



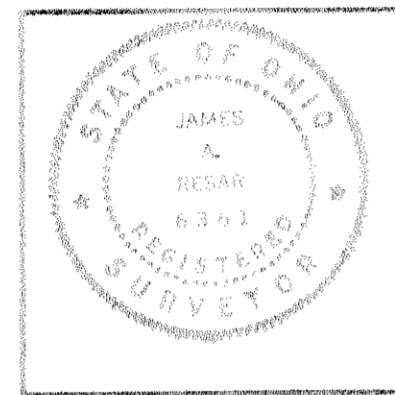
**SURVEYORS CERTIFICATE**

THIS IS TO CERTIFY THAT AT THE REQUEST OF THE OWNERS, THE RESERVE OF AVON LAKE, A LIMITED PARTNERSHIP, BY PARK CITY REALTY CORPORATION GENERAL PARTNER, I HAVE SURVEYED AND PLATTED THE WOODS OF AVON LAKE, AS SHOWN HEREON AND CONTAINING 12.6077 ACRES IN AVON TOWNSHIP SECTION NO. 7, NOW IN THE CITY OF AVON LAKE, COUNTY OF LORAIN, STATE OF OHIO, AND BEING PART OF THE SAME TRACT AS CONVEYED TO THE RESERVE OF AVON LAKE, A LIMITED PARTNERSHIP, DESCRIBED IN O.R. VOL. 711, PG. 805.

AT ALL POINTS INDICATED , IRON PIN MONUMENTS WERE EITHER FOUND OR SET AS NOTED. MEASUREMENTS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF. BEARINGS SHOWN ARE TO ASSUMED AND FOR THE PURPOSE OF DESCRIBING ANGLES ONLY. ALL OF WHICH I CERTIFY TO BE CORRECT.

  
 JAMES A. RESAR, P.E., P.S.  
 REG. OHIO SURVEYOR NO. 6361

ACREAGE IN LOTS	10.0702 IN LOTS
ACREAGE IN STREET	2.5375 ACRES
TOTAL	12.6077 ACRES



**OWNERS CERTIFICATE**


WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN IN THE PLAT AND SURVEY FOR THE WOODS OF AVON LAKE DO HEREBY ASSENT TO AND ADOPT THIS SUBDIVISION OF THE SAME, ACKNOWLEDGE THAT THE SAME WAS AT OUR REQUEST AND AUTHORIZE ITS RECORDING. WE DO HEREBY DEDICATE TO PUBLIC USE THE STREETS SHOWN HEREON, AND DESIGNATED AS CEDARWOOD ROAD 60 FT., AND NORTHWOOD CIRCLE 60 FT. AND THE EASEMENTS SHOWN HEREON AND DESIGNATED AS A 20 FT. STORM EASEMENT.

THE RESERVE OF AVON LAKE, A LIMITED PARTNERSHIP  
 BY PARK CITY REALTY CORPORATION, GENERAL PARTNER

  
 RONALD MADOW, VICE PRESIDENT  
 PARK CITY REALTY CORPORATION, GENERAL PARTNER

NOTARY PUBLIC  
 COUNTY OF LORAIN S.S.  
 STATE OF OHIO

THIS IS TO CERTIFY THAT BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, DID PERSONALLY APPEAR THE RESERVE OF AVON LAKE, A LIMITED PARTNERSHIP, BY PARK CITY REALTY CORPORATION GENERAL PARTNER BY RONALD MADOW, VICE PRESIDENT, WHO ACKNOWLEDGED THAT HE DID SIGN THE FOREGOING PLAT OF THE WOODS OF AVON LAKE, AND THAT IT WAS HIS OWN FREE ACT AND DEED. IN TESTIMONY WHEREOF I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL THIS 12 DAY OF November, 2003.

NOTARY PUBLIC   
 MY COMMISSION EXPIRES 4/12/07

**10 FT. NATURAL BUFFER EASEMENT**

THE RESERVE OF AVON LAKE, A LIMITED PARTNERSHIP, BY PARK CITY REALTY CORPORATION, GENERAL PARTNER, THE OWNERS OF THE WITHIN PLATTED LAND DOES HEREBY DEDICATE A 10 FT. NATURAL BUFFER EASEMENT ON SUBPLOTS 11 THRU 21 INCLUSIVE. SAID 10' FT. WIDE EASEMENT IS LOCATED ON THE EASTERLY PROPERTY LINE OF THE AFOREMENTIONED SUBPLOTS. NO TREE SHALL BE REMOVED FROM THE AREA OF THE PROPERTY WITHIN 10 FEET OF THE REAR LOT LINE, IT BEING AGREED THAT SAID AREA SHALL REMAIN NATURAL AND UNDISTURBED EXCEPT AS MAY BE NECESSARY FOR THE CONSTRUCTION, INSTALLATION, REPAIR, PROTECTION, OR MAINTENANCE OF ANY UTILITY IMPROVEMENTS OR EASEMENTS OR AS IS OTHERWISE NECESSARY FOR THE GENERAL SAFETY, HEALTH, AND WELFARE OF THE OWNER. THIS RESTRICTION MAY BE ENFORCED BY THE WOODS OF AVON LAKE HOMEOWNER'S ASSOCIATION INC., A NON-PROFIT OHIO CORPORATION.

**20 FT. REAR YARD DRAINAGE EASEMENTS**

THE RESERVE OF AVON LAKE, A LIMITED PARTNERSHIP, BY PARK CITY REALTY CORPORATION, GENERAL PARTNER, THE OWNERS OF THE WITHIN PLATTED LAND DOES HEREBY DEDICATE A 20 FT. WIDE DRAINAGE EASEMENT ON SUBPLOTS 1-3, 4 & 5, 7 & 8, 10-12, 13-22 TO THE WOODS OF AVON LAKE HOMEOWNERS ASSOCIATION INC. EASEMENTS ARE LOCATED PER PLAT. (SEE SHEET 2/2). MAINTENANCE AND UPKEEP OF EASEMENTS AND APPURTENANCES IS BY THE RESPECTIVE OWNERS.

**20 FT. REAR YARD DRAINAGE EASEMENT**  
 P.P.N. 04-00-007-150-085 (JOSE LUIS SEGURA-OWNER)


THE RESERVE OF AVON LAKE, A LIMITED PARTNERSHIP, BY PARK CITY REALTY CORPORATION, GENERAL PARTNER, THE OWNERS OF THE WITHIN PLATTED LAND DOES HEREBY GRANT ACCESS TO P.P.N.04-00-007-150-085 TO THE 20' STORM EASEMENT ON SUBLT 21 OF THE WOODS OF AVON LAKE FOR STORM WATER RUNOFF.

**15 FT. SANITARY SEWER EASEMENT**

THE RESERVE OF AVON LAKE, A LIMITED PARTNERSHIP, BY PARK CITY REALTY CORPORATION, GENERAL PARTNER, THE OWNERS OF THE WITHIN PLATTED LAND DOES HEREBY GRANT A 15 FT. WIDE SANITARY SEWER EASEMENT TO SUBLT 11. SAID 15 FT. WIDE EASEMENT IS LOCATED ON THE WESTERLY LINE OF SUBLT 10. SAID EASEMENT IS TO EXTEND THE WHOLE LENGTH OF SAID WESTERLY LOT LINE OF SUBLT 10.

**APPROVALS**

THIS IS TO CERTIFY THAT I HAVE EXAMINED THIS PLAT OF THE WOODS OF AVON LAKE AND FIND THE SAME TO BE PREPARED IN ACCORDANCE WITH THE CODIFIED ORDINANCES OF THE CITY OF AVON LAKE, AND FIND THE MONUMENTS SET ARE SUFFICIENT TO DEFINE THE STREETS AS SHOWN HEREON.

  
 AVON LAKE MUNICIPAL ENGINEER  
 WADE M. MERTZ, P.E.

THIS IS TO CERTIFY THAT THIS PLAT OF THE WOODS OF AVON LAKE HAS BEEN ACCEPTED BY THE COUNCIL OF THE CITY OF AVON LAKE, LORAIN COUNTY, OHIO, BY ORDINANCE NO. 2003-2003 PASSED THE 10<sup>th</sup> DAY OF November, 2003.

  
 CLERK OF COUNCIL  
 BARBARA DOPP

  
 MAYOR  
 ROBERT J. BERNER

THIS IS TO CERTIFY THAT I HAVE EXAMINED THIS PLAT OF THE WOODS OF AVON LAKE AND FIND THE SAME TO BE PREPARED IN ACCORDANCE WITH THE CODIFIED ORDINANCES OF THE CITY OF AVON LAKE.

  
 AVON LAKE LAW DIRECTOR  
 GEOFFREY R. SMITH

THIS IS TO CERTIFY THAT THIS PLAT OF THE WOODS OF AVON LAKE HAS BEEN APPROVED BY THE PLANNING COMMISSION OF THE CITY OF AVON LAKE THIS DAY 9<sup>th</sup> OF November, 2003.

  
 PLANNING COMMISSION SECRETARY  
 JOSEPH R. REITZ

**12 FT. UTILITY EASEMENT**

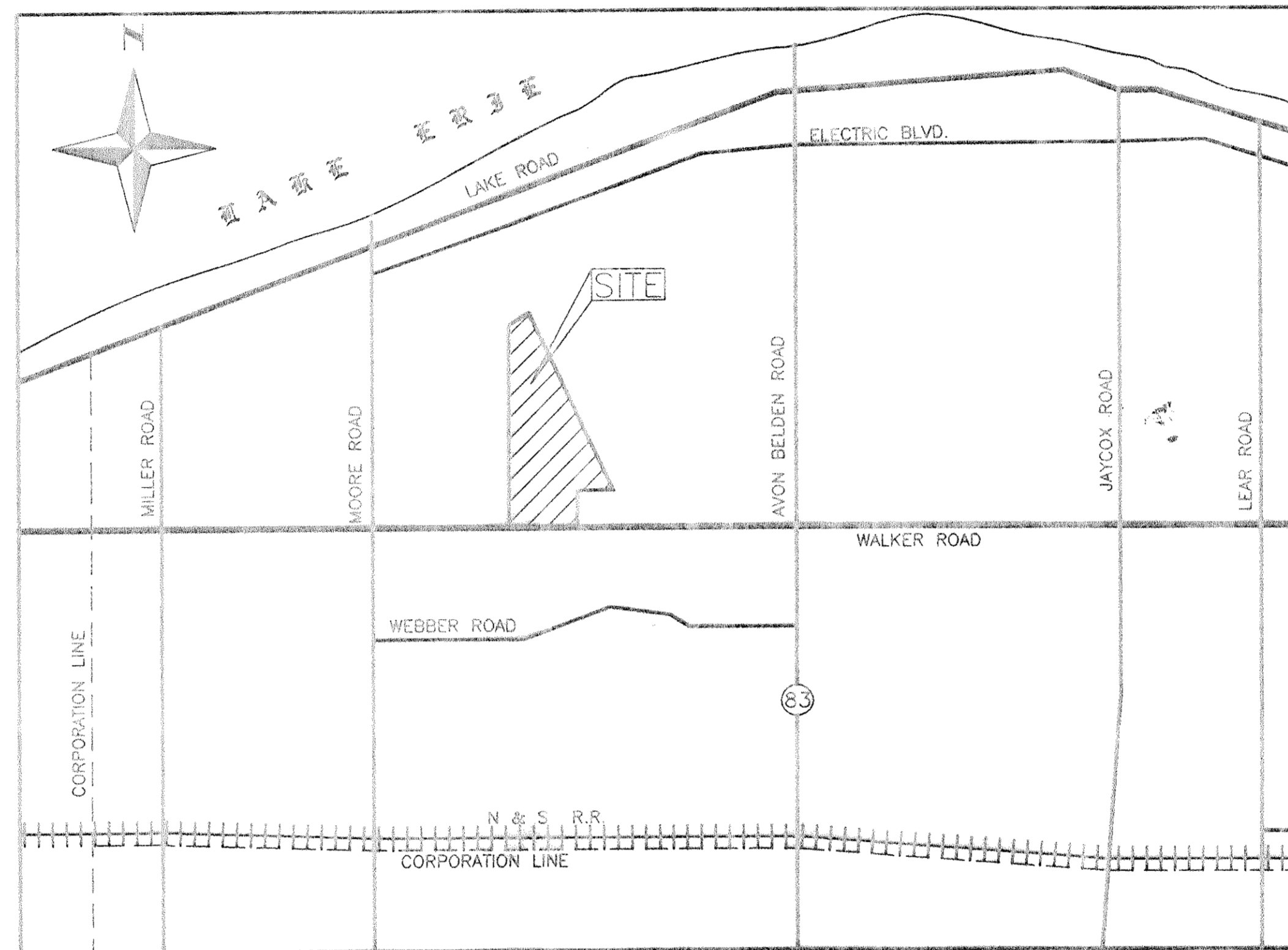
THE RESERVE OF AVON LAKE, A LIMITED PARTNERSHIP, BY PARK CITY REALTY CORPORATION, GENERAL PARTNER, THE OWNERS OF THE WITHIN PLATTED LAND DOES HEREBY GRANT UNTO: THE ILLUMINATING COMPANY, CENTURY TELEPHONE OF OHIO, INC. AND MEDIA ONE, THEIR SUCCESSORS AND ASSIGNEES (HEREINAFTER REFERRED TO AS THE GRANTEE) A PERMANENT RIGHT OF WAY EASEMENT TWELVE FT. IN WIDTH OVER, UNDER AND THROUGH ALL SUBLOTS AND ALL LANDS SHOWN HEREON AND PARALLEL WITH ALL STREET LINES TO CONSTRUCT, PLACE, OPERATE, MAINTAIN, REPAIR, RECONSTRUCT AND RELOCATE SUCH UNDERGROUND ELECTRIC AND COMMUNICATION CABLES, DUCTS, CONDUITS, SURFACE OR BELOW GROUND, MOUNTED TRANSFORMERS, PEDESTALS, CONCRETE PADS AND OTHER FACILITIES AS ARE NECESSARY AND CONVENIENT FOR THE GRANTEE TO DISTRIBUTE AND TRANSMIT ELECTRICITY AND COMMUNICATIONS SIGNALS FOR PUBLIC AND PRIVATE USE AT SUCH LOCATIONS AS GRANTEE MAY DETERMINE UPON, WITHIN AND ACROSS THE EASEMENT PREMISES. SAID EASEMENT SHALL INCLUDE THE RIGHT TO INSTALL, MAINTAIN, REPAIR AND AUGMENT ELECTRIC AND COMMUNICATIONS FACILITIES OUTSIDE THE ABOVE DESCRIBED PREMISES AND SHALL ALSO INCLUDE THE RIGHT OF ACCESS, INGRESS AND EGRESS TO AND FROM ANY OF THE WITHIN DESCRIBED PREMISES FOR THE PURPOSE OF EXERCISING ANY OF THE EASEMENTS RIGHTS INDICATED HEREIN. GRANTEE SHALL AT THEIR EXPENSE RESTORE THE LAND TO ITS CONDITION AS IT EXISTED IMMEDIATELY PRIOR TO THE WORK PERFORMED BY GRANTEE, EXCEPT GRANTEE SHALL NOT BE RESPONSIBLE FOR REPLACING OR REPAIRING ANY PERMANENT STRUCTURES, TREES OR SHRUBS WHICH ARE LOCATED WITHIN THE EASEMENT BOUNDARIES AND ARE DAMAGED OR REMOVED AS A RESULT OF WORK PERFORMED AS PROVIDED FOR HEREIN BY GRANTEE. THE SUBLOTS SHALL BE RESTRICTED TO UNDERGROUND UTILITY SERVICE.

THE RESERVE OF AVON LAKE, A LIMITED PARTNERSHIP  
 BY PARK CITY REALTY CORPORATION, GENERAL PARTNER

  
 RONALD MADOW, VICE PRESIDENT  
 PARK CITY REALTY CORPORATION, GENERAL PARTNER

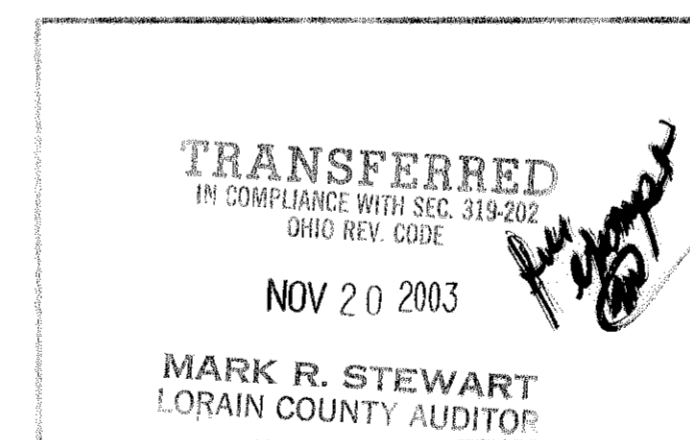
PLAT  
**The Woods of Avon Lake**

SITUATED IN THE CITY OF AVON LAKE, COUNTY OF LORAIN & STATE OF OHIO  
 & KNOWN AS BEING PART OF ORIGINAL AVON TOWNSHIP SECTION 7.  
 (A 22 LOT SUBDIVISION)



**VICINITY MAP**  
 SCALE: 1" = 2200'±

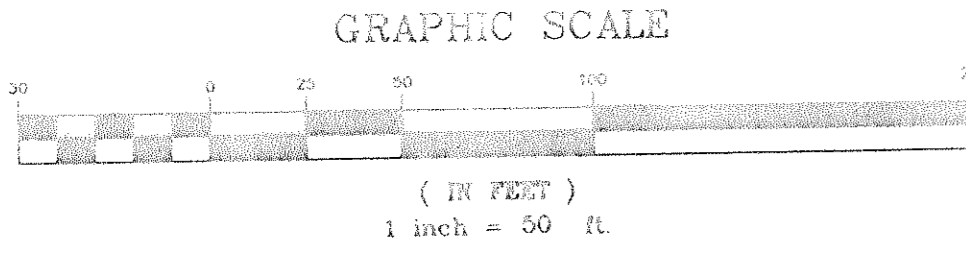
LOTS ARE SUBJECT TO HOMEOWNERS ASSOCIATION DECLARATION OF RESTRICTIONS, RESERVATIONS, AND COVENANTS WHICH ARE ON FILE WITH THE CITY OF AVON LAKE AND ARE RECORDED IN O.R. VOLUME 831 PAGES 218 THRU 236 OF LORAIN COUNTY RECORDS.



**J.A.R. Engineering & Surveying, Inc.**  
 CONSULTING ENGINEERS / SURVEYORS  
 24629 DETROIT ROAD WESTLAKE, OHIO 44145  
 Phone: (440)-871-8345

1/2  
 08/03

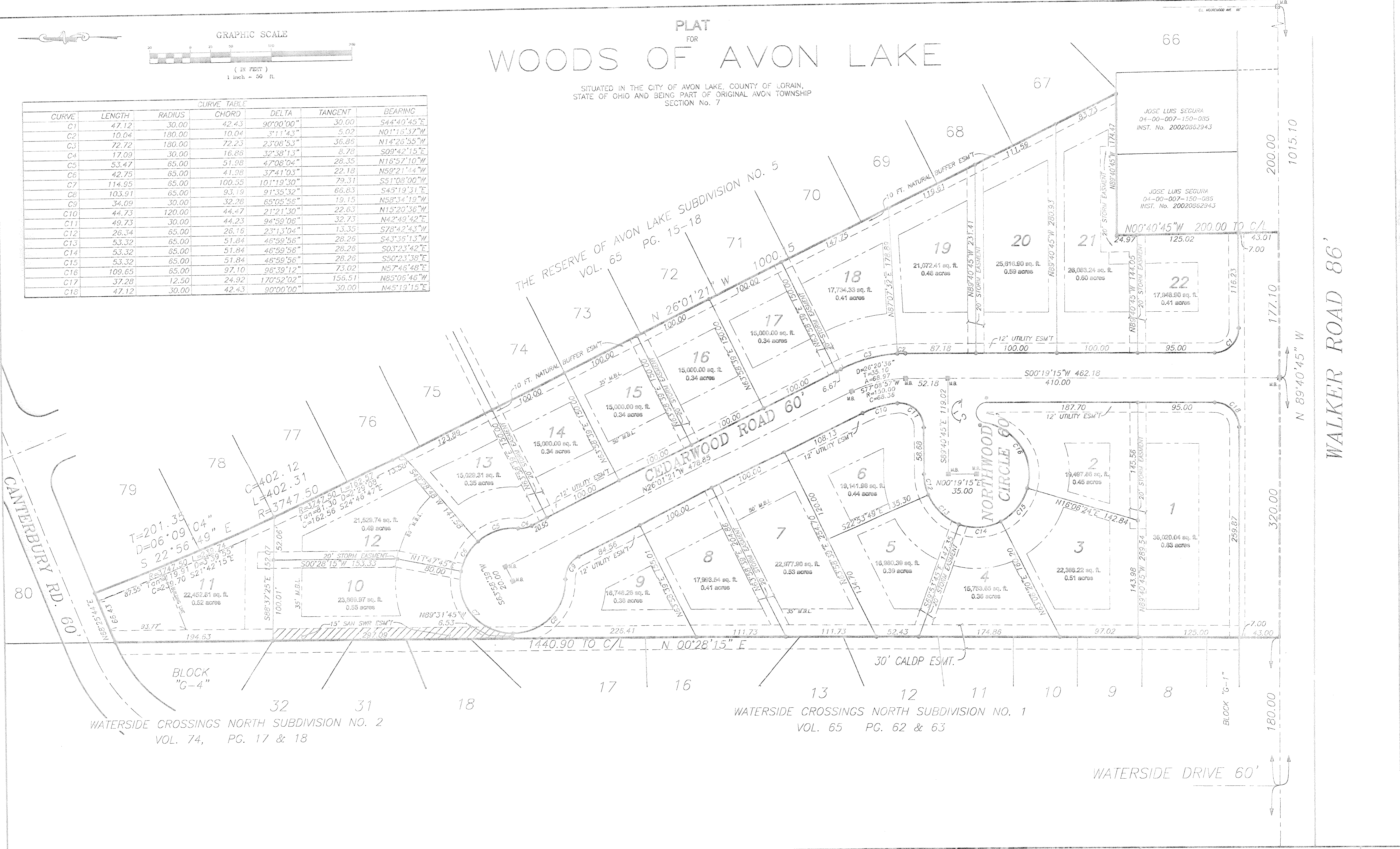
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# PLAT FOR WOODS OF AVON LAKE

SITUATED IN THE CITY OF AVON LAKE, COUNTY OF LORAIN, STATE OF OHIO AND BEING PART OF ORIGINAL AVON TOWNSHIP SECTION No. 7

CURVE	LENGTH	RADIUS	CHORD	DELTA	TANGENT	BEARING
C1	47.12	30.00	42.43	90°00'00"	30.00	S44°40'45"E
C2	10.04	180.00	10.04	3°11'43"	5.02	N01°16'37"W
C3	72.72	180.00	72.23	23°08'53"	36.86	N14°26'55"W
C4	17.09	30.00	16.86	32°38'13"	8.78	S09°42'15"E
C5	53.47	65.00	51.98	47°08'04"	28.35	N16°57'10"W
C6	42.75	65.00	41.98	37°41'03"	22.18	N59°21'44"W
C7	114.95	65.00	100.55	101°19'30"	79.31	S51°08'00"W
C8	103.91	65.00	93.19	91°35'32"	66.83	S43°19'31"E
C9	34.09	30.00	32.28	65°05'58"	19.15	N58°34'19"W
C10	44.73	120.00	44.47	21°21'30"	22.63	N15°20'36"W
C11	49.73	30.00	44.23	94°59'06"	32.73	N42°49'42"E
C12	26.34	65.00	26.16	23°13'04"	13.35	S78°42'43"W
C13	53.32	65.00	51.84	46°59'56"	28.26	S43°36'13"W
C14	53.32	65.00	51.84	46°59'56"	28.26	S50°23'38"E
C15	53.32	65.00	51.84	46°59'56"	28.26	S50°23'38"E
C16	109.65	65.00	97.10	96°39'12"	73.02	N57°46'48"E
C17	37.28	12.50	24.92	170°52'02"	156.51	N85°06'46"W
C18	47.12	30.00	42.43	90°00'00"	30.00	N45°19'15"E



18-1117-03-0003-0003 WOODS OF AVON LAKE 2023 PLOT Aug. 11.11.2023 11:05:55 AM

REVISIONS	DATE	DESCRIPTION
1	08/15/03	1. ADDED 10 FT. NATURAL BUFFER PER CITY REVISIONS.

**J.A.R. Engineering & Surveying, Inc.**  
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 Phone: (440)-871-8345  
 Proj. No. XXXXXXXX

**RECORD PLAT**  
 WOODS OF AVON LAKE  
 WALKER ROAD  
 AVON LAKE, OHIO

2 / 2  
 08/03