														

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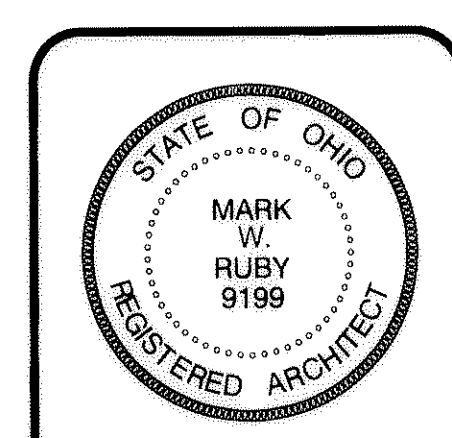
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Mark W. Ruby, Architect
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Date

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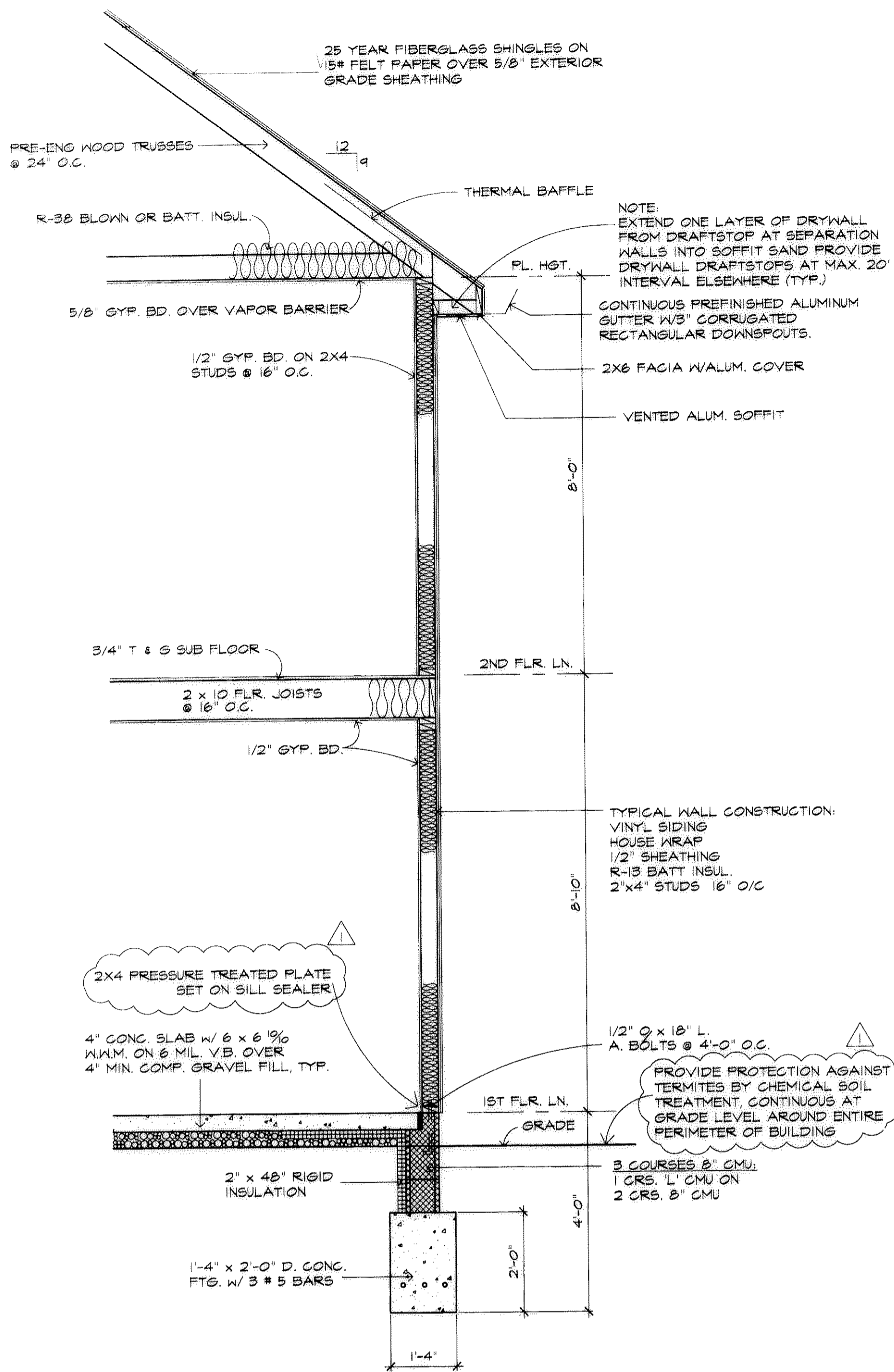
BUILDING #8
MARINER'S WATCH
CONDOMINIUM COMPLEX
SHEFFIELD LAKE, OHIO
GILL CONSTRUCTION, INC.



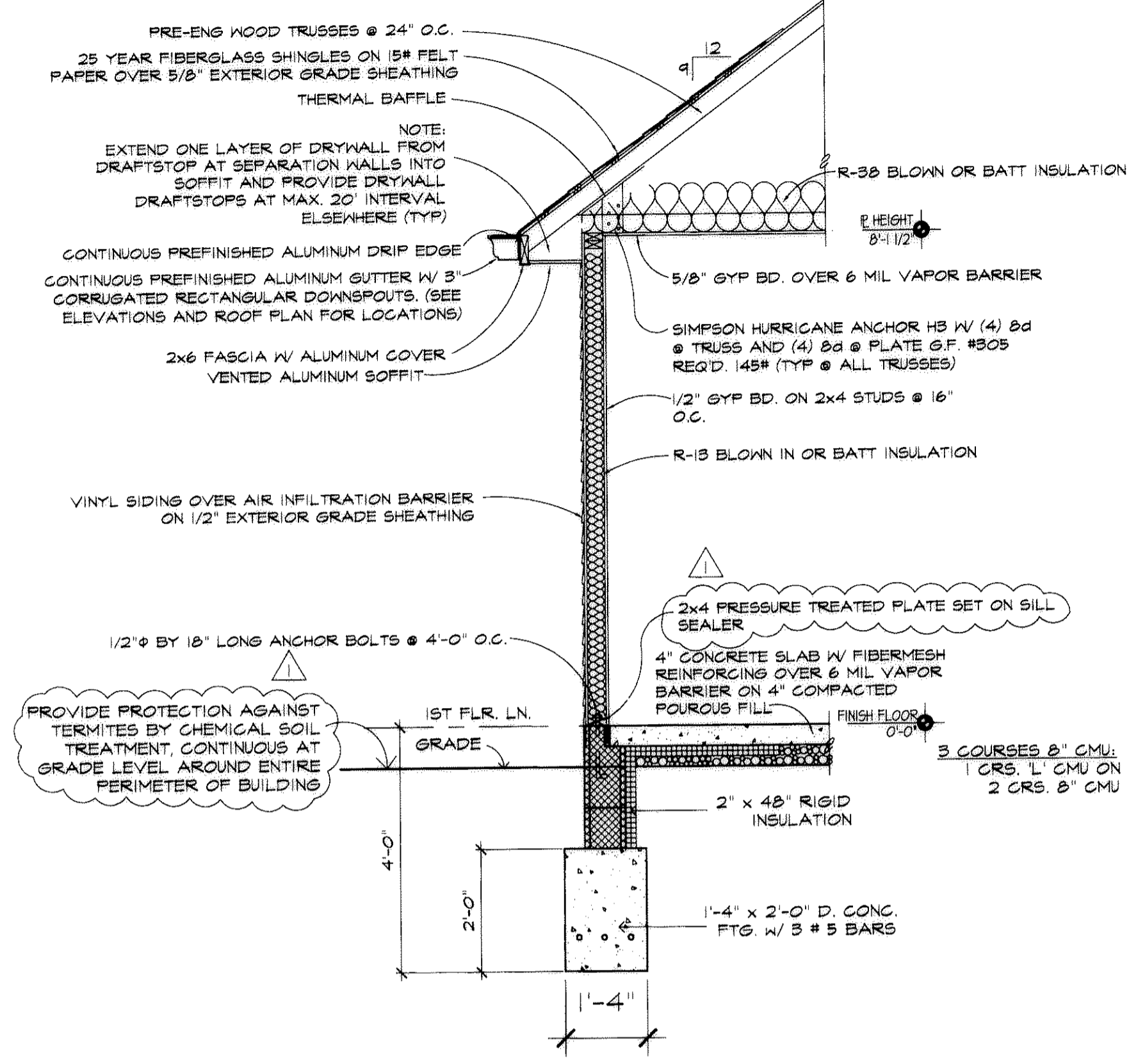
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TYP 2-STORY WALL SECTION
SCALE 1/2"=1'-0"



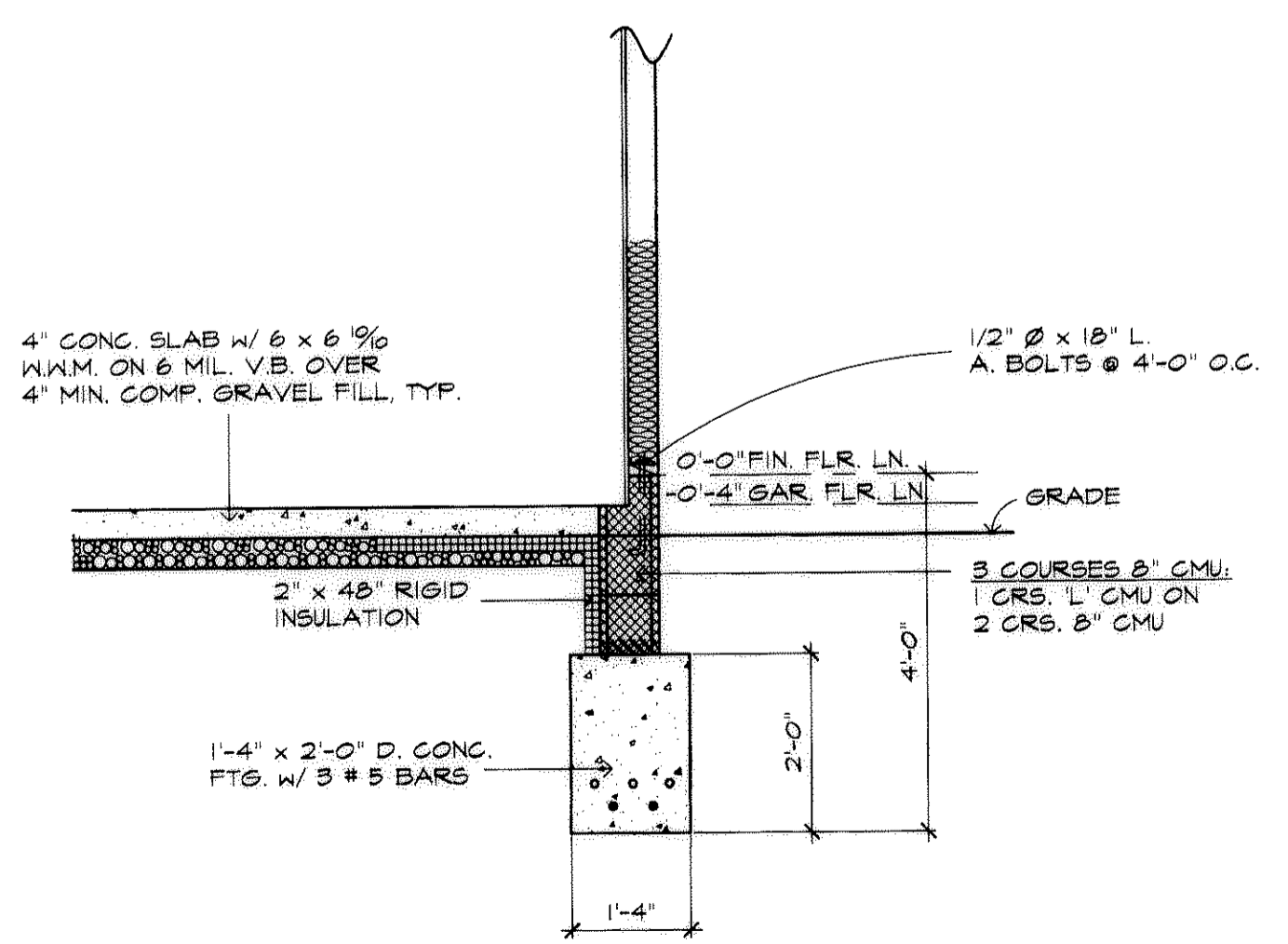
TYP RANCH WALL SECTION
SCALE 1/2"=1'-0"

GENERAL STRUCTURAL NOTES

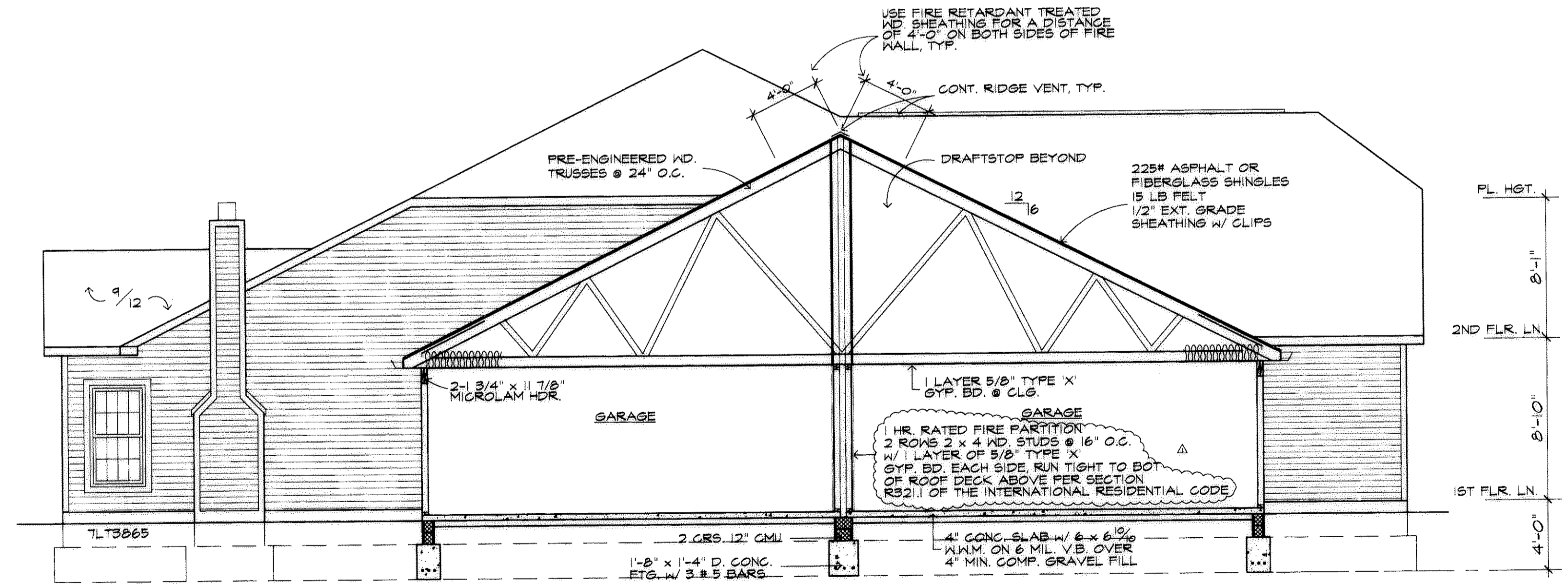
- ALL TRUSSES TO BE AT 24" O.C. UNLESS NOTED OTHERWISE
- ALL TRUSSES SHALL BE CONSTRUCTED PER THE LATEST EDITION OF "DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES DESIGN PLATE INSTITUTE. TRUSSES MUST BE DESIGNED BY A LICENSED PROFESSIONAL PROFESSIONAL ENGINEER IN THE STATE OF OHIO AND ALL DIAGRAMS, CALCULATIONS AND DETAILS SUBMITTED FOR PERMITS.
- PROVIDE DOUBLE STUD UNDER TRUSS GIRDER BEARING LOCATIONS.
- USE SOLID BLOCKING AT WINDOW HEADS FOR CURTAIN RODS.
- ALL LUMBER IN CONTACT WITH CONCRETE FLOORS SHALL BE PRESSURE TREATED.
- ALL LUMBER TO MAXIMUM 15% MOISTURE CONTENT.
- DO NOT NOTCH, OR BORE OUT MEMBERS FOR PIPES, DUCTS, OR CONDUITS, OR FOR OTHER REASONS IN SUCH A MANNER AS TO HINDER THE STRUCTURAL CAPABILITY OR INTENDED USE. STRUCTURAL MEMBERS WHOSE STRENGTH IS IMPAIRED BY IMPROPER CUTTING, DRILLING, OR EXCESSIVE DEFECTS SHALL BE REPLACED OR REINFORCED.
- FLOOR AND CEILING JOISTS MAY BE NOTCHED IN TOP OR BOTTOM SURFACE IN END 1/3 SPAN ONLY, NOT TO EXCEED 1/6 OF JOIST DEPTH, EXCEPT THAT A NOTCH NO MORE THAN 1/3 OF JOIST DEPTH IS ACCEPTABLE IN THE TIP OF THE JOIST, NOT FURTHER FROM THE FACE OF SUPPORT THAN DEPTH OF JOIST. HOLES, MAXIMUM DIAMETER 2 INCHES, MAY BE BORED THROUGH JOISTS NOT CLOSER THAN 2 INCHES TO EDGE.
- STUDS MAY BE NOTCHED 1/4 THEIR DEPTH TO RECEIVE PIPING OR CONDUITS, OR MAY BE DRILLED TO A MAXIMUM OF 1 1/4 INCHES IN 4 INCH STUD OR 2 INCHES IN 6 INCH STUD.
- WHEN PLATES ARE CUT MORE THAN 1/2 THEIR WIDTH FOR PIPING OR DUCTWORK, REINFORCE WITH 10 GA. STEEL STRAPS.
- ALL WINDOW HEADERS SHALL BE (2) 2X10'S W/ 1/2" PLYWOOD FLITCH PLATE, UNLESS NOTED OTHERWISE.
- TRUSSES SHALL BE ANCHORED W/ SIMPSON MODEL: H3 W/ 4-8d INTO TRUSS, AND 4-8d INTO PLATES. G.F. 305#, 145# REQUIRED.

FOUNDATION NOTES

- DESIGN IS BASED UPON A SOIL BEARING CAPACITY OF 2500 PSF FOR FOOTINGS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY VARIATIONS FROM MENTIONED CONDITIONS.
- ALL FOOTINGS TO BE 2500 PSI (5 BAGS CEMENT)
- ALL SLAB AND EXTERIOR CONCRETE TO BE 3,000 PSI AIR ENTRAINED, 5 1/2 BAGS CEMENT.
- CONCRETE SHALL BE COMPOSED OF PORTLAND CEMENT, FINE AGGREGATE, COARSE AGGREGATE, WATER AND AIR ENTRAINING AGENT AS REQUIRED, ASTM C-150 STANDARD FOR CEMENT.
- CONCRETE SHALL BE HOMOGENOUS, READY PLACEABLE AND UNIFORMLY WORKABLE AND BE PROPORTIONED IN ACCORDANCE WITH ACI-613 TO ATTAIN PROPERTIES OF STRENGTH SLUMP.
- REINFORCED CONCRETE THROUGHOUT SHALL HAVE A COMPRESSIVE STRENGTH AS INDICATED ON PLANS AND OTHER AREAS OF THESE SPECIFICATIONS AT 28 DAYS WITH ALLOWABLE SLUMP BETWEEN LIMITS OF 3 TO 5 INCHES.
- THE AIR CONTENTS IN ALL CONCRETE EXPOSED TO WEATHERING SHALL BE MAINTAINED IN ACCORDANCE WITH TABLE 5.2.5A ACI-302. FOR 3/4 INCH AGGREGATE CONCRETE USE 6% (PLUS OR MINUS 2%) AND FOR 1 1/2 INCH AGGREGATE USE 4% (PLUS OR MINUS 1 1/2%).
- ALL CONCRETE SHALL HAVE WATER-CEMENT RATIOS AND CORRESPONDING CEMENT FACTORS SUFFICIENT TO MEET STRENGTH AND WORKABILITY REQUIREMENTS.
- MAXIMUM SIZE COURSE AGGREGATES SHALL NOT BE LARGER THAN 1/5 OF THE NARROWEST DIMENSION BETWEEN THE SIDES OF THE FORMS OF THE MEMBER FOR WHICH THE CONCRETE IS TO BE USED, NOR LARGER THAN 3/4 OF THE MINIMUM CLEAR SPACING BETWEEN REINFORCING BARS. ASTM-201-D STANDARD.
- ALL CONCRETE FLOOR SLABS SHALL CONTAIN AN AIR ENTRAINING MIXTURE CONFORMING TO ASTM C-260, AIR CONTENT SHALL NOT EXCEED TWO PERCENT (2%) FOR INTERIOR SLABS. EXTERIOR SLABS TO CONTAIN AN AIR ENTRAINING MIXTURE AS NOTED IN PARAGRAPH 3300, 2C, 4 OF THIS SECTION OF THESE SPECIFICATIONS.
- THE CONCRETE SHALL NOT HAVE WATER REDUCER ADDED.
- NO CALCIUM CHLORIDE SHALL BE ADDED TO THE CONCRETE WITHOUT THE PRIOR PERMISSION OF THE ARCHITECT AND TESTING LABORATORY.



GARAGE WALL SECTION
SCALE 1/2"=1'-0"



BUILDING SECTION A-A
SCALE: 3/16"=1'-0"

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Mark W. Ruby
Mark W. Ruby, Architect #9199
11/11/03
Date

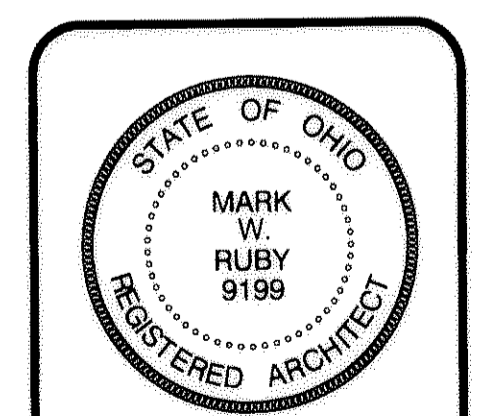
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BUILDING #8
MARINER'S WATCH
CONDOMINIUM COMPLEX
SHEFFIELD LAKE, OHIO
GILL CONSTRUCTION, INC.



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HVAC NOTES

- FURNISH AND INSTALL ALL DESIGN, LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR, OR INCIDENTAL TO THE INSTALLATION OF THE COMPLETE HEATING, VENTILATION, AND AIR CONDITIONING (HVAC) SYSTEM AS INDICATED IN THESE CONTRACT DOCUMENTS.
- ALL WORK SHALL COMPLY WITH THE APPLICABLE SECTIONS OF THE FOLLOWING CODES AND STANDARDS:
 - LOCAL AND STATE (ARTICLES 15 AND 16) BUILDING CODES
 - N.F.P.A.-NATIONAL FIRE PROTECTION ASSOCIATION, #90A
 - N.E.C.-NATIONAL ELECTRIC CODE
 - A.S.H.R.A.E.-GUIDE AND DATA BOOK
 - A.M.C.A.-AMERICAN AIR MOVING & AIR CONDITIONING ASSOCIATION
 - S.M.A.C.N.A.-SHEET METAL & AIR CONDITIONING NATIONAL ASSOCIATION
 - O.S.H.A.-OCCUPATIONAL SAFETY AND HEALTH ASSOCIATION
- ALL WORK SHALL BE DONE IN A WORKMANSHIP LIKE MANNER ACCEPTABLE TO THE ARCHITECT BY CRAFTSMAN SKILLED IN THE TRADE.
- GUARANTEE ALL MATERIALS AND WORKMANSHIP (COMPRISING THE "HVAC", HEATING, VENTILATING, AND AIR CONDITIONING SYSTEM) FOR A PERIOD OF ONE (1) YEAR FROM WRITTEN ACCEPTANCE BY OWNER. ANY DEFECTS IN MATERIAL OR WORKMANSHIP FOUND WITHIN THE GUARANTEE PERIOD SHALL BE REMEDIED OR REPAIRED BY THIS CONTRACTOR, IN A TIMELY FASHION, AT NO COST WHATSOEVER TO THE OWNER.
- HVAC CONTRACTOR AT HIS OWN EXPENSE SHALL MAKE REASONABLE TESTS AS REQUIRED BY THE OWNER OR LOCAL/STATE INSPECTOR TO PROVE THE INTEGRITY OF HIS WORK. HVAC CONTRACTORS TESTING OBLIGATION INCLUDES BUT IS NOT LIMITED TO PROVIDING LABOR, MATERIAL AND/OR EQUIPMENT REQUIRED TO DO THE TESTING REQUIRED.
- HVAC CONTRACTOR SHALL ARRANGE AND PAY FOR ALL REQUIRED FEES, PERMITS, INSPECTIONS, CERTIFICATES, AND MISCELLANEOUS COSTS ASSOCIATED WITH THE "HVAC" PORTION OF THE WORK.
- ALL HVAC WORK SHALL BE LAID OUT WITH DUE CONSIDERATION FOR THE WORK OF OTHER TRADES. ANY CONFLICTS WHICH OCCUR DUE TO LACK OF COOPERATION OF THE HVAC CONTRACTOR WITH OTHER TRADES (CONTRACTORS) SHALL BE CORRECTED BY THE HVAC CONTRACTOR WITH ABSOLUTELY NO EXPENSE TO THE OWNER.
- DO ALL THE CUTTING AND PATCHING REQUIRED IN CONNECTION WITH THE INSTALLATION OF THE HVAC WORK, AND MAKE GOOD (PAY OR REPAIR) ANY DAMAGE CAUSED BY THE HVAC CONTRACTOR (OR HIS EMPLOYEES) TO THE WORK OF OTHER CONTRACTORS AT HIS OWN EXPENSE.

9. HVAC CONTRACTOR SHALL VISIT THE SITE TO MAKE HIMSELF AWARE OF ANY EXISTING CONDITION THAT WOULD AFFECT THE WORK. NO CHANGE ORDERS WILL BE GRANTED BASED UPON AN ADDITIONAL COST INCURRED FROM AN EXISTING CONDITION.

10. HVAC CONTRACTOR SHALL PROVIDE AIR BALANCE REPORT TO OWNER AND THE ARCHITECT, AFTER BALANCING THE SYSTEM, INDICATING THE FLOW QUANTITIES. THE REPORT SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT PRIOR TO THE APPROVAL OF THE FINAL PAYMENT.

11. HVAC CONTRACTOR SHALL FURNISH AND INSTALL ALL CONTROL WIRING, POWER WIRING (FEEDERS) TO EQUIPMENT, EQUIPMENT POWER CONNECTIONS, AND EQUIPMENT POWER DISCONNECTS SHALL BE BY THE ELECTRICAL CONTRACTOR.

12. FURNISH AND INSTALL THE GROUND MOUNTED HVAC UNITS AS INDICATED ON THE DRAWING.

13. FOR THE "CENTRAL" DUCT REQUIRED:

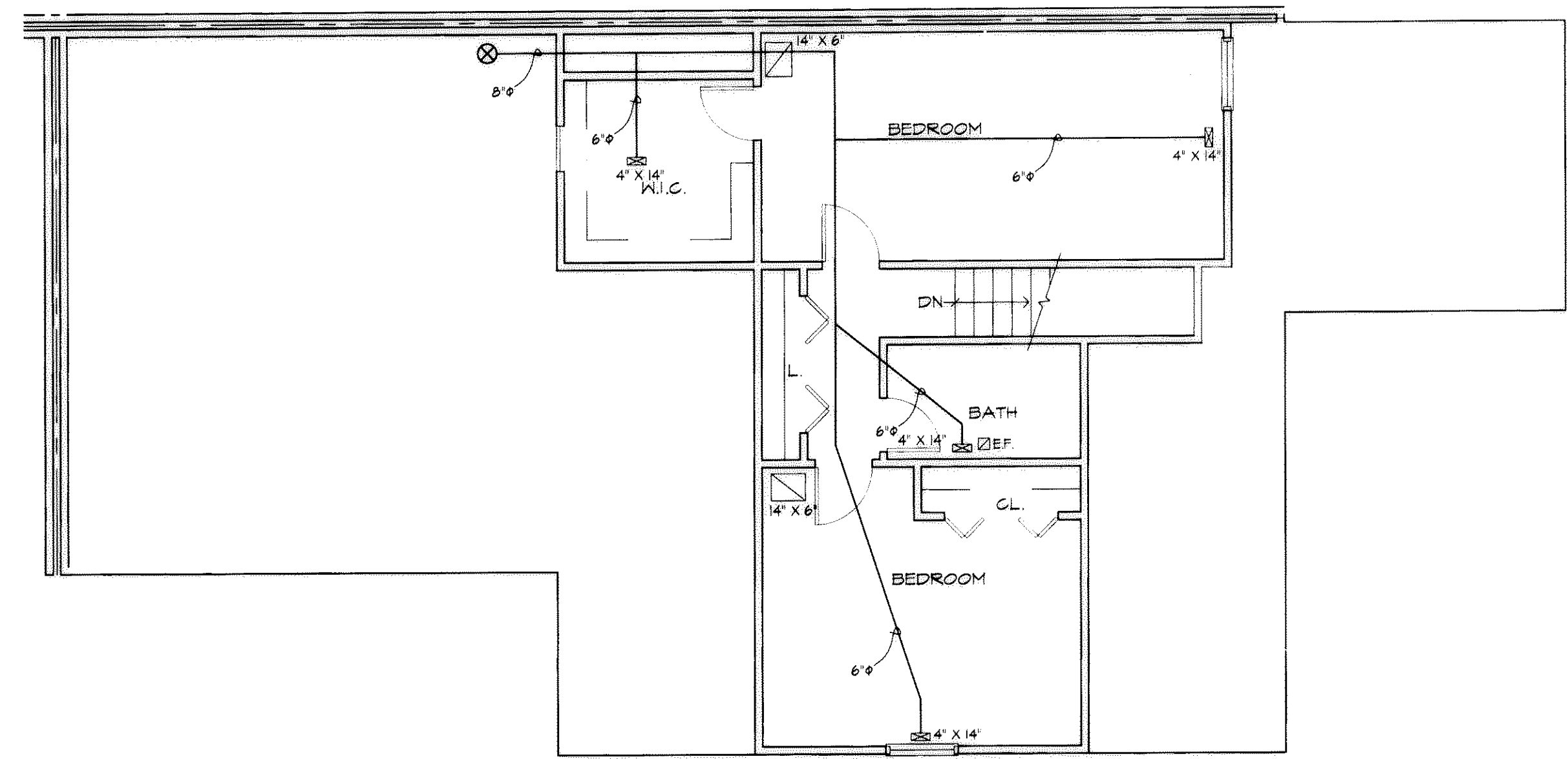
ABOVE GRADE-FURNISH AND INSTALL GALVANIZED SHEET METAL DUCTWORK AS INDICATED ON THE DRAWINGS. THE REQUIRED SIZE (GROSS SECTIONAL AREA) IS INDICATED ON THE DRAWINGS. THE DUCT DIMENSIONS MAY BE ALTERED ONLY IF REQUIRED FOR INSTALLATION COORDINATION. MAINTAIN THE INTERIOR DUCT CROSS-SECTIONAL REQUIREMENTS AS INDICATED ON THE DRAWINGS. INSULATE THE CENTRAL DUCT WITH TWO (2) INCH EXTERNAL FIBERGLASS WRAP WITH THE ALUMINUM FOIL FACING (INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS).

BELOW GRADE-FURNISH AND INSTALL "P.V.S." UNDERGROUND AIR DUCT ACCORDING TO THE MANUFACTURER'S GUIDELINES AND AS INDICATED ON THE DRAWINGS.

14. FOR THE BRANCH DUCT REQUIRED:

ABOVE GRADE-FURNISH AND INSTALL INSULATED FLEXIBLE DUCT ("FLEXMASTER" TYPE 5, OR AN APPROVED EQUAL) COMPLETE WITH DUCT SEALER, DUCT TAPE, CLAMPS, COLLARS, SLEEVES, AND MISCELLANEOUS MATERIALS. RUNS SHALL BE A MAXIMUM OF 8 FEET, ANY REMAINING LENGTH OF BRANCH DUCT SHALL BE RIGID ROUND WITH A MAXIMUM OF 8 FEET, ANY REMAINING LENGTH OF BRANCH DUCT SHALL BE RIGID ROUND WITH TWO (2) INCH ALUMINUM FOIL FACED FIBERGLASS WRAP INSULATION AS INDICATED NOTE 14.

BELOW GRADE-FURNISH AND INSTALL "P.V.S." UNDERGROUND AIR DUCT ACCORDING TO THE MANUFACTURER'S GUIDELINES AND AS INDICATED ON THE DRAWINGS. THE REQUIRED SIZE (GROSS-SECTIONAL AREA) IS INDICATED ON THE DRAWINGS.



SECOND FLOOR MECHANICAL PLAN
SCALE: 3/16" = 1'-0"



HVAC EQUIPMENT

EF - PENN VENTILATOR CEILING MOUNTED CABINET EXHAUST FAN WITH RETURN AIR GRILLE, "ZEPHYRETTE" MODEL NO. ZT TO EXHAUST 75 CFM AT .375" S.P. WITH A 48 WATT, 115/1/60 MOTOR. FURNISH UNIT WITH ASL-20 SLOPED ROOF CAP.

FUR - RUUD 80% EFFICIENT GAS FIRED COUNTER FLOW FURNACE, MODEL NO. UGLHOTEAUER TO SUPPLY 800 CFM AT 5" E. S.P. WITH A 1/2 HP, 115/1/60 MOTOR. HEATING CAPACITY TO BE 60,000 BTUH OUTPUT WITH 75,000 BTUH NATURAL GAS INPUT. UNIT TO HAVE A MINIMUM 80% AFUE. FURNISH UNIT WITH A SIDE FILTER RACK.

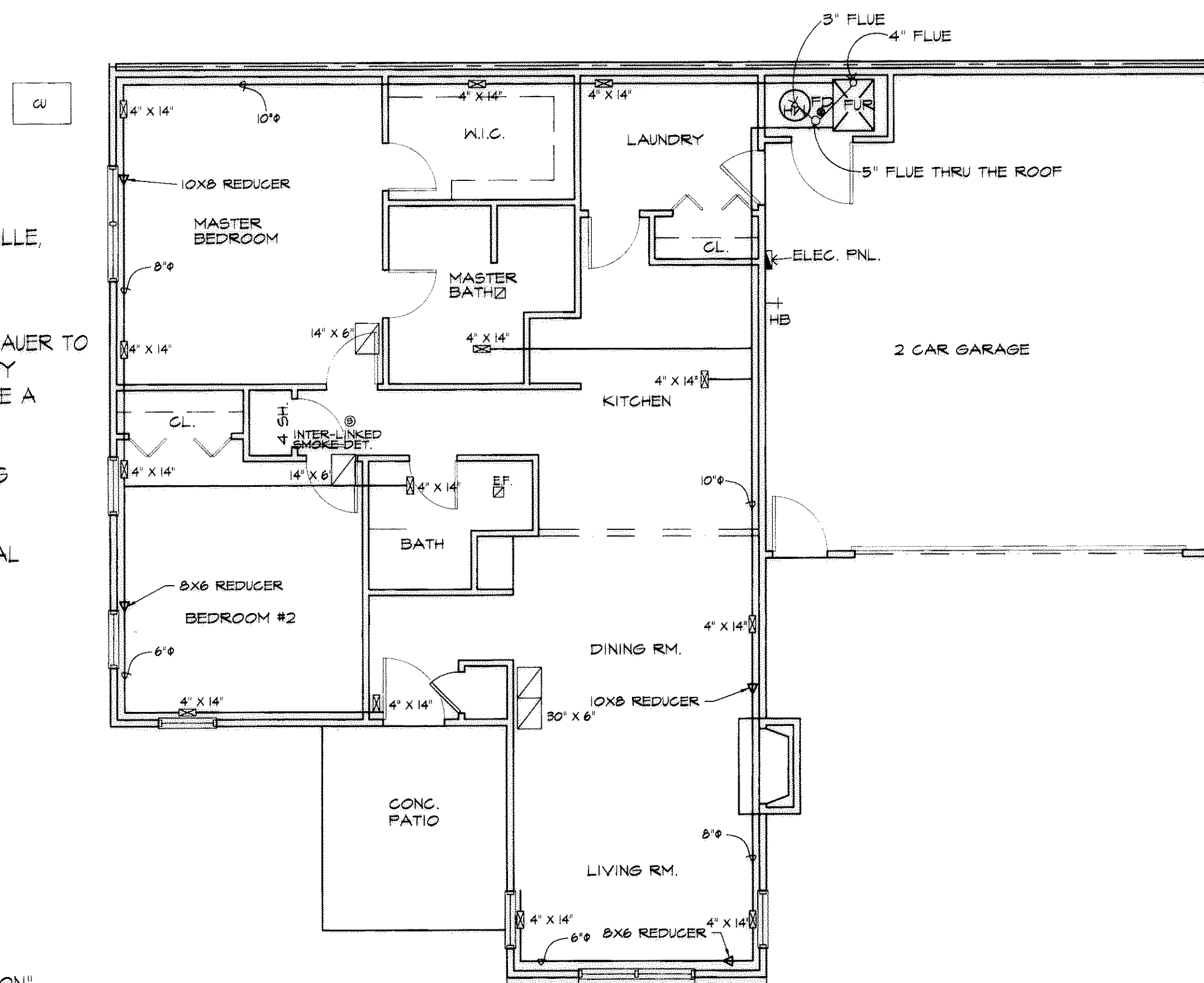
COOLING COIL - RUUD MODEL NO. RCB37656617 ENGAGED EVAPORATOR DX COOLING COIL. MAXIMUM WET COIL PRESSURE DROP = .30" AT 1784 CFM.

CU - RUUD MODEL UAKA030JAZ AIR COOLED CONDENSING UNIT TO PROVIDE A NOMINAL 18,000 BTUH TOTAL COOLING WHEN MATCHED WITH THE EVAPORATOR COIL. UNIT VOLTAGE 208/230/1/60. UNIT MINIMUM SEER = 10.0. FURNISH UNIT WITH THE FOLLOWING:

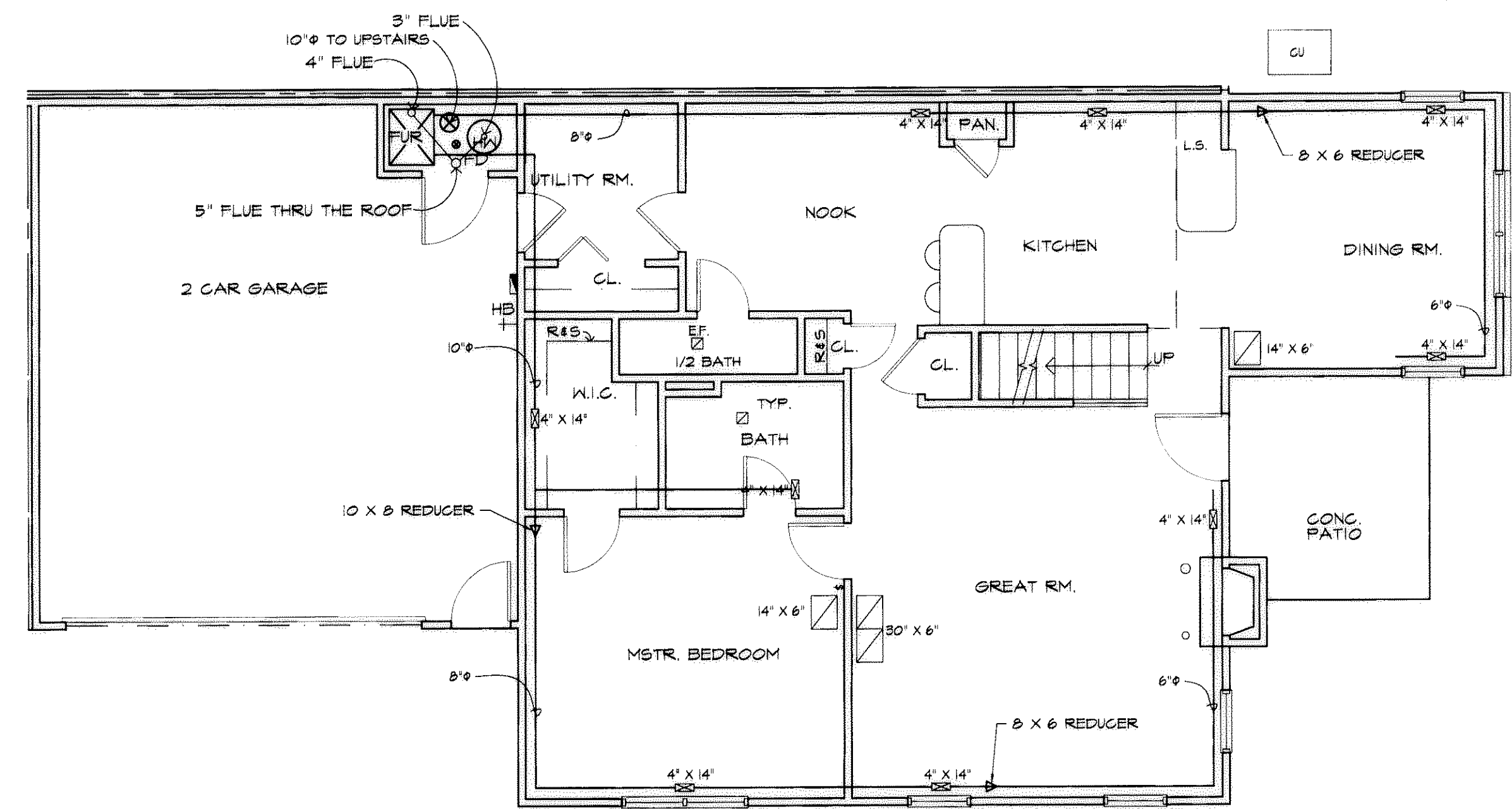
- FILTER DRYER
- FIVE (5) YEAR COMPRESSOR WARRANTY.

NOTES:

- SUPPLY AND RETURN GRILLE SIZES AS NOTED ON PLAN
- 5" TYPE 'B' FLUE UP THROUGH ROOF (LOCATION AS SHOWN)
- ALL SUPPLY RUNOUTS TO BE 6" DIA.
- BUILDING AND EQUIPMENT DESIGNED ACCORDING TO (OBC) "ENERGY CONSERVATION"
 - R-38 ATTIC INSULATION
 - R-13 SIDEWALL INSULATION
 - THERMAL PANE WINDOWS (U NOT GREATER THAN .54)



RANCH MECHANICAL PLAN
SCALE: 3/16" = 1'-0"



FIRST FLOOR MECHANICAL PLAN
SCALE: 3/16" = 1'-0"



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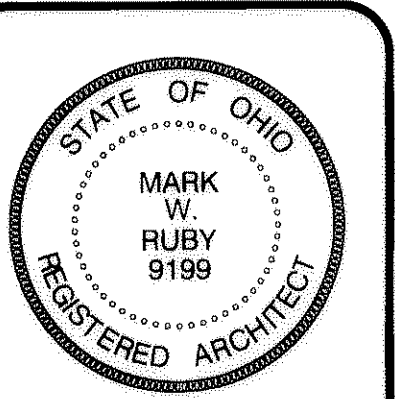
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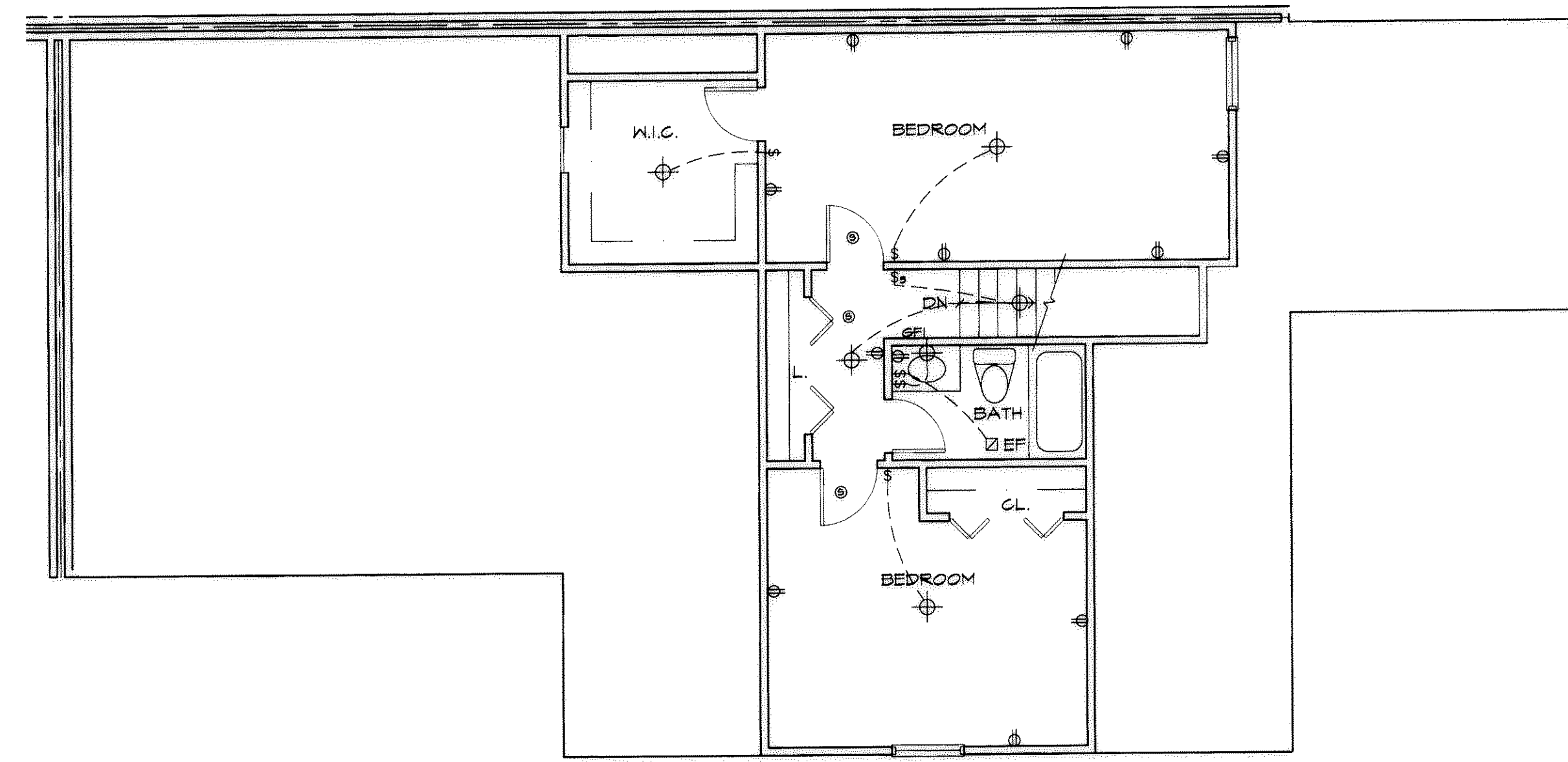
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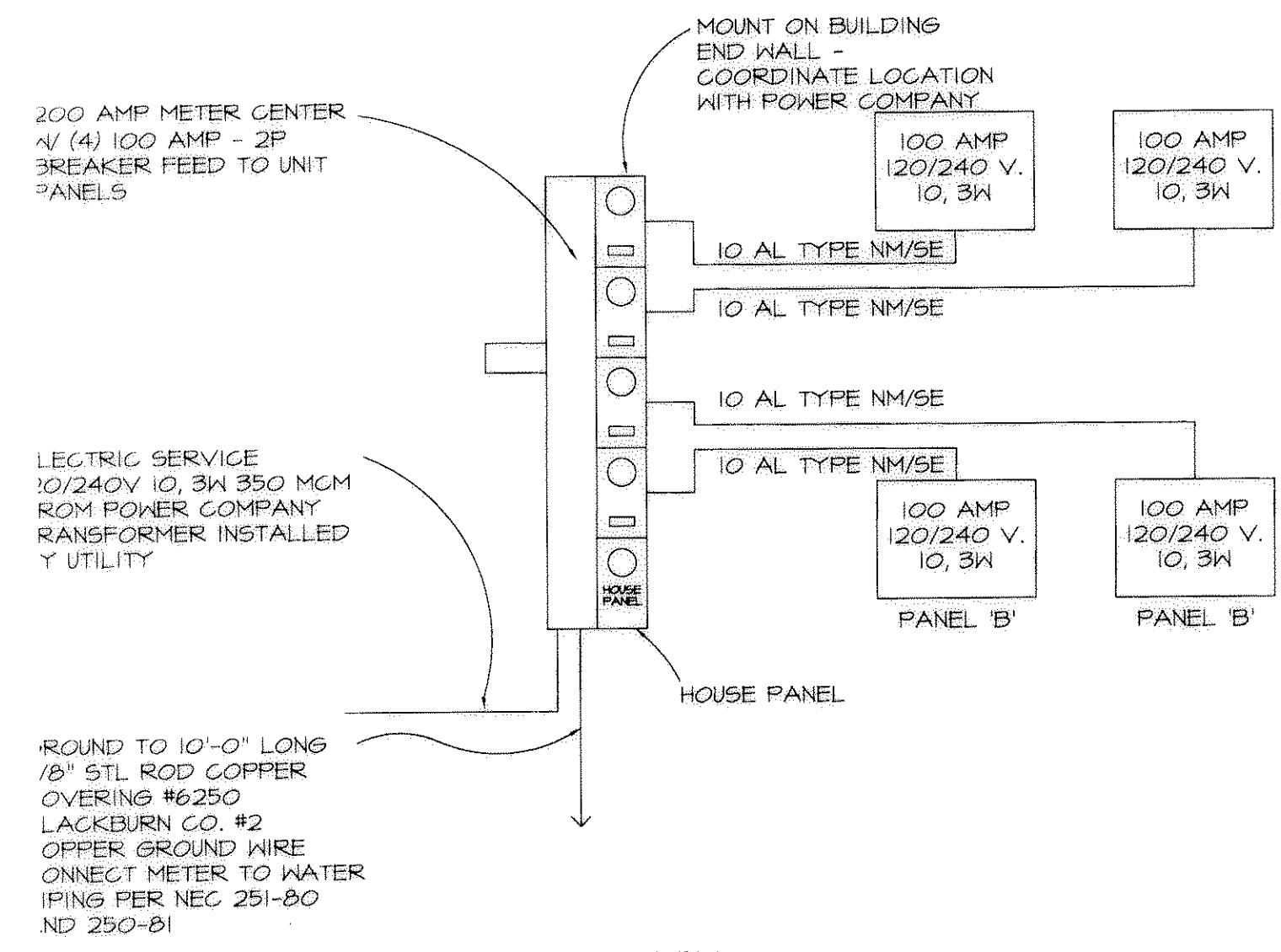
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ELECTRICAL NOTES

- THE ELECTRICAL CONTRACTOR SHALL FURNISH DESIGN, LABOR, MATERIAL AND EQUIPMENT TO COMPLETE ALL OF HIS WORK AND FURNISH A COMPLETED JOB. ALL IN ACCORDANCE WITH LOCAL, STATE GOVERNING AUTHORITIES AND OTHER AUTHORITIES HAVING LAWFUL JURISDICTION OVER HIS WORK.
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL AND STATE CODES, ORDINANCE OR OTHER AGENCIES HAVING LAWFUL JURISDICTION OVER THE WORK AND SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (N.E.C.) OF THE NATIONAL FIRE PROTECTION ASSOCIATION (N.F.P.A.).
- ELECTRICAL CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTION REQUIRED AND SHALL ALSO SECURE AND PAY ALL FEES REQUIRED BY THE UTILITY COMPANIES IN CONNECTION WITH THE WORK.
- LOCATION OF EQUIPMENT, FIXTURES, WIRING AND OTHER ELECTRICAL WORK IS INDICATED DIAGRAMMATICALLY ON THE DRAWINGS. ELECTRICAL CONTRACTOR SHALL DETERMINE EXACT LOCATIONS AND DIMENSIONS ON JOB, SUBJECT TO THE STRUCTURE CONDITIONS AND WORK OF THE OTHER SUBCONTRACTORS.
- ALL ELECTRICAL UNDERGROUND WIRING ON THE EXTERIOR OF THE BUILDINGS SHALL BE INSTALLED A MINIMUM OF 2'-6" DEEP, AND IN ACCORDANCE WITH THE GOVERNING JURISDICTION AND REQUIRED STANDARDS.
- ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL SUPPORTS FOR METERS, ELECTRICAL PANELS AND SUPPORTS AS REQUIRED BY EQUIPMENT. ALL ELECTRICAL FIXTURES SHALL BE SUPPLIED BY THE ELECTRICAL CONTRACTOR.
- NO ELECTRICAL, TELEPHONE, OR OTHER WIRING SHALL RUN IN THE SAME TRENCHES AS PLUMBING LINES, NOR SHALL ANY ATTACHMENTS BE MADE TO PLUMBING LINES, EXCEPT THOSE SET FORTH OR APPROVED BY THE NATIONAL ELECTRICAL CODE.
- DRAWINGS INDICATE THE MINIMUM STANDARDS, BUT, IF ANY WORK SHOULD BE INDICATED TO BE SUBSTANDARD TO ANY ORDINANCES, LAWS, CODES, RULES OR REGULATIONS BEARING ON THE WORK, THE ELECTRICAL CONTRACTOR SHALL EXECUTE THE WORK CORRECTLY IN ACCORDANCE WITH SUCH ORDINANCES, LAWS, CODES, RULES OR REGULATIONS, WITHOUT INCREASE IN COST TO OWNER, ARCHITECT, OR GENERAL CONTRACTOR.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY THE DESIGN OR THE SYSTEM PRIOR TO CONSTRUCTION AND SHALL GUARANTEE THE SYSTEM TO FUNCTION PROPERLY.
- THE CLEARANCE AROUND SWITCHBOARDS SHALL COMPLY WITH SECTION 110-16, N.E.C. AND 384-B, N.E.C. ALL CIRCUIT BREAKERS SHALL BE A MINIMUM OF 20 AMPS AND MINIMUM WIRE USED SHALL BE NUMBER 12.
- ELECTRICAL CONTRACTOR SHALL CONSULT WITH THE UTILITY COMPANIES FOR FINAL LOCATION OF SERVICES AND SERVICE EQUIPMENT SHALL PROVIDE ALL REQUIRED CONDUIT TRENCHING, BACKFILLING, AND POWER SUPPLY CIRCUITS AS REQUIRED BY THE UTILITIES COMPANIES.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE POWER COMPANY THE SIZE OF TRANSFORMERS, POWER FACTOR, DISTANCE FROM TRANSFORMER, CABLE SIZE AND OTHER FACTORS AFFECTING PANELS ON SHORT CIRCUIT CURRENT PROTECTION AND INTERRUPTING RATINGS, ALL ELECTRICAL EQUIPMENT FURNISHED AND INSTALLED SHALL COMPLY WITH THESE REQUIREMENTS.
- EXHAUST FANS SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. HEATING CONTRACTOR SHALL FURNISH AND INSTALL ELECTRIC FURNACE, DUCT WORK, GRILLES, REGISTERS, ETC. ELECTRICAL CONTRACTOR WILL CONNECT AND DO LOW VOLTAGE WIRING AS REQUIRED BY EQUIPMENT SUPPLIED BY THE MECHANICAL CONTRACTOR.
- ELECTRICAL CONTRACTOR SHALL PERFORM HIS WORK IN A TIMELY MANNER SO AS NOT TO DELAY OTHER CONTRACTORS AND IN PROCESS CAUSE DAMAGE IN INSTALLING HIS WORK OR HAS TO REMOVE THEIR WORK TO COMPLETE HIS WORK. HE SHALL BE BACK CHARGED FOR REPAIR OR REPLACEMENT OF THEIR WORK.
- THE ELECTRICAL CONTRACTOR SHALL EXCAVATE AND BACKFILL HIS TRENCHES ON THE INTERIOR AND EXTERIOR OF THE BUILDING AND SHALL REMOVE THE DEBRIS AND BACK-CHARGE FOR THE REMOVAL.
- ALL SWITCH PLATES, RECEPTACLE PLATES AND COVER PLATES SHALL BE MOUNTED PLUMB AND TRUE AND TO BE MEDIUM OVERSIZE.
- DUPLEX OUTLETS IN BATHROOMS, KITCHENS AND OUTDOORS SHALL BE GROUNDED WITH GROUND FAULT PROTECTION (N.E.C. 21 0-8A).
- QUICK WIRE DEVICES ARE NOT ACCEPTABLE.
- PANELS TO BE AS MANUFACTURED BY G.E. STYLE 'G' WITH TYPE 'TO' BREAKERS. ALTERNATE SQUARE 'D'.
- G.T. CABINET (IF REQUIRED) MANUFACTURER G.E. WITH 'J' SERIES CURRENT TRANSFORMERS.
- HOLD LIGHT SWITCHES TO 45" A.F.F.
- HOLD THERMOSTATS TO 54" A.F.F.
- HOLD DUPLEX OUTLETS TO 15" A.F.F.



SECOND FLOOR ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"



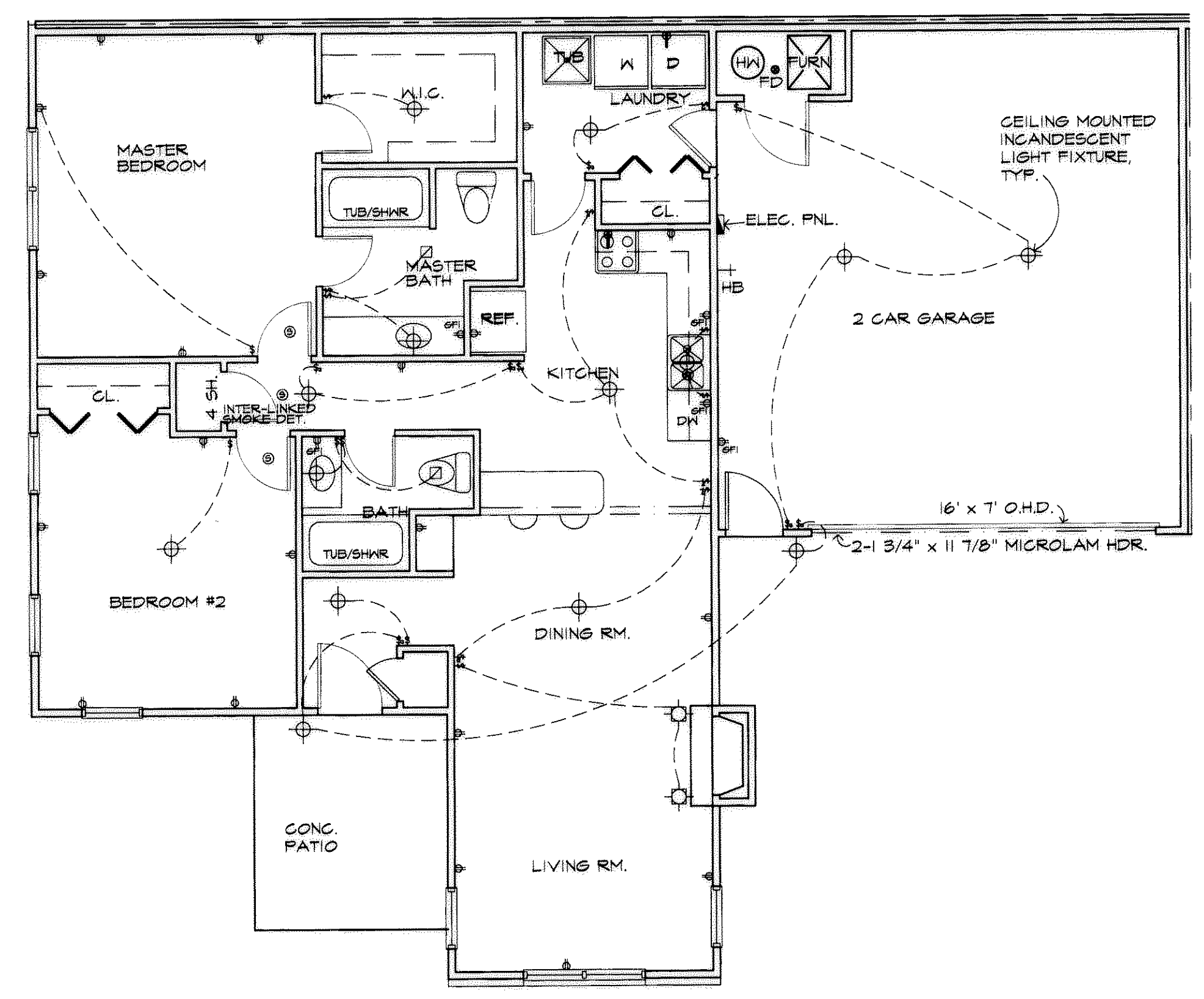
POWER RISER DIAGRAM

MINIMUM WIRE SIZES	COPPER	ALUMINUM
20 AMP BREAKER OR FUSE	#12 AWG, THHN	
30 AMP BREAKER OR FUSE	#10 AWG, THHN	
40 AMP BREAKER OR FUSE	#8 AWG, THHN	
50 AMP BREAKER OR FUSE	#8 AWG, THHN	
100 AMP BREAKER OR FUSE	#3 AWG, THHN	#1 AWG
200 AMP BREAKER OR FUSE	#3/0 AWG, THHN	#4/0 AWG
400 AMP BREAKER OR FUSE	#500 MCM, THHN	750 MCM

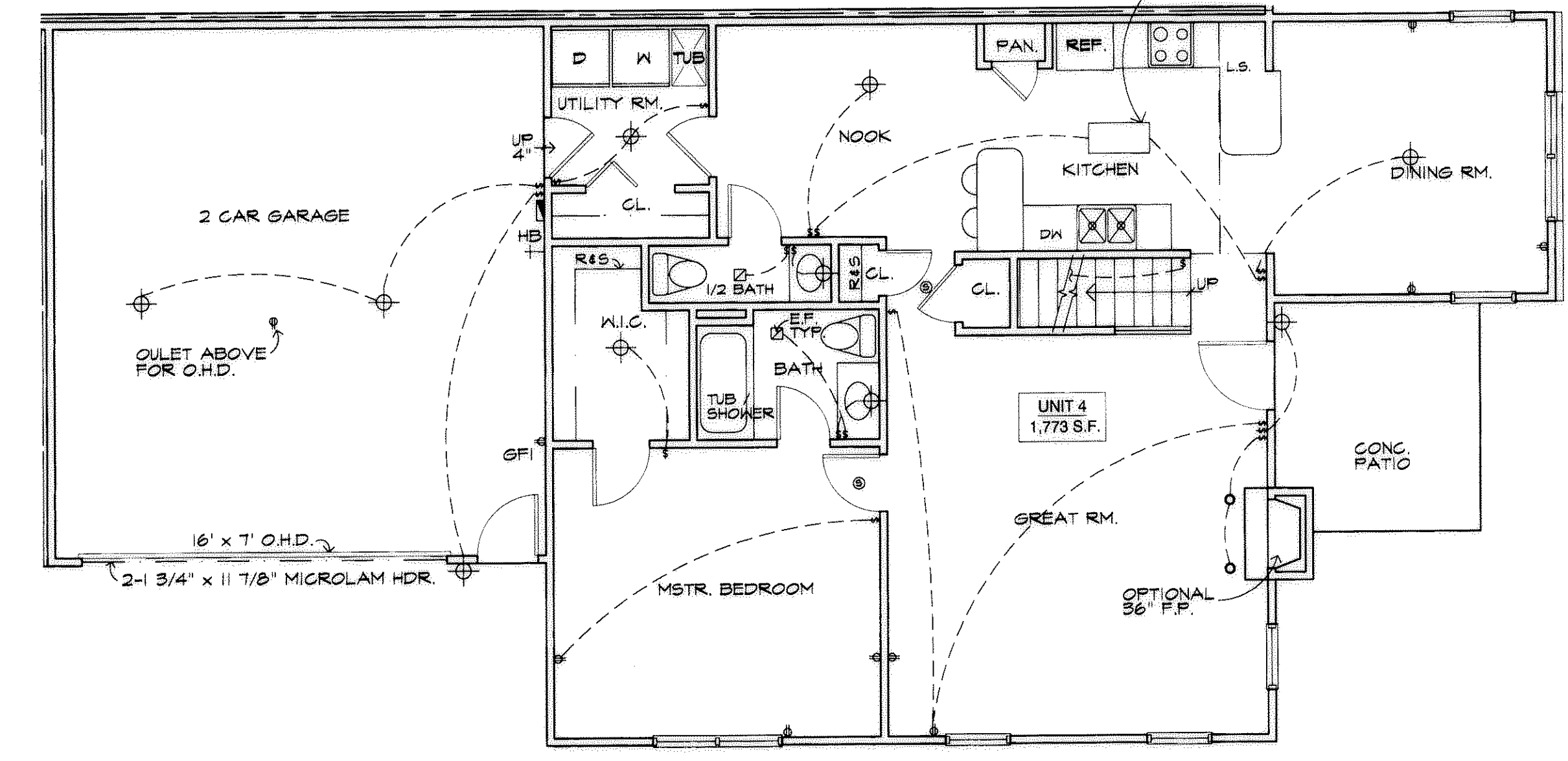
WIRE SCHEDULE

GENERAL LIGHTING LOAD:	4500 va
SMALL APPLIANCE LOAD:	3000 va
LAUNDRY LOAD:	1500 va
TOTAL:	9000 va
CONVERTED TOTAL:	5100 va
LARGE APPLIANCE LOAD:	11,200 va
TOTAL COMBINED LOAD:	16,280 va
TOTAL LOAD IN AMPERES = 68 AMPS	
PHASE CONDUCTOR SIZE AND TYPE - #4 ALUM	

ELECTRICAL LOADS PER UNIT



RANCH ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"



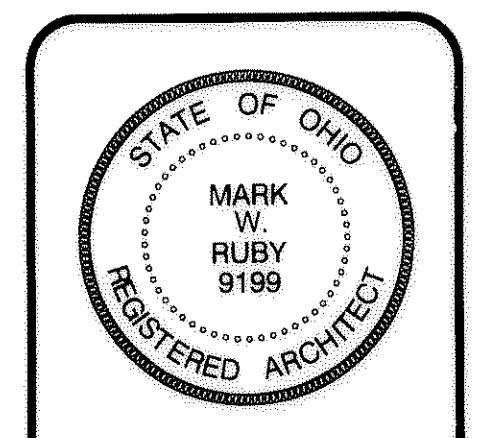
THE UNDERSIGNED HEREBY CERTIFIES THAT THESE DRAWINGS SHOW GRAPHICALLY, INSOFAR AS POSSIBLE THE LAYOUT, DESIGNATION AND DIMENSIONS OF EACH UNIT, COMMON AREAS, FACILITIES, LIMITED COMMON AREAS AND FACILITIES OF THE BUILDINGS AS CONSTRUCTED. THE PURPOSE OF THIS CERTIFICATION IS TO COMPLY WITH, IN ALL RESPECTS, WITH THE PROVISIONS OF SECTION 5311.07 OF THE OHIO REVISED CODE.

Mark W. Ruby 11/11/03
Mark W. Ruby, Architect #419 Date

REVISIONS	BY

MARK W. RUBY
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(440) 366-2691

TITLE
BUILDING #8
MARINER'S WATCH
CONDOMINIUM COMPLEX
SHEFFIELD LAKE, OHIO
GILL CONSTRUCTION, INC.

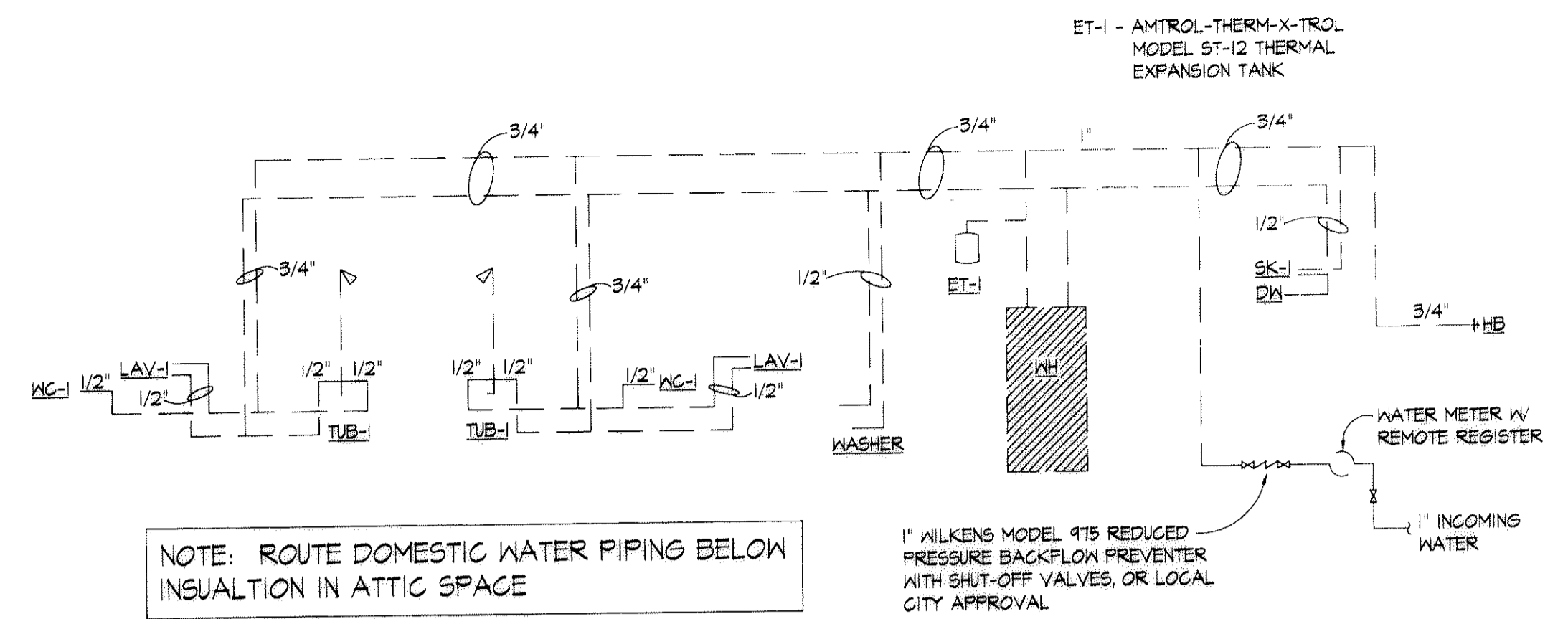


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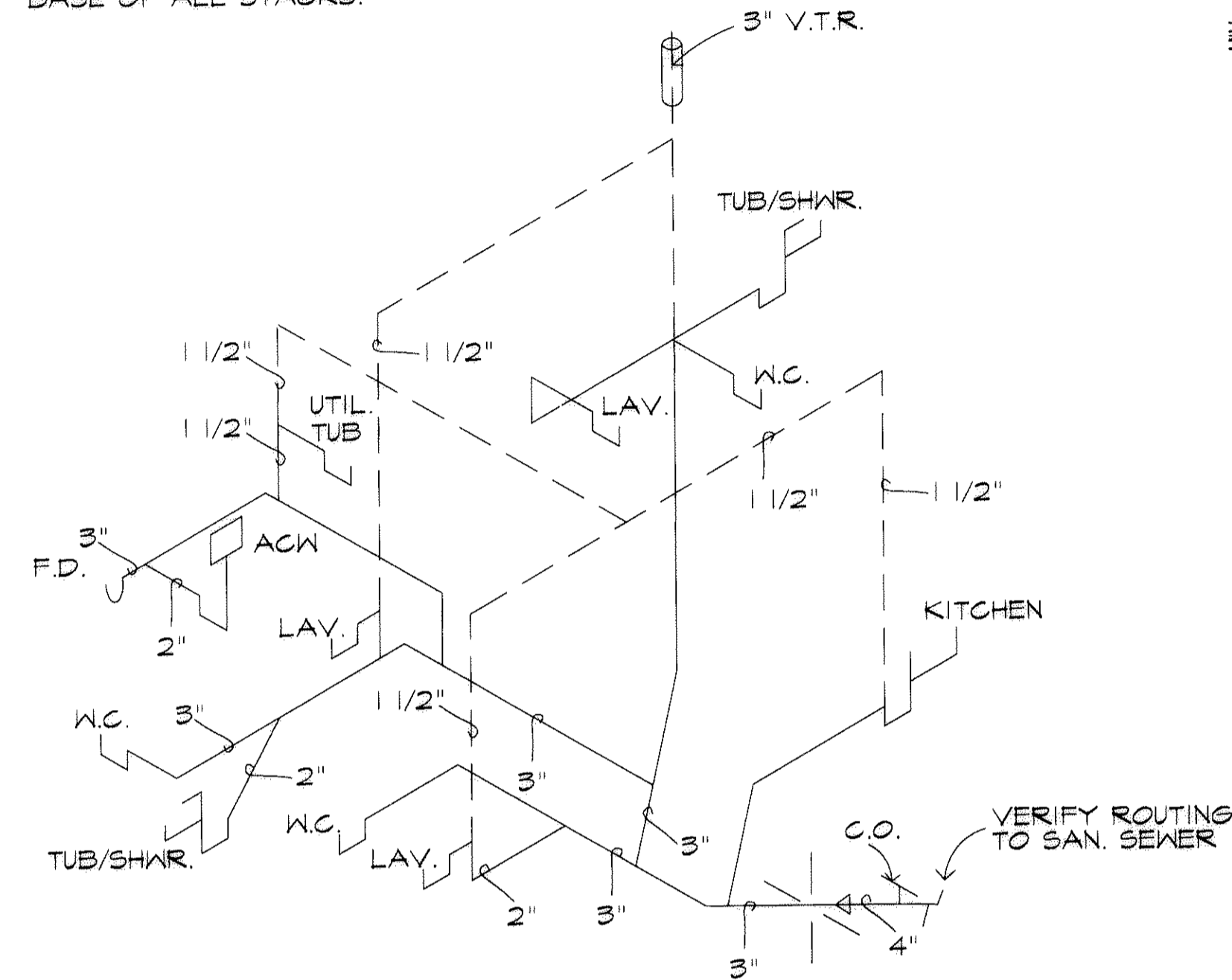
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1. PLUMBING CONTRACTOR SHALL FURNISH LABOR, MATERIALS, AND EQUIPMENT TO COMPLETE ALL OF HIS WORK AND FURNISH A COMPLETE JOB ALL IN ACCORDANCE WITH LOCAL AND STATE GOVERNING AUTHORITIES AND OTHER AUTHORITIES HAVING JURISDICTION OVER HIS WORK.
2. ALL WORK SHALL COMPLY WITH LOCAL AND STATE CODES, ORDINANCES OR AGENCIES HAVING JURISDICTION OF HIS WORK.
3. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL INSPECTIONS REQUIRED AND SHALL ALSO SECURE AND PAY ALL FEE REQUIRED BY THE UTILITY COMPANIES IN CONNECTION WITH THE WORK.
4. LOCATION OF EQUIPMENT AND FIXTURES, PIPING AND OTHER MECHANICAL WORK IS INDICATE DIAGRAMMATICALLY ON THE DRAWING. PLUMBING CONTRACTOR SHALL DETERMINE EXACT LOCATIONS AND DIMENSIONS ON JOB, SUBJECT TO STRUCTURE CONDITIONS AND WORK OF OTHER CONTRACTORS.
5. NO ELECTRICAL OR TELEPHONE CABLES SHALL RUN IN THE SAME TRENCHES AS PLUMBING LINE, NOR SHALL ANY ATTACHMENTS BE MADE TO PLUMBING LINES EXCEPT THOSE SET FORTH IN THE NATIONAL ELECTRIC CODE.
6. DRAWINGS INDICATE THE MINIMUM STANDARDS BUT SHOULD ANY WORK BE SUBSTANDARD TO ORDINANCES, LAWS CODES, RULES OR REGULATIONS BEARING ON THE WORK, THE PLUMBING CONTRACTOR SHALL EXECUTE THE WORK IN ACCORDANCE WITH SUCH ORDINANCES, LAWS, CODES, RULES OR REGULATIONS WITHOUT INCREASE IN COST TO OWNER, ARCHITECT OR GENERAL CONTRACTOR.
7. PIPE HANGERS, SUPPORTS OR ANCHORING DEVICES SHALL BE OF THE SAME MATERIALS AS THE PIPING. DIELECTRIC INSULATION FITTINGS SHALL BE USED WHERE PIPE OF DISSIMILAR METALS ARE CONNECTED.
8. PLUMBING CONTRACTOR SHALL EXCAVATE AND BACKFILL HIS TRENCHES ON THE INTERIOR AND EXTERIOR OF THE BUILDING AND SHALL REMOVE ALL HIS OWN DEBRIS. IF HE DOES NOT, THE GENERAL CONTRACTOR SHALL REMOVE THE DEBRIS AND BACKCHARGE FOR THE REMOVAL.
9. PLUMBING CONTRACTOR SHALL PERFORM HIS WORK IN A TIMELY MANNER SO AS NOT TO DELAY OTHER CONTRACTORS. IF HE DOES DELAY OTHER CONTRACTORS, AND IN THE PROCESS CAUSES DAMAGE, OR HAS TO REMOVE THEIR WORK TO COMPLETE HIS, HE SHALL BE BACKCHARGED FOR THE REPAIR OR REPLACEMENT OF THEIR WORK.
10. ALL WATER PIPING OUTSIDE THE BUILDING SHALL BE INSTALLED A MINIMUM OF 4'-0" DEEP TO THE BUILDING WALL.
11. WATER SERVICE SHALL BE INSTALLED IN ONE PIECE FROM THE CURB BOX TO THE METER WITH NO FITTINGS. THE PLUMBER SHALL MAKE THE FINAL CONNECTIONS AT THE CURB BOX.
12. WATER PIPING INSTALLED BELOW THE SLAB SHALL HAVE ISOLATION SLEEVES. "ARMAFLEX" OR EQUAL WHEN PASSING THROUGH CONCRETE OR MASONRY SLAB WALL.
13. ALL PIPING BELOW GRADE SHALL BE SOFT COPPER TYPE "K", ALL PIPING ABOVE SLAB OR GRADE SHALL BE HARD COPPER TYPE "L".
14. PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL ALL SUPPORTS FOR METERS AND AS REQUIRED FOR EQUIPMENT AND/OR EQUAL FIXTURES FURNISHED OR PROVIDED TO HIM.
15. INSULATE ALL EXPOSED COLD WATER LINES WITH 1/2" "ARMAFLEX" OR EQUAL. TURN UP INTO WALLS AS SHOWN WITH ISOLATION SLEEVES, "ARMAFLEX" OR EQUAL.
16. ALL FLOOR DRAINS SHALL BE SET BELOW FINISH CONCRETE SLAB LEVEL. CONCRETE CONTRACTOR SHALL SLOPE FLOORS TO DRAINS AT 1/4" PER FOOT TO FLOOR DRAIN.
17. PLUMBING CONTRACTOR SHALL SET LEVEL ALL HOT WATER HEATERS AND FIXTURES INSTALLED BY HIM.

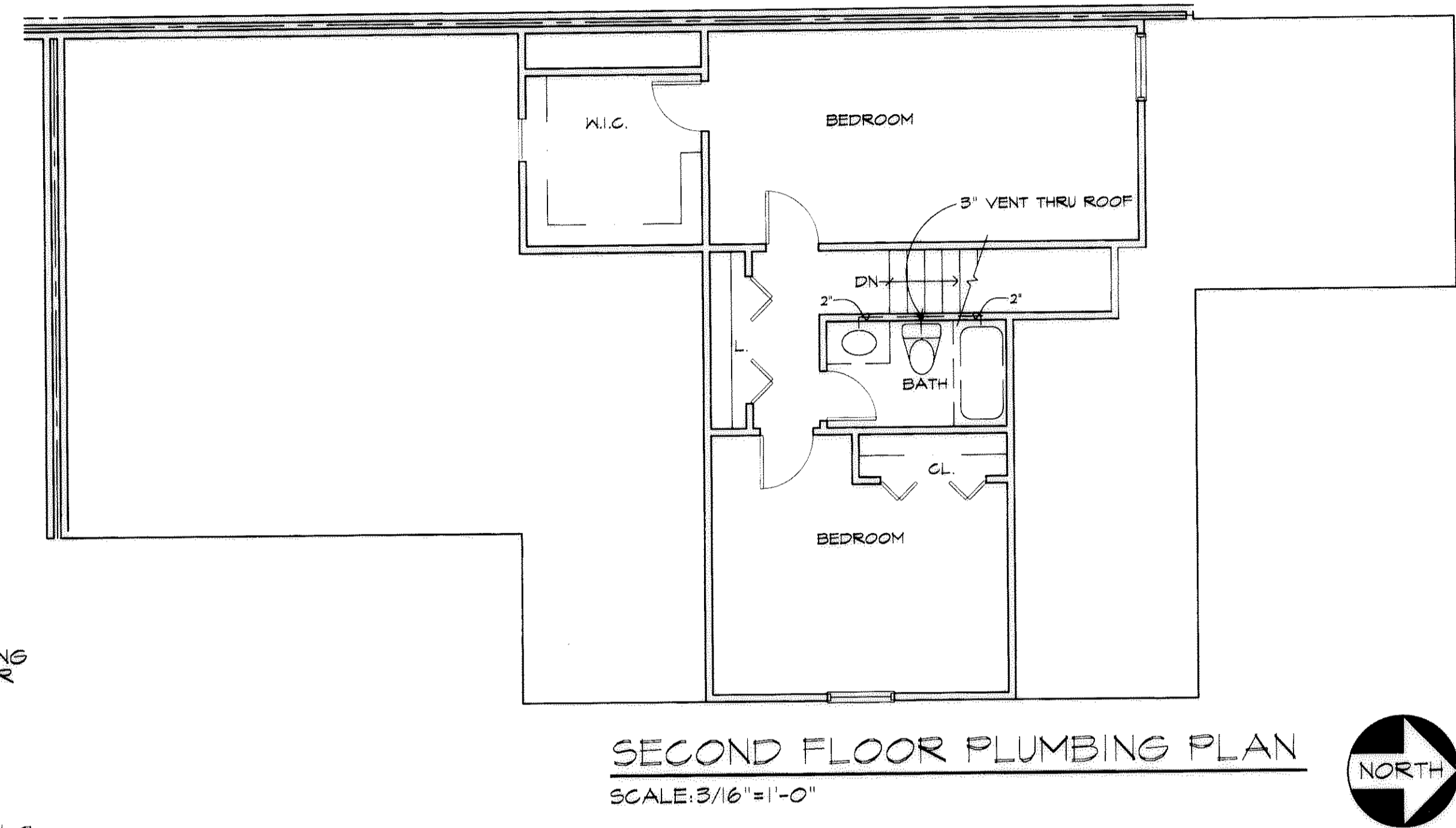
18. ALL HOSE BIBS SHALL BE VACUUM BREAKER TYPE 1/2" STEM MINIMUM.
19. FURNISH AND INSTALL CHROME STOPS ON ALL FIXTURES.
20. BUILDING WATER SUPPLY SYSTEMS SHALL HAVE FURNISHED AND INSTALLED A DEVICE SUCH AS AIR CHAMBERS TO ABSORB INCREASES IN PRESSURES.
21. FIXTURE SUPPLIES SHALL BE BRASS OR COPPER TYPE, CHROME PLATED WHEN EXPOSED.
22. FURNISH AND INSTALL BACKFLOW PREVENTORS ON ALL SERVICE LINES AND LINES TO EQUIPMENT TO BUILDINGS, UNLESS NOT REQUIRED BY GOVERNING AUTHORITIES HAVING LAWFUL JURISDICTION.
23. ALL TRAPS TO BE 18 GA. MINIMUM CHROME.
24. WATER HEATERS, ALL AUTOMATIC STORAGE WATER HEATER(S) SHALL HAVE A STAND-BY LOSS NOT EXCEEDING THAT ALLOWED BY THE STATE ENERGY CODE WHEN TESTED IN ACCORDANCE WITH ANSI, C72.1-72 AND ANSI, Z21.1-10.3-74.
25. FURNISH AND INSTALL CLEANOUTS IN BUILDING AND BRANCH DRAINS, NOT EXCEEDING 50'-0" ON CENTERS, 5'-0" OUTSIDE BUILDING WALL AT THE BASE OF ALL STACKS.



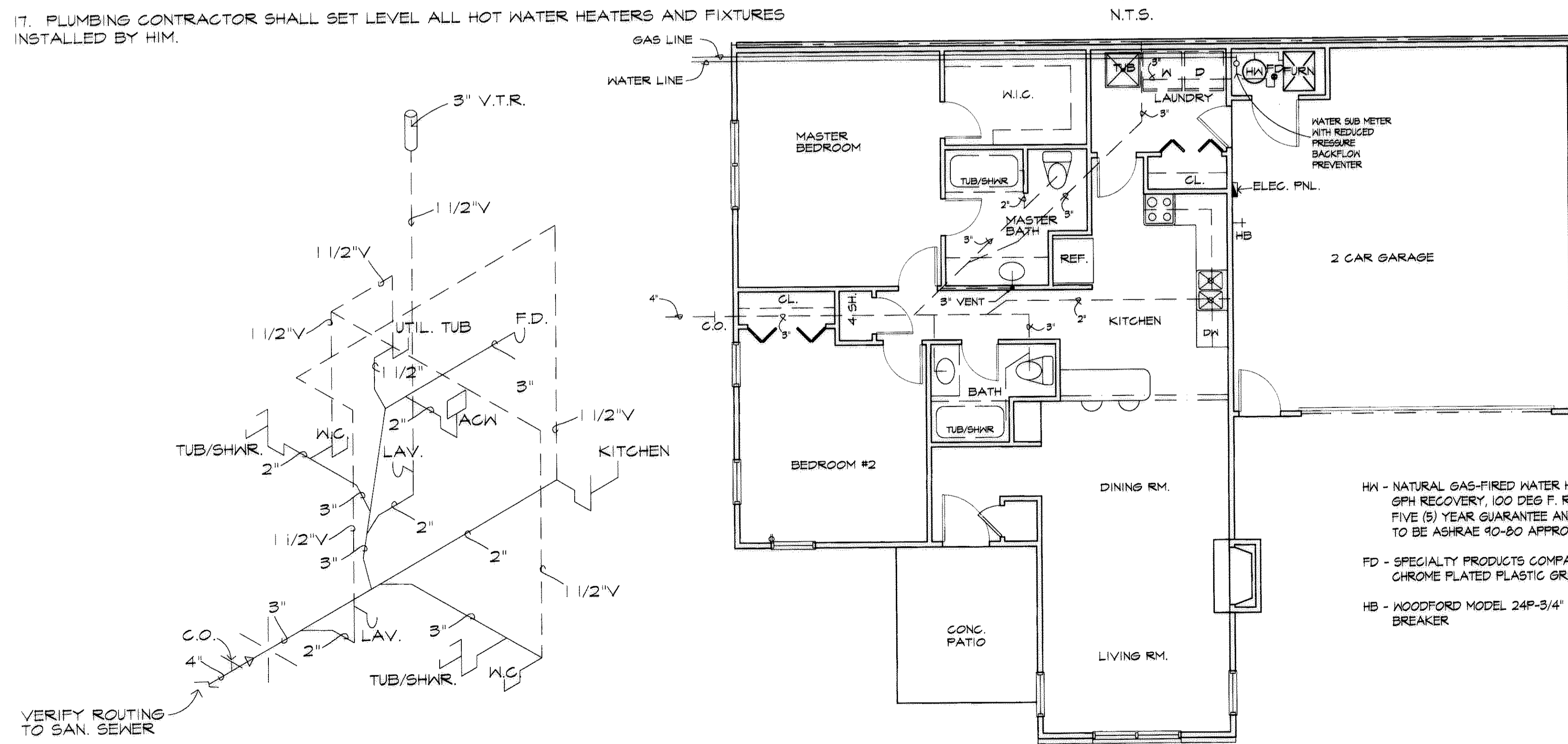
WATER SCHEMATIC
SCALE: N.T.S.



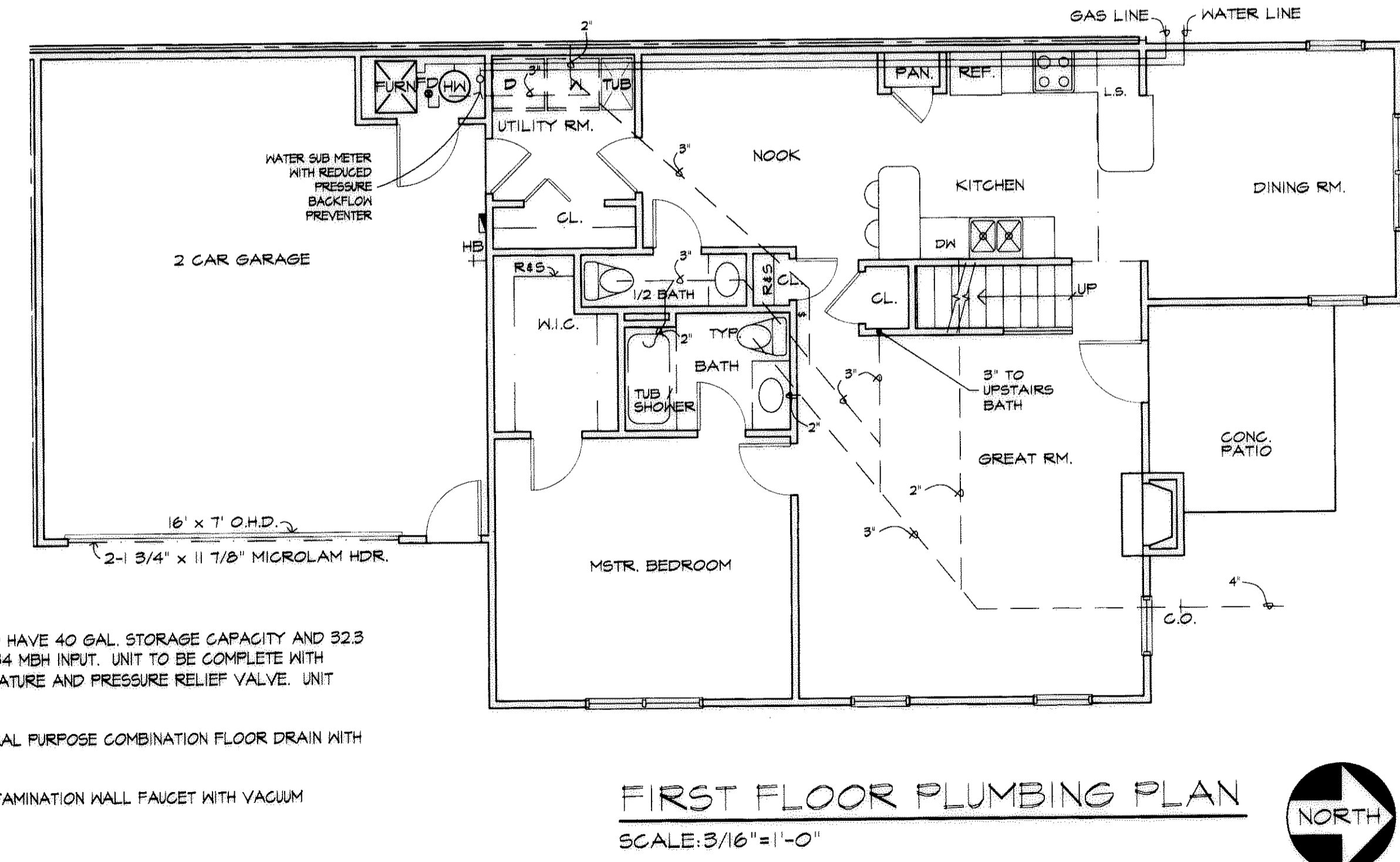
TWO-STORY PLUMBING ISOMETRIC
N.T.S.



SECOND FLOOR PLUMBING PLAN
SCALE: 3/16" = 1'-0"



RANCH PLUMBING ISOMETRIC
N.T.S.



FIRST FLOOR PLUMBING PLAN
SCALE: 3/16" = 1'-0"

- HW - NATURAL GAS-FIRED WATER HEATER TO HAVE 40 GAL. STORAGE CAPACITY AND 32.3 GPH RECOVERY, 100 DEG F. RISE WITH 34 MBH INPUT. UNIT TO BE COMPLETE WITH FIVE (5) YEAR GUARANTEE AND TEMPERATURE AND PRESSURE RELIEF VALVE. UNIT TO BE ASHRAE 40-80 APPROVED.
- FD - SPECIALTY PRODUCTS COMPANY GENERAL PURPOSE COMBINATION FLOOR DRAIN WITH CHROME PLATED PLASTIC GRATE.
- HB - WOODFORD MODEL 24P-3/4" ANTI-CONTAMINATION WALL FAUCET WITH VACUUM BREAKER.

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RANCH PLUMBING PLAN
SCALE: 3/16" = 1'-0"



Mark W. Ruby
Mark W. Ruby, Architect

11/11/03
Date

969395

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BUILDING #8
MARINER'S WATCH
CONDOMINIUM COMPLEX
SHEFFIELD LAKE, OHIO
GILL CONSTRUCTION, INC.

STATE OF OHIO REGISTERED ARCHITECT MARK W. RUBY 9199
DATE 11/7/03
PROJ. 0280
SHEET
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