

# VERMILION SHORES CONDOMINIUMS - PHASE 1 CITY OF VERMILION, COUNTY OF LORAIN, STATE OF OHIO PART OF ORIGINAL BROWNHELM TOWNSHIP LOT 5 EXHIBIT "B" - CONTINUED

**DESCRIPTION:**

TITLE SHEET, SURVEY AND MAP 1 - 2  
BUILDING 2 PLANS, UNITS 201 THRU 208 3 - 7  
BUILDING 3 PLANS, UNITS 301 THRU 308 8 - 12  
BUILDING 15 PLANS, UNITS 1501 AND 1502 13 - 15  
BUILDING 16 PLANS, UNITS 1601 AND 1602 16 - 18

**SHEETS:**

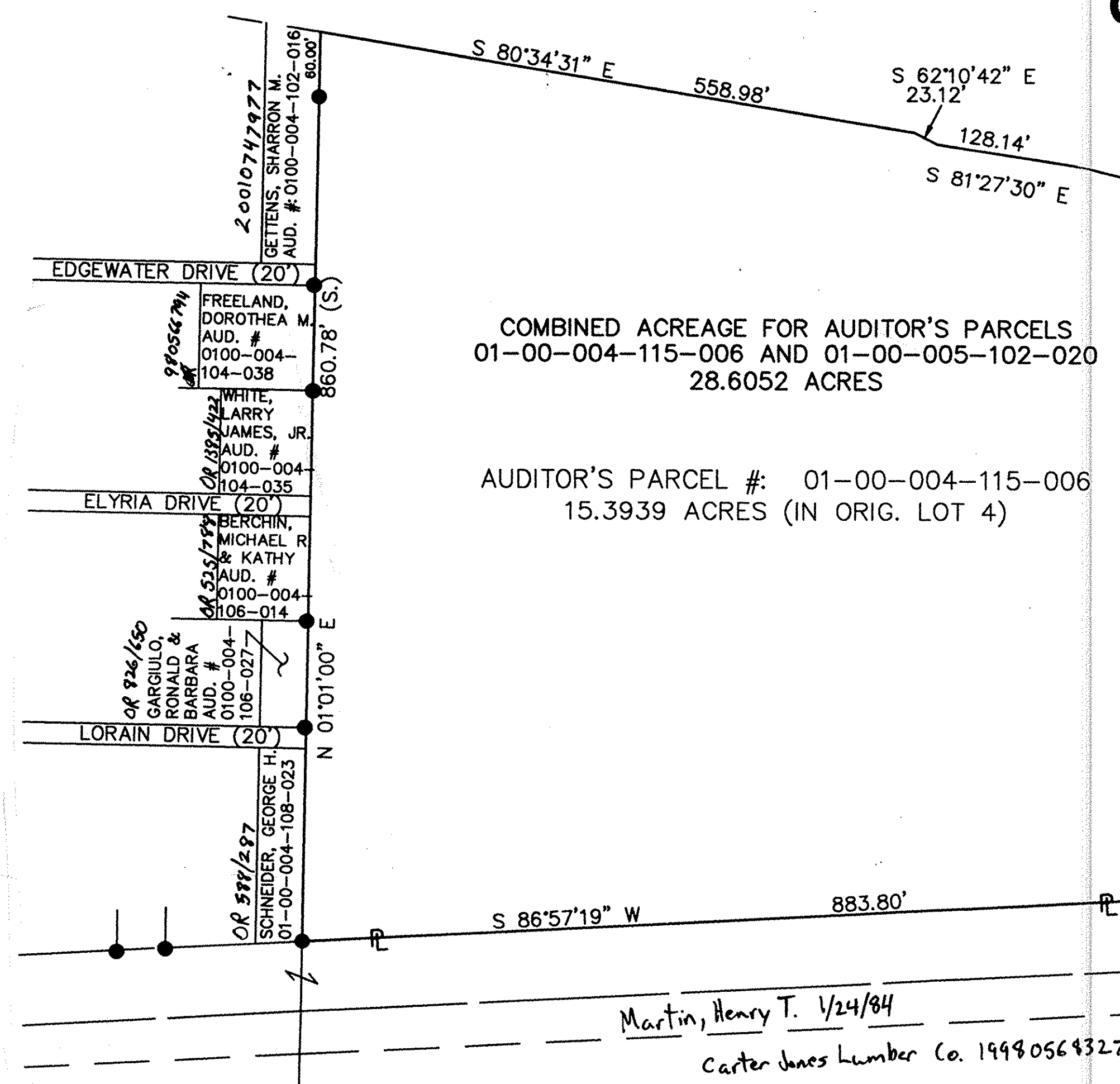
1 - 2  
3 - 7  
8 - 12  
13 - 15  
16 - 18

**TRANSFERRED**  
IN COMPLIANCE WITH SEC. 319-202  
OHIO REV. CODE

OCT 17 2003

MARK R. STEWART  
LORAIN COUNTY AUDITOR

LINE	BEARING	DISTANCE
L1	S 86°57'19" W	60.00'
L2	N 03°03'30" W	43.15'
L3	N 10°11'50" E	84.35'
L4	N 79°48'10" W	211.29'
L5	N 02°17'49" E	352.76'
L6	N 87°11'40" E	124.49'
L7	S 81°20'29" E	295.14'
L8	S 19°38'13" W	257.84'
L9	S 51°51'28" W	81.65'
L10	S 10°11'50" W	147.38'
L11	S 03°03'30" E	36.19'



COMBINED ACREAGE FOR AUDITOR'S PARCELS  
01-00-004-115-006 AND 01-00-005-102-020  
28.6052 ACRES

AUDITOR'S PARCEL #: 01-00-004-115-006  
15.3939 ACRES (IN ORIG. LOT 4)

OFFICIAL RECORD  
811533#1804

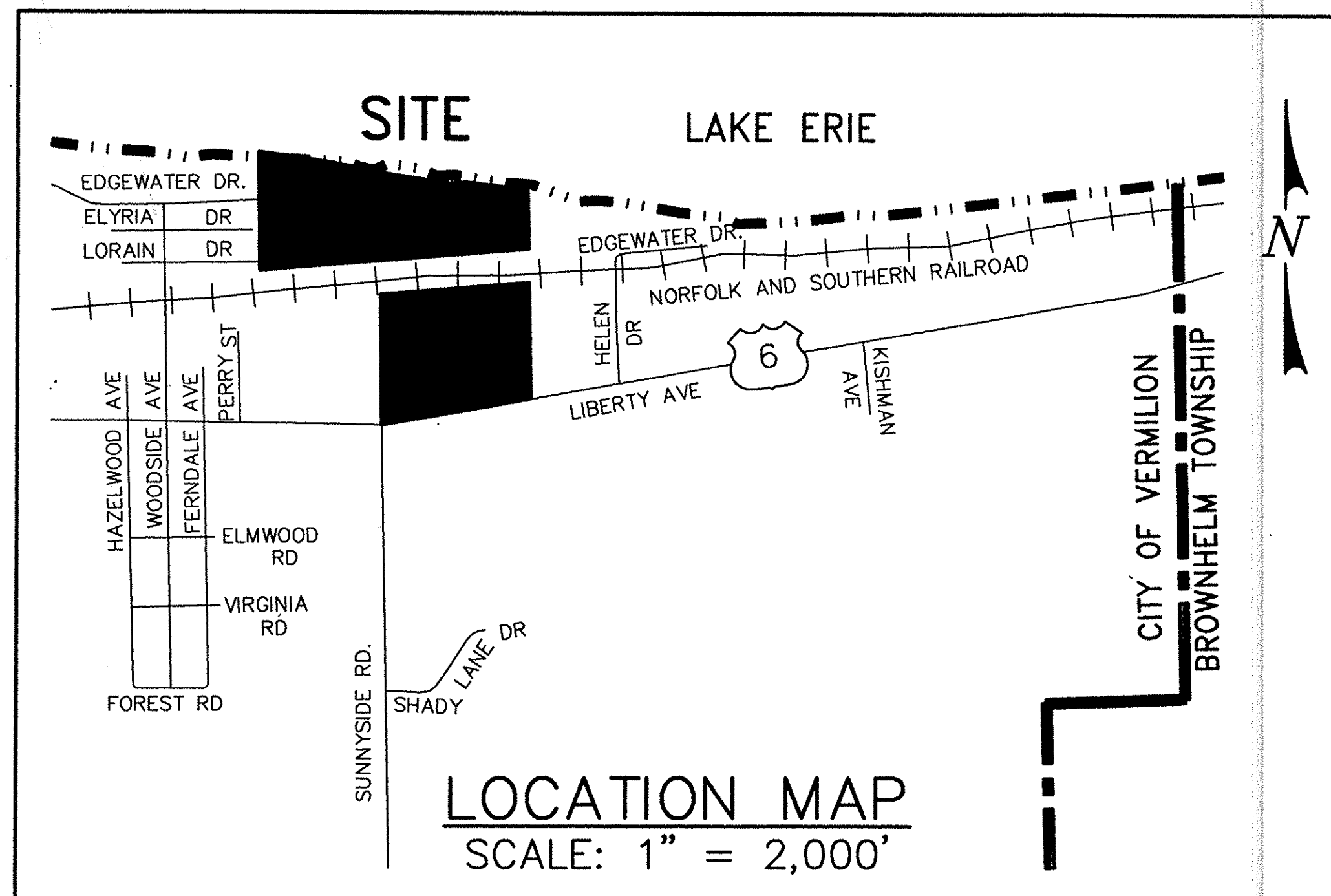
RESIDUE = 7.3762 ACRES

AUDITOR'S PARCEL #: 01-00-005-102-020  
13.2113 ACRES (IN ORIG. LOT 5)

RESIDUE = 2.6442 ACRES

PHASE 1 CONSISTS OF 3.1909 ACRES OUT OF AUDITOR'S PARCEL  
# 01-00-005-102-020 WHICH CONTAINED 13.2113 ACRES. A  
RESIDUE OF 2.6442 ACRES REMAINS EAST OF PHASE 1, AND A  
RESIDUE OF 7.3762 ACRES REMAINS WEST OF PHASE 1, WITHIN THIS  
PARCEL, FOR A TOTAL RESIDUE OF 10.0204 ACRES.

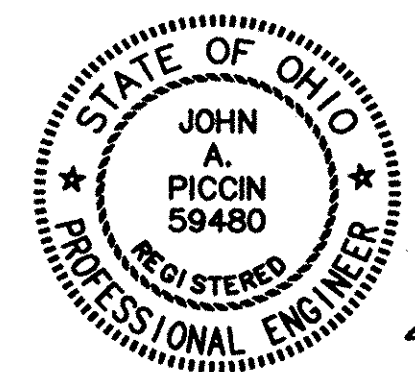
23.5829 ACRES  
OFFICIAL RECORD: 811532#1804  
AUDITOR'S PARCEL #: 01-00-005-102-019



ORIGINAL LOT 4  
ORIGINAL LOT 5  
SUNNYSIDE ROAD  
N 01°04'43" E 868.57'

R/W  
EASEMENT TO STATE OF OHIO  
"PARCEL 116" PER ODOT R/W PLANS  
ODOT PROJECT LOR-6-(0.00-1.75)

(CLEVELAND-SANDUSKY ROAD)  
LIBERTY AVE. - R/W VARIES  
1107.44'

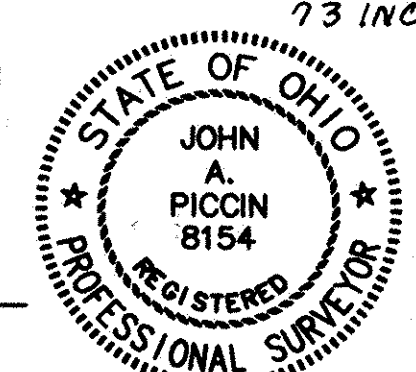


**CERTIFICATION**

THIS IS TO CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY  
REPRESENTS THE BUILDING(S) CURRENTLY UNDER CONSTRUCTION  
AND THAT THERE ARE NO ENCROACHMENTS ON ADJUTING  
PROPERTIES.

REGISTERED ENGINEER No. 59480  
REGISTERED SURVEYOR No. 8154

OCT 17 2003  
RECEIVED FOR RECORD  
at 2:23 o'clock P.M. in Plat Record  
VOL. 77 JUDITH M. NEDWICK  
PAGE 5 Lorain County Recorder  
56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, AND 73 INC.



DEVELOPER:  
GILTZ & ASSOCIATES INC.  
4835 MUNSON ST. N.W.  
CANTON, OHIO 44718  
(330) 494-6688

VERMILION SHORES - PHASE 1  
CITY OF VERMILION  
LORAIN COUNTY, OHIO

CHENEVEY AND PICCIN  
ENGINEERING, INC.  
86 EAST CHEROKEE DRIVE  
POWELL, OHIO 43065  
(614) 798-8000

DATE  
OCTOBER 15, 2003  
DRAWN BY CHECKED BY  
JP EPC  
PROJECT MANAGER  
JP

DATE	INITIAL	REVISION DESCRIPTION

SHEET TITLE  
S1  
SHEET  
1 OF 18





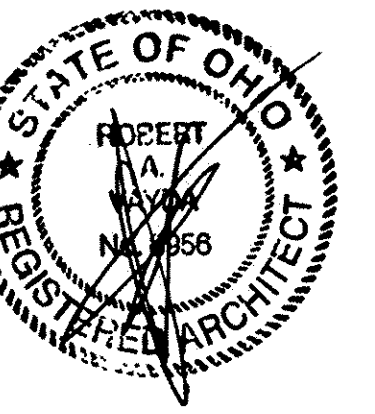
958821

958821



Issue:	Date:
PRELIMINARY BID	3-28-02
BID/PERMIT SET	4-29-02
GENERAL REVISION	5-1-02
TRUSS REVISION	7-11-02
REVISION	9-23-02
REVISION	7-03-03

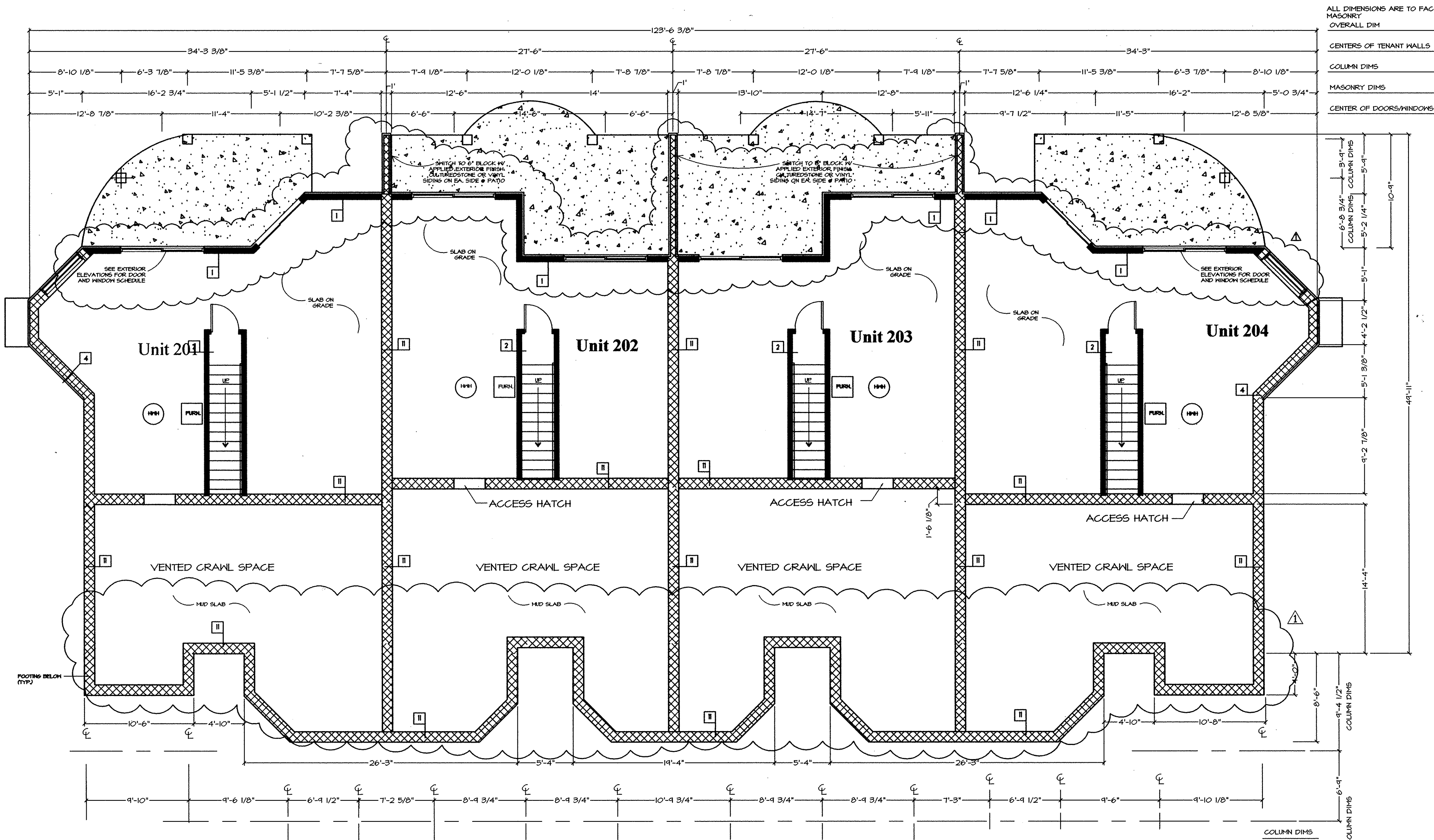
(general revisions not clouded)



OWNER:  
GILTZ & ASSOCIATES  
4835 MUNSON STREET N.W.  
CANTON, OHIO 44718  
PH. (330) 494-6005  
HARRY GILTZ, JR.

**VERMILION SHORES**  
condominiums  
VERMILION, OHIO  
WHISPERING SHORES DR.

Basement Plan  
Job No.: 9650  
Drawn: KC  
Checked: RV  
Date: 3-28-02



ALL DIMENSIONS ARE TO FACE OR CENTER OF MASONRY OVERALL DIM  
CENTERS OF TENANT WALLS  
COLUMN DIMS  
MASONRY DIMS  
CENTER OF DOORS/WINDOWS

- WALL TYPES:**
- 1 2 x 6 WOOD STUDS @ 16" O.C. w/ R21 FIBERGLASS INSULATION, 5/8" GYP. BD. @ INT. 5/8" PLYWOOD w/ JUMBO TEX WRAP @ EXTERIOR. EXTERIOR FINISH AS NOTED. SEE WALL SECTIONS AND EXTERIOR ELEVATIONS.
  - 2 2x4 WOOD STUDS AT 16" OC w/ 1 LAYER 5/8" GYP. BD. EA. SIDE
  - 3 PLUMBING WALL: 2x6 WOOD STUDS AT 16" OC w/ 1 LAYER 5/8" MOISTURE RETARDANT GYP. BD. @ WET SIDE OF WALL, 1 LAYER 5/8" GYP. BD. @ OTHER SIDE.
  - 4 12" CMU WITH EXT. SUBSTRATE AND EXTERIOR FINISH. SEE BUILDING SECTION AND EXT. ELEVATION.
  - 5 U.L. Design No. 1025: Two layers 5/8" class X gypsum board; applied vertically. Inner layer attached to studs with 6d nails spaced 6 in. OC. Outer layer attached to studs over inner layer with 8d nails spaced 8 in. OC. All joints in inner layers staggered with the joints in outer layers and from joints on opposite side. Extend full height to roof deck. Seal with fire resistant sealant. Insulation - sound batts min. in thick, min 25 pct unfaced mineral fiber insulation, pressure fit in the wall cavity between studs and plates. Bearing Plates: Nom. 2X10's.
  - 6 2x4 WOOD STUDS WITH 5/8" GYP BD EACH SIDE TO 3'-6" ABOVE FLOOR.
  - 7 2x4 WOOD STUDS WITH 3/4" PLYWOOD AND EXTERIOR FINISH BC. SIDES. SEE EXT. ELEV.
  - 8 2x4 WOOD STUDS WITH 3/4" PLYWOOD AND EXTERIOR FINISH. SEE EXT. ELEV. AND 5/8" DRYWALL @ INTERIOR.
  - 9 2x4 WOOD STUDS WITH 3/4" PLYWOOD AND EXTERIOR FINISH TO MATCH GARAGE. SEE EXT. ELEV. FULL BATT INSULATION IN WALLS AND ROOF.
  - 10 8" CMU.
  - 11 12" CMU.

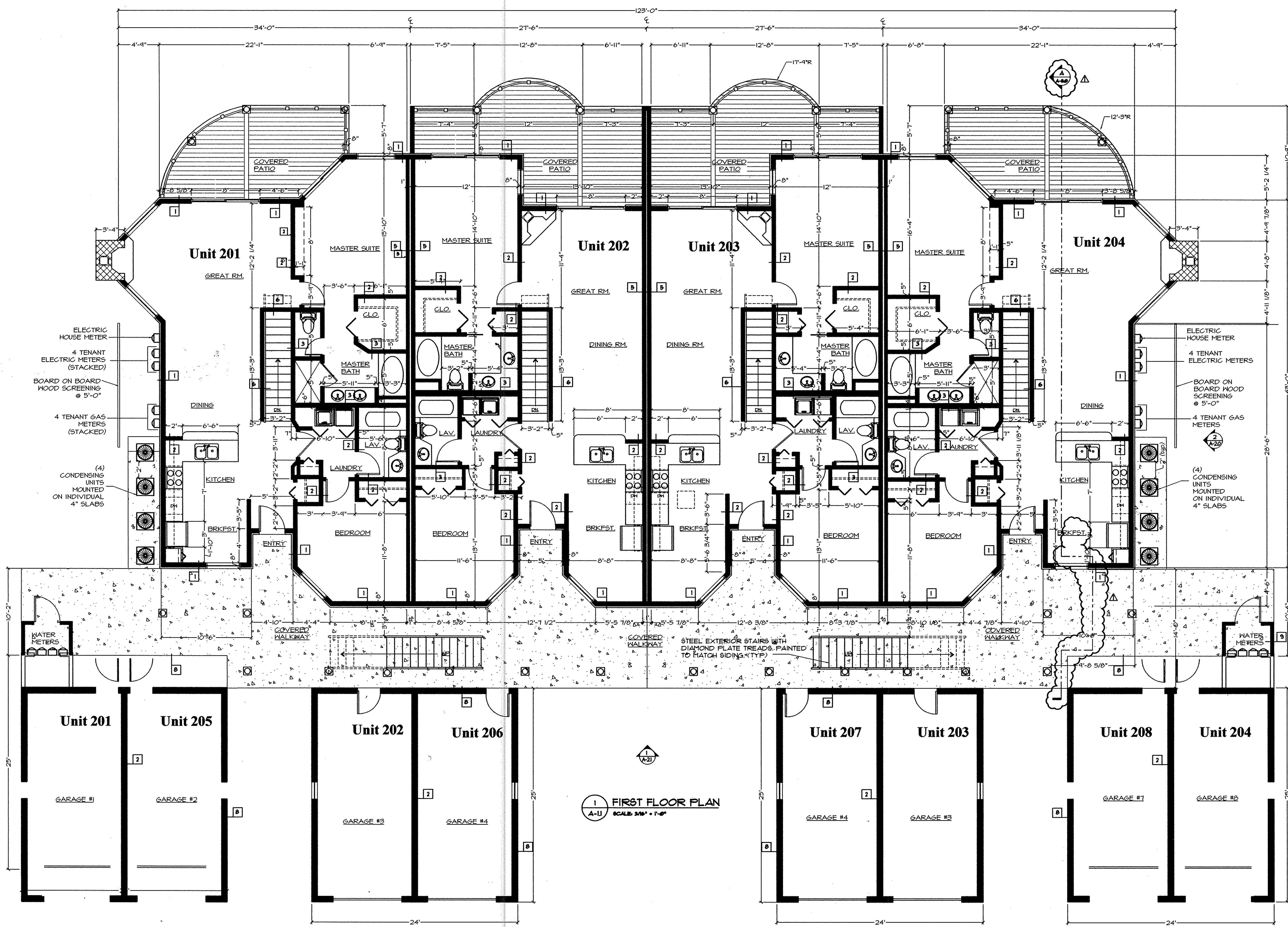
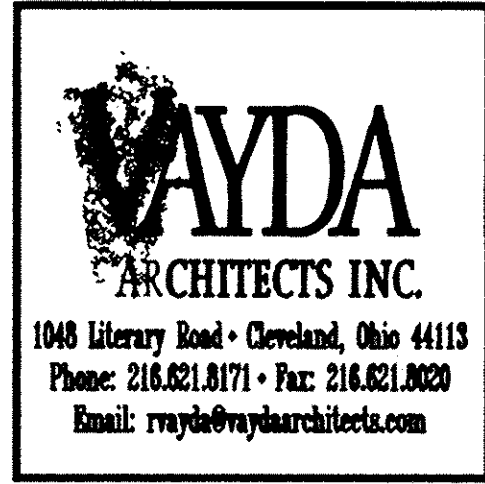
**NOTE:**  
All floors are to have sound insulation: a 10mil. (min) 5A/B- self-adhering sound deadening sheet membrane applied between the floor joist and plywood.

1 BASEMENT PLAN BUILDING 2  
A-1.0 SCALE 3/8" = 1'-0"

Building Number 2  
Units 201 through 204

958821

958821



1 FIRST FLOOR PLAN  
A-11 SCALE: 3/8" = 1'-0"

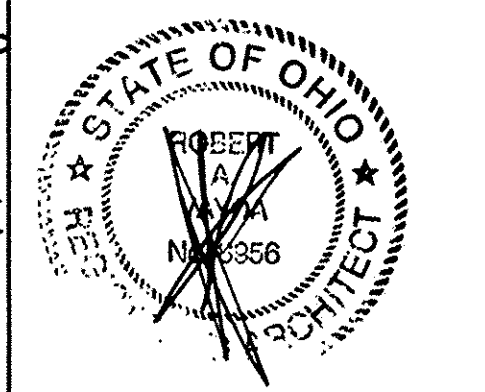
Building Number 2  
Units 201 through 204

- WALL TYPES:**
- 2 X 6 WOOD STUDS @ 16" OC W/ 1" INT. FIBERGLASS INSULATION (1/2" GYP. BD.) @ INT. 1/16" OSB BOARD W/ JUMBO TEX WRAP. EXTERIOR FINISH AS NOTED. SEE WALL SECTIONS AND EXTERIOR ELEVATIONS.
  - 2X4 WOOD STUDS AT 16" OC W/ 1 LAYER 1/2" GYP. BD. EA. SIDE - WET AREAS TO HAVE MR BOARD.
  - PLUMBING WALL: 2X6 WOOD STUDS AT 16" OC W/ 1 LAYER 5/8" MOISTURE RETARDANT GYP. BD. • WET SIDE OF WALL. 1 LAYER 1/2" GYP. BD. • OTHER SIDE.
  - CMU WITH SUBSTRATE AND EXTERIOR FINISH. SEE BUILDING SECTION AND EXT. ELEVATION.
  - UL Design No. U321. Two layers 5/8" class X gypsum board applied vertically. Inner layer attached to studs with 6d nails spaced 6 in. OC. Outer layer attached to studs over inner layer with 6d nails spaced 8 in. OC. All joints in inner layers staggered with the joints in outer layers and from joints on opposite side. Extend full height to roof deck. Seal with fire resistant sealant. Insulation - Sound batts 1 in thick, min 25 pcf unfaced mineral fiber insulation, pressure fit in the wall cavity between studs and plates. Bearing Plates: Nom. 2x10's.
  - 2x4 WOOD STUDS WITH 1/2" GYP BD EACH SIDE TO 3'-6" ABOVE FLOOR.
  - 2x4 WOOD STUDS WITH 1/16" OSB BOARD AND EXTERIOR FINISH BO. SIDES. SEE EXTELEV.
  - 2x4 WOOD STUDS WITH 1/16" OSB BOARD AND EXTERIOR FINISH TO MATCH GARAGE. SEE EXT. ELEV. FULL BATT INSULATION IN WALLS AND ROOF.
  - ADD 1/2" MR BOARD TO TENANT SEPERATION WALL.
- NOTE:**  
All floors are to have sound insulation: a 10mil. (min) 8413- self-adhering sound decoupling sheet membrane applied between the floor joist and plywood.

Issue: \_\_\_\_\_ Date: \_\_\_\_\_

PRELIMINARY BID	3-28-02
BID/PERMIT SET	4-25-02
GENERAL REVISION	5-1-02
TRUSS REVISION	7-11-02
REVISION	9-23-02
REVISION	1-03-03

(General revisions not clouded)



OWNER:  
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CANTON, OHIO 44718  
PH (330) 494-6005  
HARRY GILTZ, JR.

VERMILION SHORES  
condominiums

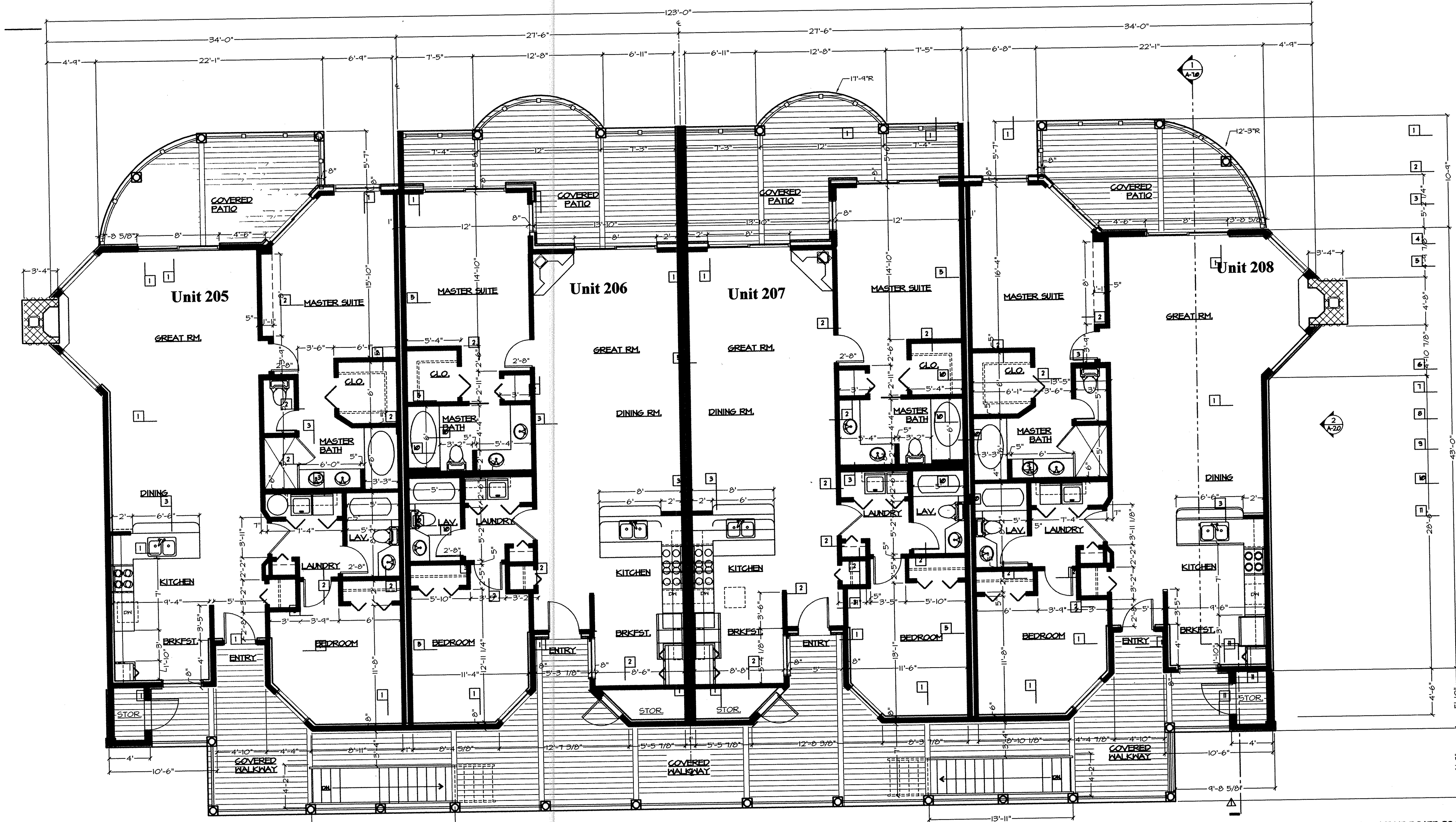
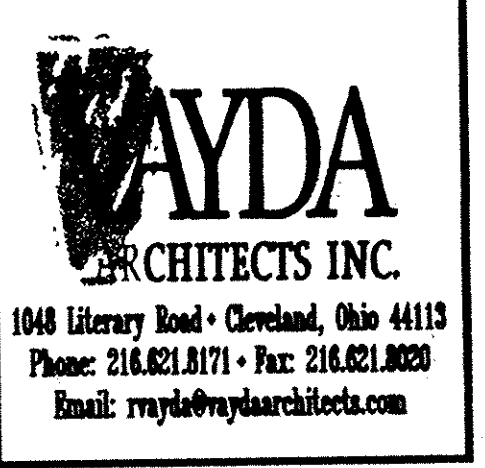
VERMILION, OHIO  
WHISPERING SHORES DR.

First Floor Plan  
Job No.: 9650  
Drawn: KC  
Checked: RV  
Date: 3-28-02



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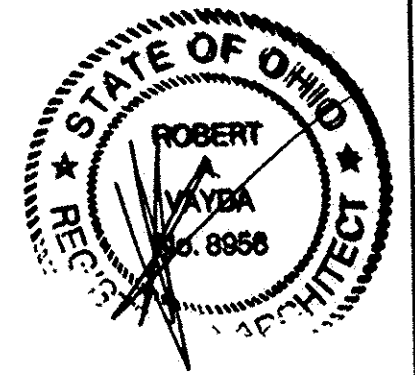
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HARRY GILTZ, JR.

**VERMILION SHORES**  
condominiums

VERMILION, OHIO  
WHISPERING SHORES DR.

**1 SECOND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

**BUILDING NUMBER 2**  
**UNITS 205 THRU 208**

**WALL TYPES:**

- 2 x 6 WOOD STUDS @ 16" O.C. W/ R21 FIBERGLASS INSULATION. 1/2" GYP. BD. • INT. 1/16" O.S.B. BOARD W/ JUMBO TEX WRAP • EXTERIOR. EXTERIOR FINISH AS NOTED. SEE WALL SECTIONS AND EXTERIOR ELEVATIONS.
- 2x4 WOOD STUDS AT 16" O.C. W/ 1 LAYER 1/2" GYP. BD. EA. SIDE- WET AREAS TO HAVE MR. BOARD.
- PLUMBING WALL: 2x6 WOOD STUDS AT 16" O.C. W/ 1 LAYER 5/8" MOISTURE RETARDANT GYP. BD. • WET SIDE OF WALL. 1 LAYER 1/2" GYP. BD. • OTHER SIDE.
- CMU WITH SUBSTRATE AND EXTERIOR FINISH. SEE BUILDING SECTION AND EXT. ELEVATION.
- UL Design No. U281: Two layers 5/8" class X gypsum board applied vertically. Inner layer attached to studs with 6d nails spaced 6 in. O.C. Outer layer attached to studs over inner layer with 6d nails spaced 8 in. O.C. All joints in outer layers staggered with the joints in outer layers and from joints on opposite side. Extend full height to roof deck. Seal with fire resistant sealant. Insulation: Sound batte Min. in thick, min 2 1/2" per unfaced mineral fiber insulation, pressure fit in the wall cavity between studs and plates.
- Bearing Plates: Non. 2x10's.
- 2x4 WOOD STUDS WITH 1/2" GYP. BD EACH SIDE TO 3'-6" ABOVE FLOOR.
- 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH BO. SIDES. SEE EXTELEV.
- 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH. 1/2" DRYWALL • INTERIOR. SEE EXT. ELEV.
- 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH TO MATCH GARAGE. SEE EXT. ELEV. FULL BATT INSULATION IN WALLS AND ROOF.

ADD 1/2" MR BOARD TO TENANT SEPERATION WALL.

2x4 WOOD STUDS W/ PAINTED 1/4" O.S.B. BOARD ON INSIDE AND 1/4" O.S.B. BOARD W/ EXTERIOR FINISH. SEE EXTERIOR ELEVATIONS.

**NOTE:**  
All floors are to have sound insulation: a 10mil. (min) 6AMP3- self-adhering sound deadening sheet membrane applied between the floor joist and plywood.

Second Floor Plan

Date: 3-28-02  
Checked: RV  
Drawn: KK  
Job No.: 9650

**A-1.2**

sheet 5 of 18  
**77/60**

TAX MAP DEPT. COPY #03-00647

V:\9672 Vermilion Shores Condominiums\9672\_1.dwg, Layout1, HP DesignJet 1050C by HP.pc3, 1:1 ©2001 VAYDA ARCHITECTS, INC.



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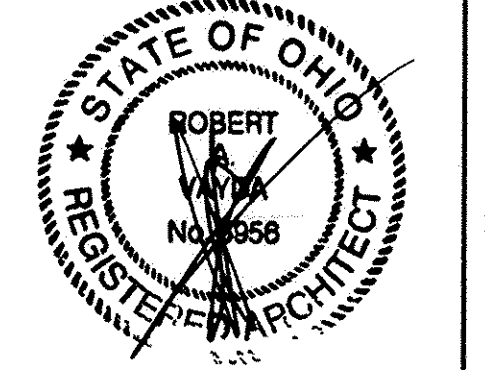
958821

**VAYDA ARCHITECTS INC.**  
 1948 Literary Road • Cleveland, Ohio 44113  
 Phone: 216.621.8171 • Fax: 216.621.8029  
 Email: rvayda@vaydaarchitects.com

Issue: \_\_\_\_\_ Date: \_\_\_\_\_

PRELIMINARY BID	3-28-02
BID/PERMIT SET	4-25-02
GENERAL REVISION	5-1-02
TRUSS REVISION	7-11-02
REVISION	9-23-02
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 CANTON, OHIO 44718  
 PH: (330) 494-6005  
 HARRY GILTZ, JR.

**VERMILION SHORES  
 condominiums**  
 VERMILION, OHIO  
 WHISPERING SHORES DR.

Exterior Elevations  
 Job No.: 9650  
 Drawn: KC  
 Checked: RV  
 Date: 3-28-02



**TRUSS DESIGN**  
 2 X 6 T & B  
 2 X 4 WEBS  
 TRUSSES 2'-0" O.C.  
 LOADS: 25 10 & 10  
 6:12 2 PIECE TRUSS

**1 LAKESIDE ELEVATION**  
 SCALE: 3/16" = 1'-0"

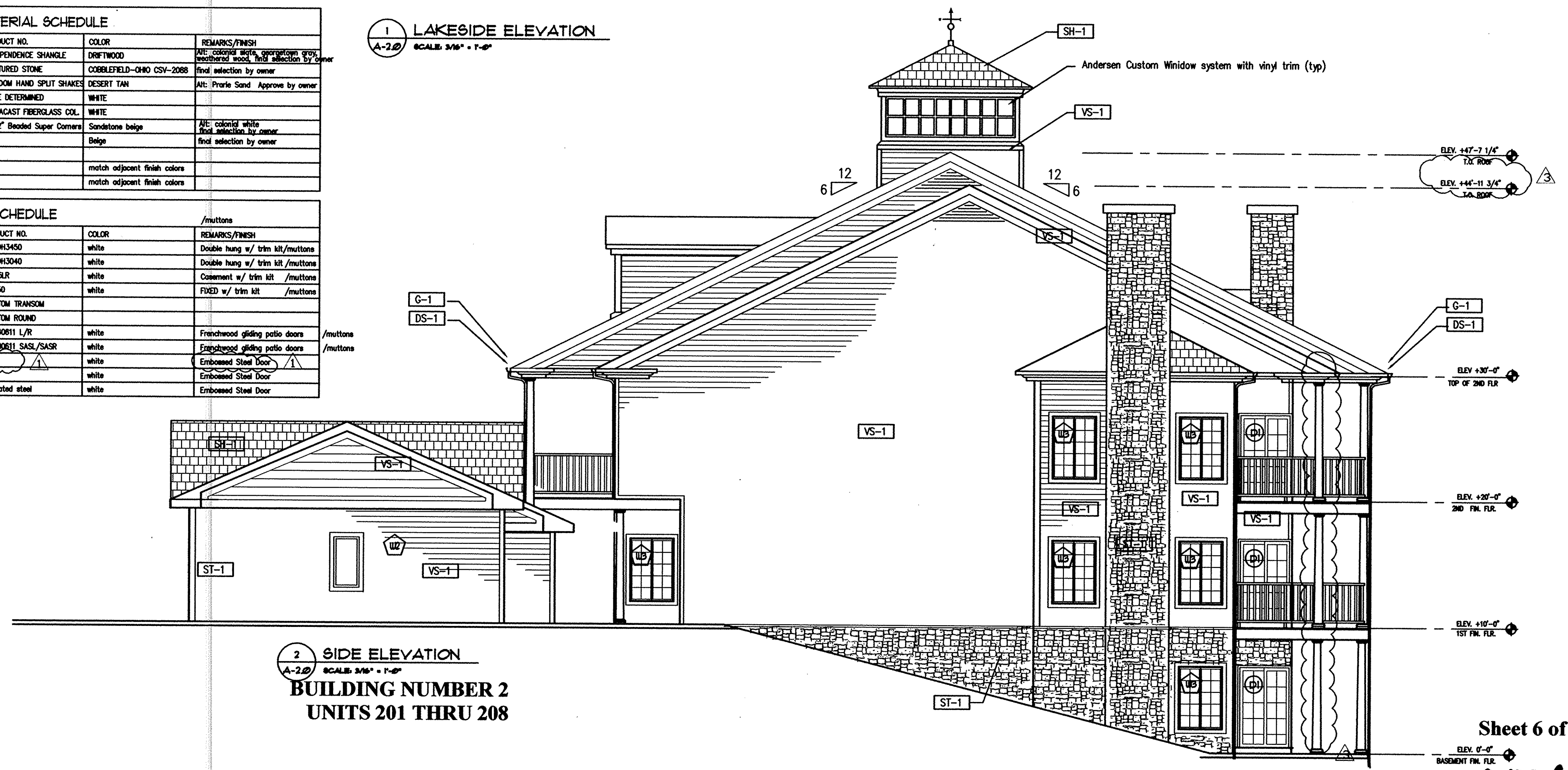
**EXTERIOR FINISH MATERIAL SCHEDULE**

CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
SH-1	SHINGLES	CERTAINTED	INDEPENDENCE SHINGLE	DRIFTWOOD	A/E: colonial white, weathered wood, find selection by owner
ST-1	CULTURED STONE	OMNIS CORNING	CULTURED STONE	COBBLEFIELD-OHO CSV-2085	find selection by owner
VS-1	VINYL SIDING	CERTAINTED - CEDAR IMPRESSIONS	RANDOM HAND SPLIT SHAKES	DESERT TAN	A/E: Prairie Sand Approve by owner
WR-1	VINYL COATED WOOD RAILING	TO BE DETERMINED	TO BE DETERMINED	WHITE	
CL-1	FIBERGLASS COLUMN	HB&G	PERMACAST FIBERGLASS COL.	WHITE	
VF-1	VINYL TRIM	CERTAINTED	3 1/2" Beaded Super Corner	Sandstone beige	A/E: colonial white, find selection by owner
D-1	PLASTIC LUMBER DECK	PERMADECK	5/4"	Beige	find selection by owner
G-1	ALUMINUM GUTTERS				match adjacent finish colors
DS-1	ALUMINUM DOWNSPOUT				match adjacent finish colors

**DOOR AND WINDOW SCHEDULE**

CODE	ROUGH OPENING	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
W1	5'-6" x 5'-0"	ANDERSEN	244H3450	white	Double hung w/ trim kit/mittens
W2	2'-0" x 7'-0"	ANDERSEN	244H3040	white	Double hung w/ trim kit/mittens
W3	4'-9" x 5'-0 1/2"	ANDERSEN	CW25LR	white	Casement w/ trim kit /mittens
W4	3'-0 1/2" x 5'-0 1/2"	ANDERSEN	P3050	white	FIXED w/ trim kit /mittens
W5	1' x	ANDERSEN	CUSTOM TRANSOM		
W6		ANDERSEN	CUSTOM ROUND		
D1	6'-0" x 6'-11"	ANDERSEN	FW60611 L/R	white	Frenchwood gliding patio doors /mittens
D2	8'-0" x 6'-11"	ANDERSEN	FW60611 S/ASL/SASR	white	Frenchwood gliding patio doors /mittens
D3	3'-0" x 6'-8"	Therma-Tru	210	white	Embossed Steel Door
D4	3'-0" x 6'-8"	Therma-Tru	210	white	Embossed Steel Door
D5	9'-0" x 7'-0"	wayne-dalton	insulated steel	white	Embossed Steel Door

**2 SIDE ELEVATION**  
 SCALE: 3/16" = 1'-0"  
 BUILDING NUMBER 2  
 UNITS 201 THRU 208



TAX MAP DEPT COPY #03-00447

V:\9672 Vermilion Shores Condo\Copy for Bldg 2\A-2.0.dwg, Layout1, HP DesignJet 1050C by HP pcl, 1:1 ©2001 VAYDA ARCHITECTS, INC.



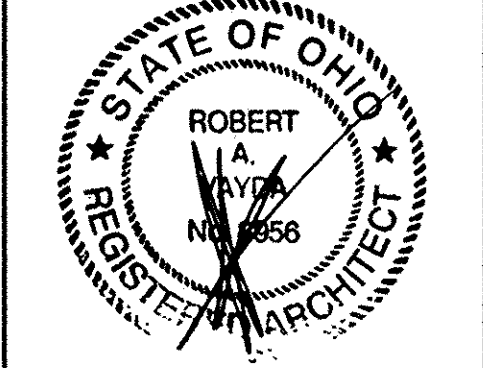
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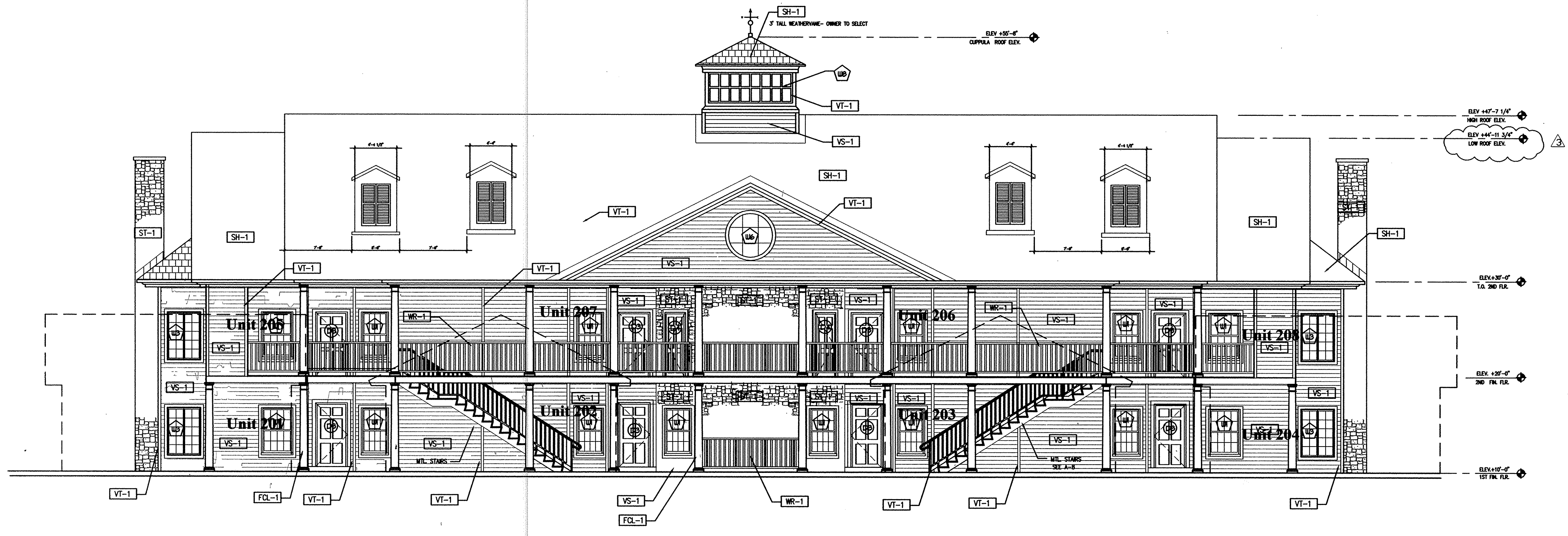
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BID/PERMIT SET	4-25-02
GENERAL REVISION	5-11-02
TRUSS REVISION	7-11-02
REVISION	9-23-02
REVISION	1-03-03

(general revisions not clouded)



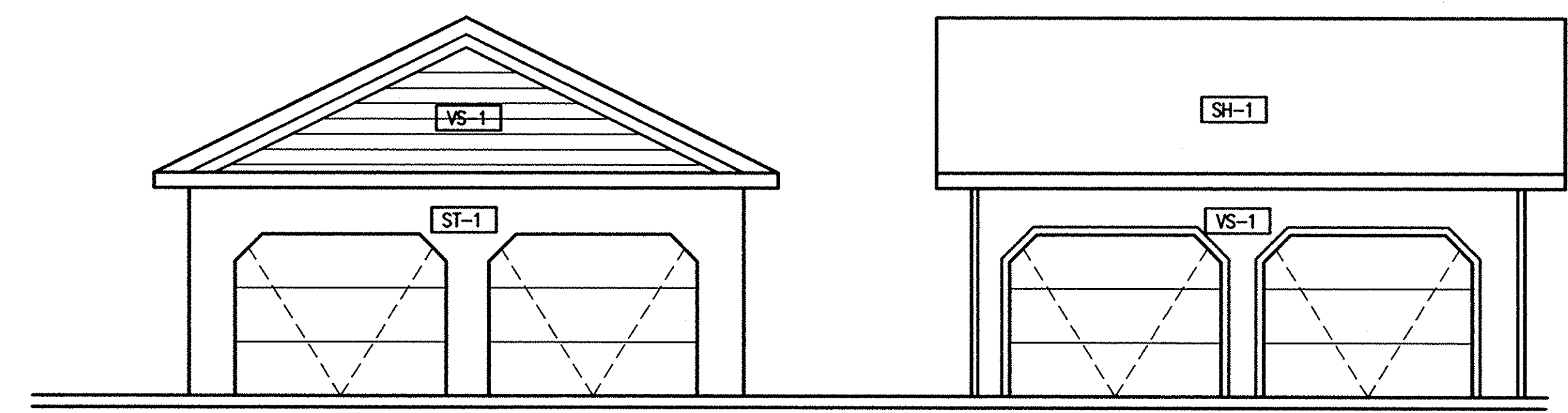
OWNER:  
GILTZ & ASSOCIATES  
4835 MUNSON STREET N.W.  
CANTON, OHIO 44718  
PH. (330) 494-6005  
HARRY GILTZ, JR.



1 FRONT ELEVATION  
A-21 SCALE: 3/16" = 1'-0"

EXTERIOR FINISH MATERIAL SCHEDULE					
CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
SH-1	SHINGLES	CERTAINTED	INDEPENDENCE SHINGLE	DRIFTWOOD	Use colored water, charcolton grey, weathered wood, final selection by owner
ST-1	CULTURED STONE	OWENS CORNING	CULTURED STONE	COBBLEFIELD-OHO CSV-2088	final selection by owner
VS-1	VINYL SIDING	CERTAINTED - CEDAR IMPRESSIONS	RANDOM HAND SPLIT SHAKES	DESERT TAN	Alt: Prairie Sand Approve by owner
WR-1	VINYL COATED WOOD RAILING	TO BE DETERMINED	TO BE DETERMINED	WHITE	
CL-1	FIBERGLASS COLUMN	HBAG	PERMACAST FIBERGLASS COL.	WHITE	
VF-1	VINYL TRIM	CERTAINTED	3 1/2" Beaded Super Corners	Sandstone beige	Alt: colonial white final selection by owner
D-1	PLASTIC LUMBER DECK	PERMADECK	5/4"	Beige	final selection by owner
G-1	ALUMINUM GUTTERS				match adjacent finish colors
DS-1	ALUMINUM DOWNSPOUT				match adjacent finish colors

DOOR AND WINDOW SCHEDULE					
CODE	ROUGH OPENING	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
W1	3'-6" x 5'-0"	ANDERSEN	2440H3450	white	Double hung w/ trim kit/muttons
W2	2'-0" x 4'-0"	ANDERSEN	2440H3040	white	Double hung w/ trim kit/muttons
W3	4'-0" x 5'-0 1/2"	ANDERSEN	CW25LR	white	Casement w/ trim kit /muttons
W4	3'-0 1/2" x 5'-0 1/2"	ANDERSEN	P3050	white	FIXED w/ trim kit /muttons
W5	1' X	ANDERSEN	CUSTOM TRANSOM	white	
W6	NOMINAL	ANDERSEN	CUSTOM ROUND	white	
W7	NOMINAL	ANDERSEN	CUSTOM	white	
W8	NOMINAL	ANDERSEN	CUSTOM	white	
D1	6'-0" x 6'-11"	ANDERSEN	FW60611 L/R	white	Frenchwood gliding patio doors /muttons
D2	6'-0" x 6'-11"	ANDERSEN	FW60611 SASL/SASR	white	Frenchwood gliding patio doors /muttons
D3	3'-0" x 6'-8"	Thermo-Tru	210	white	Embossed Steel Door
D4	3'-0" x 6'-8"	Thermo-Tru	210	white	Embossed Steel Door
D5	9'-0" x 7'-0"	wayne-dutton	insulated steel	white	Embossed Steel Door



2 GARAGE ELEVATION  
A-21 SCALE: 3/16" = 1'-0"

BUILDING NUMBER 2  
UNITS 201 THRU 208

VERMILION SHORES  
condominiums  
VERMILION, OHIO  
WHISPERING SHORES DR.

Exterior Elevations  
Job No.: 9690  
Drawn: RC  
Checked: RV  
Date: 3-28-02

Sheet 7 of 18

A-2.1

TAX MAP DEPT. COPY #03-00647

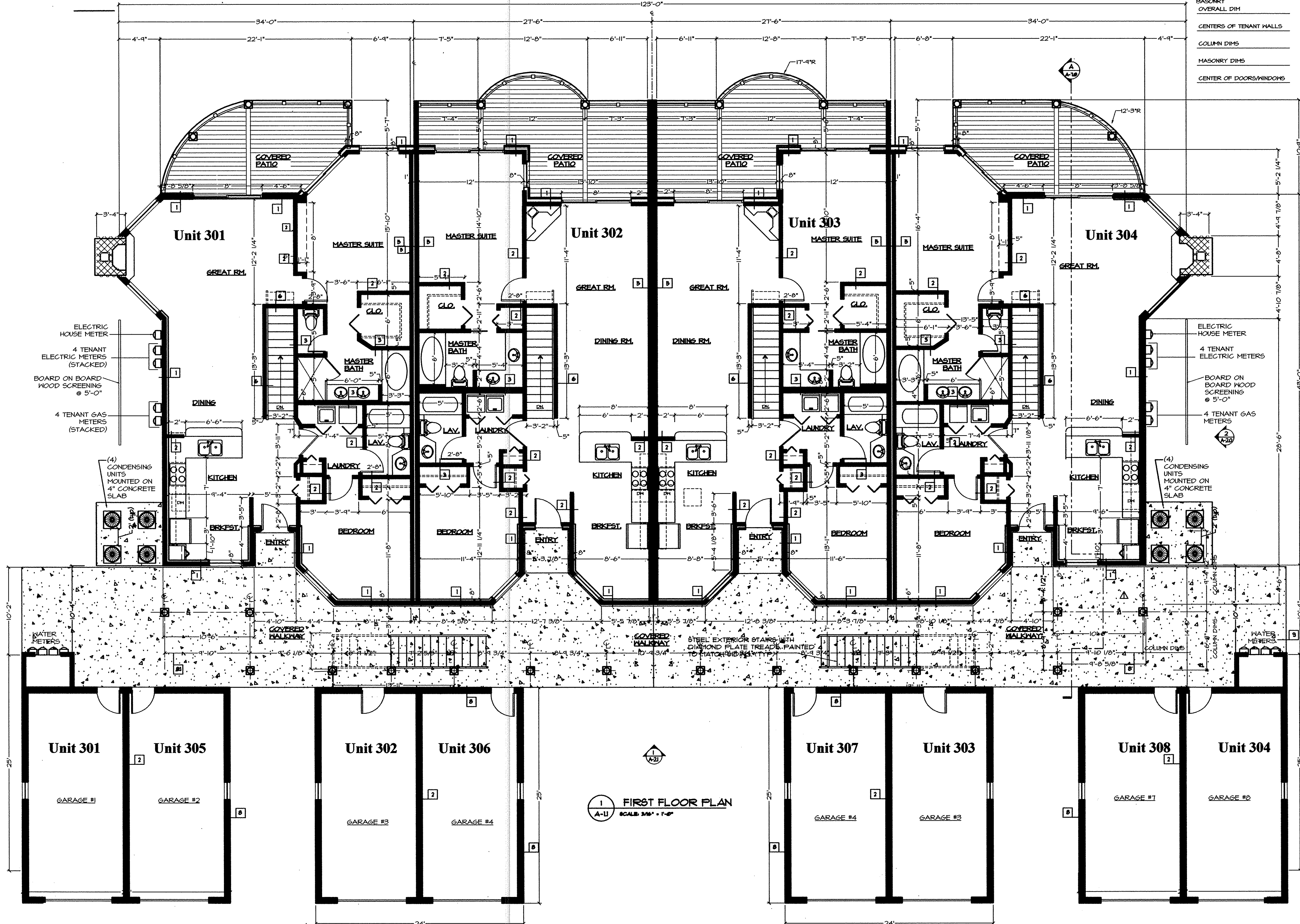
77/62





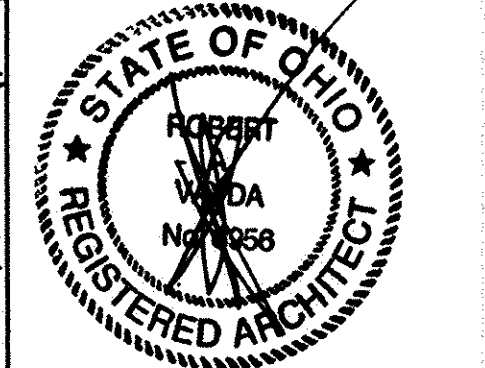
958821

958821



ALL DIMENSIONS ARE TO FACE OR CENT MASONRY  
OVERALL DIM  
CENTERS OF TENANT WALLS  
COLUMN DIMS  
MASONRY DIMS  
CENTER OF DOORS/WINDOWS

- WALL TYPES:**
- 1 2 X 6 WOOD STUDS @ 16" O.C. W/ R21 FIBERGLASS INSULATION, 1/2" GYP. BD., • INT. 1/16" O.S.B. BOARD W/ JUMBO TEX WRAP • EXT. EXTERIOR FINISH AS NOTED. SEE WALL SECTIONS AND EXTERIOR ELEVATIONS.
  - 2 2X4 WOOD STUDS AT 16" O.C. W/ 1 LAYER 1/2" GYP. BD. EA. SIDE- WET AREAS TO HAVE MR BOARD.
  - 3 PLUMBING WALL: 2X8 WOOD STUDS AT 16" O.C. W/ 1 LAYER 1/2" MOISTURE RETARDANT GYP. BD. • WET SIDE OF WALL, 1 LAYER 1/2" GYP. BD. • OTHER SIDE.
  - 4 CMIL WITH SUBSTRATE AND EXTERIOR FINISH. SEE BUILDING SECTION AND EXT. ELEVATION.
  - 5 U.L. Design No. U381. Two layers 5/8" class X gypsum board; applied vertically. Inner layer attached to studs with 6d nails spaced @ 6" in. OC. Outer layer attached to studs cover inner layer with 6d nails spaced @ 8" in. OC. All joints in inner layers staggered with the joints in outer layers and from joints on opposite side. Extend full height to roof deck. Seal with fire resistant sealant. Insulation: sound batts 1 1/2" in. thick, min 2 1/2"pcf unfaced mineral fiber insulation, pressure fit in the wall cavity between studs and plates. Bearing Plates: Nom. 2x10's.
  - 6 2x4 WOOD STUDS WITH 1/2" GYP BD EACH SIDE TO 3'-6" ABOVE FLOOR.
  - 7 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH BO. SIDES. SEE EXTELEV.
  - 8 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH. 1/2" DRYWALL • INTERIOR. SEE EXT. ELEV. FULL BATT INSULATION IN WALLS AND ROOF.
  - 9 2x4 WOOD STUDS WITH 1/16" O.S.B. BOARD AND EXTERIOR FINISH TO MATCH GARAGE. SEE EXT. ELEV. FULL BATT INSULATION IN WALLS AND ROOF.
  - 10 ADD 1/2" MR BOARD TO TENANT SEPERATION WALL.



OWNER:  
GILTZ & ASSOCIATES  
4835 MUNSON STREET N.W.  
CANTON, OHIO 44718  
PH: (330) 494-6005  
HARRY GILTZ, JR.

- NOTE:**
- 1. All floors are to have sound insulation: a 12mil. (min) 8A1B- self-anchering sound deadening sheet membrane applied between the floor joist and plywood.
  - 2. Laundry bi-fold doors to be 6'-0"

1 FIRST FLOOR PLAN  
A-11 SCALE 3/16" = 1'-0"

Issue: Date:

PRELIMINARY BID	3-28-02
BID/FERMIT SET	4-25-02
GENERAL REVISION	5-1-02
TRUSS REVISION	7-11-02
REVISION	9-23-02
REVISION	7-03-03

(General revisions not clouded)

**VERMILION SHORES**  
condominiums  
VERMILION, OHIO  
WHISPERING SHORES DR.

First Floor Plan  
Job No.: 9588  
Date: 3-28-02  
Checked: RV  
Drawn: KK

BUILDING NUMBER 3  
Units 301 thru 304



958821

958821



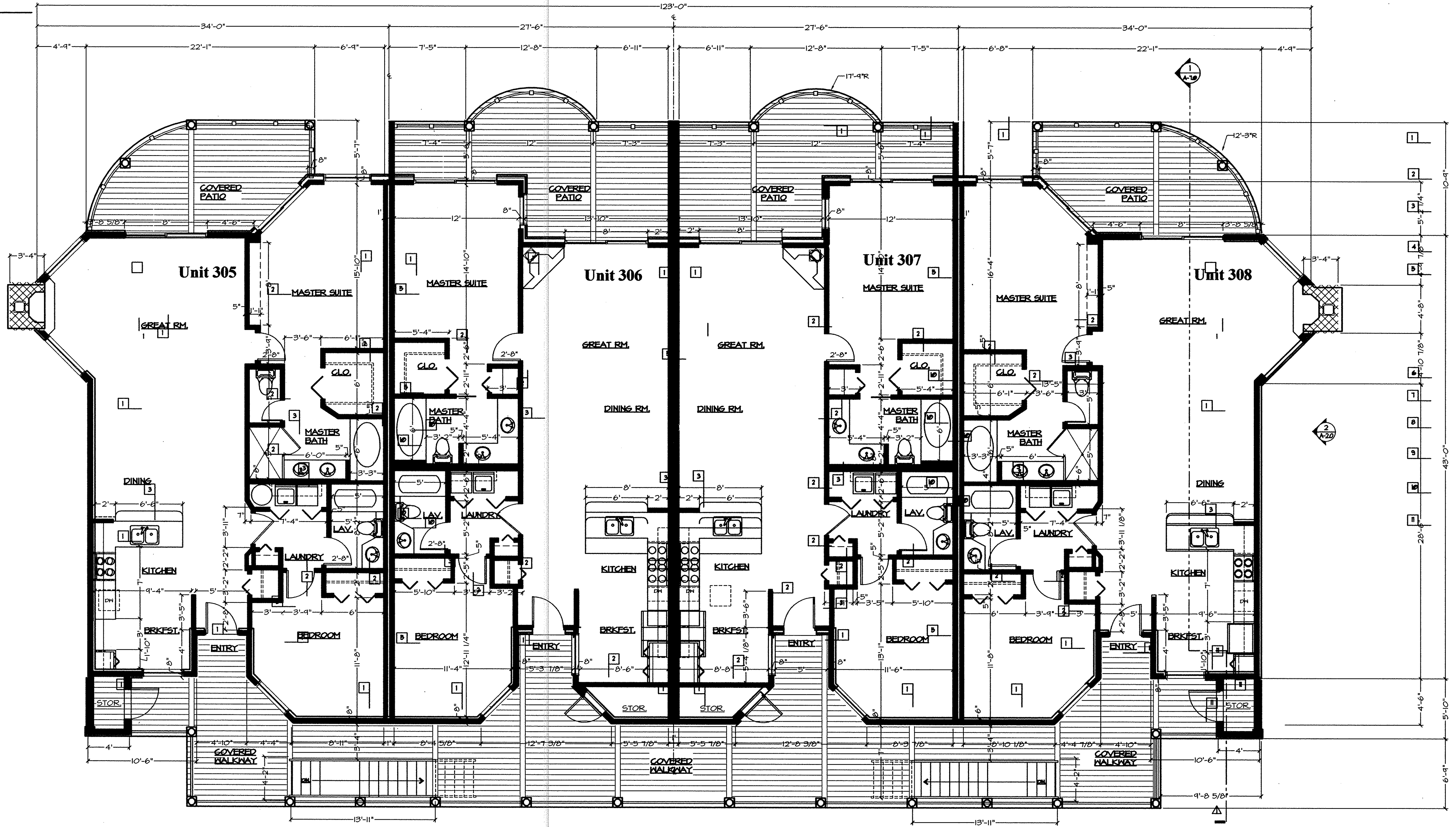
Issue: \_\_\_\_\_ Date: \_\_\_\_\_

PRELIMINARY BID	3-28-02
BID/PERMIT SET	4-28-02
GENERAL REVISION	5-1-02
TRUSS REVISION	7-11-02
REVISION	9-23-02
REVISION	7-03-03

(general revisions not clouded)



OWNER:  
GILTZ & ASSOCIATES  
4835 MUNSON STREET N.W.  
CANTON, OHIO 44718  
PH. (330) 494-6005  
HARRY GILTZ JR.



**1 SECOND FLOOR PLAN**  
A-12 SCALE: 3/16" = 1'-0"

**WALL TYPES:**

- 2 X 6 WOOD STUDS @ 16" O.C. W/ R21 FIBERGLASS INSULATION, 1/2" GYP. BD. • INT. 1/16" O.S.B. BOARD W/ JUMBO TEX WRAP • EXTERIOR. EXTERIOR FINISH AS NOTED. SEE WALL SECTIONS AND EXTERIOR ELEVATIONS.
- 2X4 WOOD STUDS AT 16" OC W/ 1 LAYER 1/2" GYP. BD. EA. SIDE- WET AREAS TO HAVE MR BOARD.
- PLUMBING WALL: 2X6 WOOD STUDS AT 16" OC W/ 1 LAYER 5/8" MOISTURE RETARDANT GYP. BD. • WET SIDE OF WALL. 1 LAYER 1/2" GYP. BD. • OTHER SIDE.
- C.M.U. WITH SUBSTRATE AND EXTERIOR FINISH. SEE BUILDING SECTION AND EXT. ELEVATION.
- U.L. Design No. U281. Two layers 5/8" class X gypsum board applied vertically. Inner layer attached to studs with 6d nails spaced 6 in. OC. Outer layer attached to studs over inner layer with 8d nails spaced 8 in. OC. All joints in inner layers staggered with the joints in outer layers and from joints on opposite side. Extend full height to roof deck. Seal with fire resistant sealant. Insulation- Bound batts Min. in thick, min 23 pcf unfaced mineral fiber insulation, pressure fit in the wall cavity between studs and plates.
- Bearing Plates: Non. 2X10's.
- 2x4 WOOD STUDS WITH 1/2" GYP BD EACH SIDE TO 3'-6" ABOVE FLOOR.
- 2x4 WOOD STUDS WITH 1/6" O.S.B. BOARD AND EXTERIOR FINISH EA. SIDES. SEE EXTELEV.
- 2x4 WOOD STUDS WITH 1/6" O.S.B. BOARD AND EXTERIOR FINISH. 1/2" DRYWALL • INTERIOR. SEE EXT. ELEV.
- 2x4 WOOD STUDS WITH 1/6" O.S.B. BOARD AND EXTERIOR FINISH TO MATCH GARAGE. SEE EXT. ELEV. FULL BATT INSULATION IN WALLS AND ROOF.

ADD 1/2" MR BOARD TO TENANT SEPERATION WALL.

2x4 WOOD STUDS W/ PAINTED 1/4" O.S.B. BOARD ON INSIDE AND 1/4" O.S.B. BOARD W/ EXTERIOR FINISH. SEE EXTERIOR ELEVATIONS.

**NOTE:**

All floors are to have sound insulation: a 10mil. (min) SAMP- self-anchoring sound deadening sheet membrane applied between the floor joist and plywood.

BUILDING NUMBER 3  
Units 305 thru 308

TAX MAP DEPT. COPY #03-00647

**VERMILION SHORES**  
condominiums

Second Floor Plan

WHISPERING SHORES DR. VERMILION, OHIO

Job No.: 958821  
Drawn: JK  
Checked: RV  
Date: 3-28-02

77/65

V:\958821\958821.dwg Plot Date: 3/28/02 11:52 AM Plot Scale: 3/16" = 1'-0" Layout: 1P DesignJet 1050C by HP.pcl



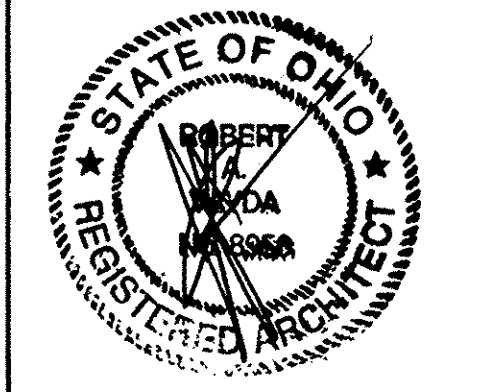
958821

958821

Issue: \_\_\_\_\_ Date: \_\_\_\_\_

PRELIMINARY BID	3-28-02
BID/PERMIT SET	4-25-02
GENERAL REVISION	5-1-02
TRUSS REVISION	7-11-02
REVISION	9-23-02
REVISION	7-03-03

(general revisions not clouded)



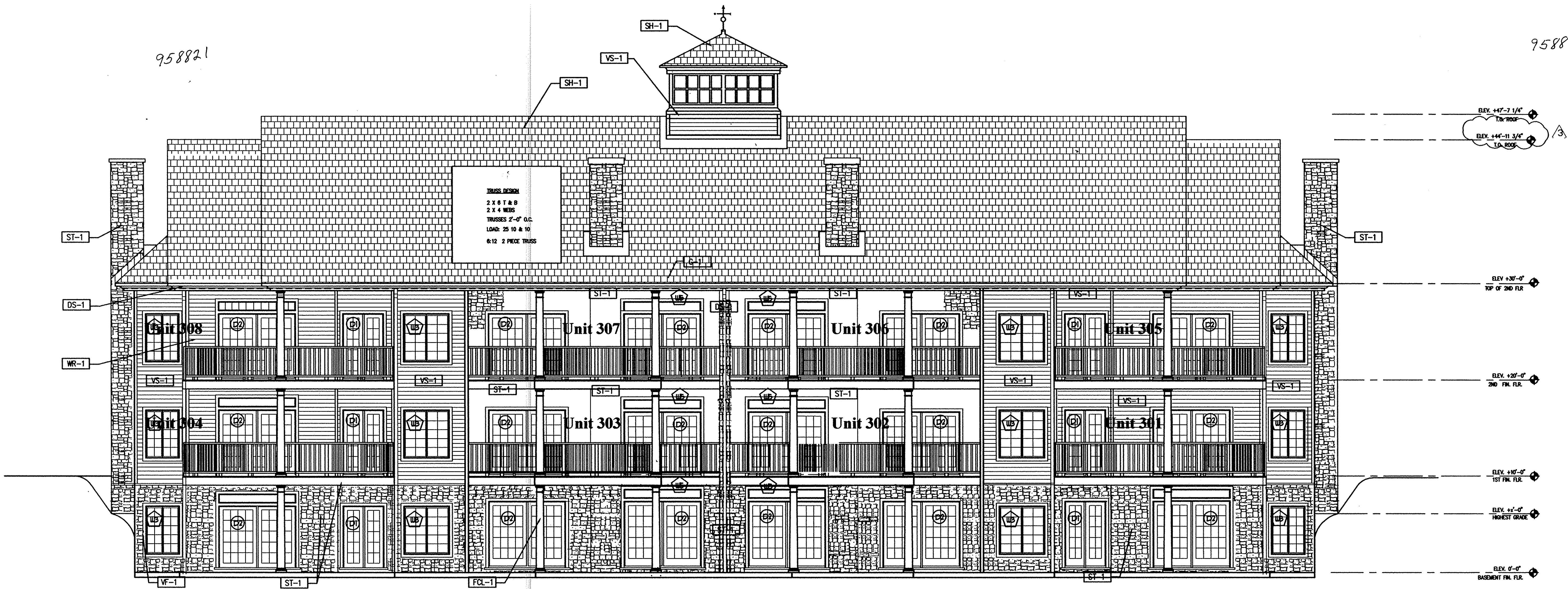
OWNER:  
 GILTZ & ASSOCIATES  
 4835 MUNSON STREET N.W.  
 CANTON, OHIO 44718  
 PH. (330) 494-6005  
 HARRY GILTZ, JR.

**VERMILION SHORES**  
 condominiums

WHISPERING SHORES DR. VERMILION, OHIO

Exterior Elevations

Job No.: 9580  
 Drawn: BK  
 Checked: RV  
 Date: 3-28-02



**TRUSS DESIGN**  
 2 X 6 T & B  
 2 X 4 WEBS  
 TRUSSES 2'-0" O.C.  
 LOAD: 25 10 & 10  
 6/12 2 PIECE TRUSS

**1 LAKESIDE ELEVATION**  
 A-2.0 SCALE: 3/8" = 1'-0"

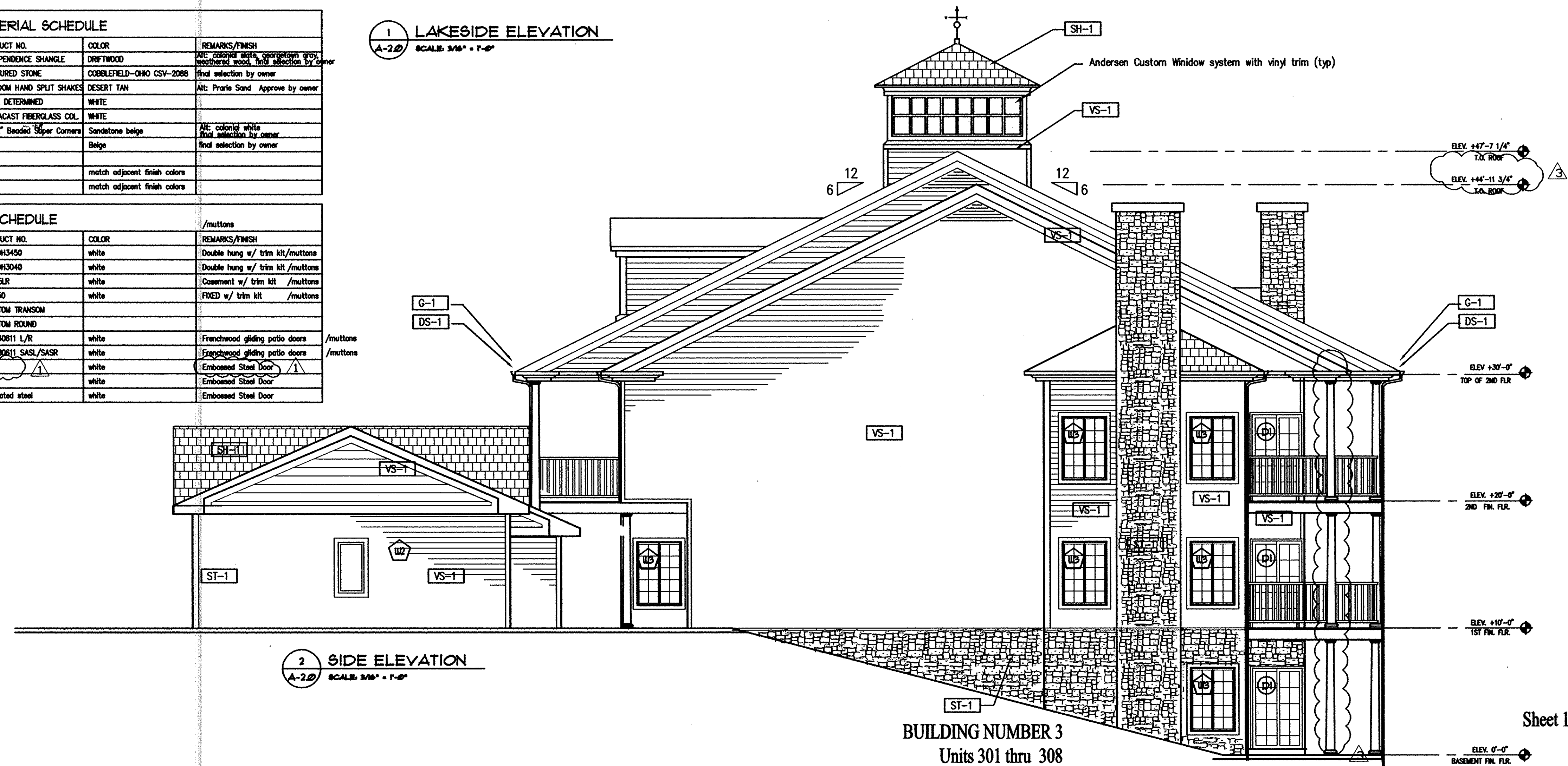
**EXTERIOR FINISH MATERIAL SCHEDULE**

CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
SH-1	SHINGLES	CERTAINTED	INDEPENDENCE SHINGLE	DRIFTWOOD	ALL: colonial white, gray, green, gray, weathered wood. final selection by owner
ST-1	CULTURED STONE	OMENS CORNING	CULTURED STONE	COBBLEFIELD-OHO CSV-2088	final selection by owner
VS-1	VINYL SIDING	CERTAINTED - CEDAR IMPRESSIONS	RANDOM HAND SPLIT SHAKES	DESERT TAN	Alt: Prairie Sand Approve by owner
WR-1	VINYL COATED WOOD RAILING	TO BE DETERMINED	TO BE DETERMINED	WHITE	
CL-1	FIBERGLASS COLUMN	HB&G	PERMACAST FIBERGLASS COL.	WHITE	Alt: colonial white final selection by owner
VF-1	VINYL TRIM	CERTAINTED	3 1/2" Beaded Soper Corners	Sandstone beige	Alt: colonial white final selection by owner
D-1	PLASTIC LUMBER DECK	PERMADECK	5/4"	Beige	final selection by owner
G-1	ALUMINUM GUTTERS				match adjacent finish colors
DS-1	ALUMINUM DOWNSPOUT				match adjacent finish colors

**DOOR AND WINDOW SCHEDULE**

CODE	ROUGH OPENING	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
W1	3'-0" x 5'-0"	ANDERSEN	2440H3450	white	Double hung w/ trim kit/mittens
W2	2'-0" x 3'-0"	ANDERSEN	2440H3040	white	Double hung w/ trim kit/mittens
W3	4'-8" x 5'-0 1/2"	ANDERSEN	CW25LR	white	Casement w/ trim kit /mittens
W4	3'-0 1/2" x 5'-0 1/2"	ANDERSEN	P3050	white	FIXED w/ trim kit /mittens
W5	1' X	ANDERSEN	CUSTOM TRANSOM		
W6		ANDERSEN	CUSTOM ROUND		
D1	6'-0" x 6'-11"	ANDERSEN	FWG0811 L/R	white	Frenchwood gliding patio doors /mittens
D2	6'-0" x 6'-11"	ANDERSEN	FWG0811 SASL/SASR	white	Frenchwood gliding patio doors /mittens
D3	3'-0" x 6'-8"	Thermo-Tru	(210)	white	Embossed Steel Door
D4	3'-0" x 6'-8"	Thermo-Tru	210	white	Embossed Steel Door
G1	9'-0" x 7'-0"	woyne-dutton	insulated steel	white	Embossed Steel Door

**2 SIDE ELEVATION**  
 A-2.0 SCALE: 3/8" = 1'-0"



**BUILDING NUMBER 3**  
 Units 301 thru 308

Sheet 11 of 18

A-2.0

TAX MAP DEPT. COPY #03-00647

77/66



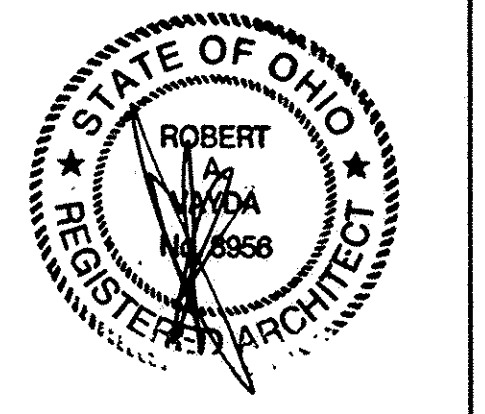
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958821

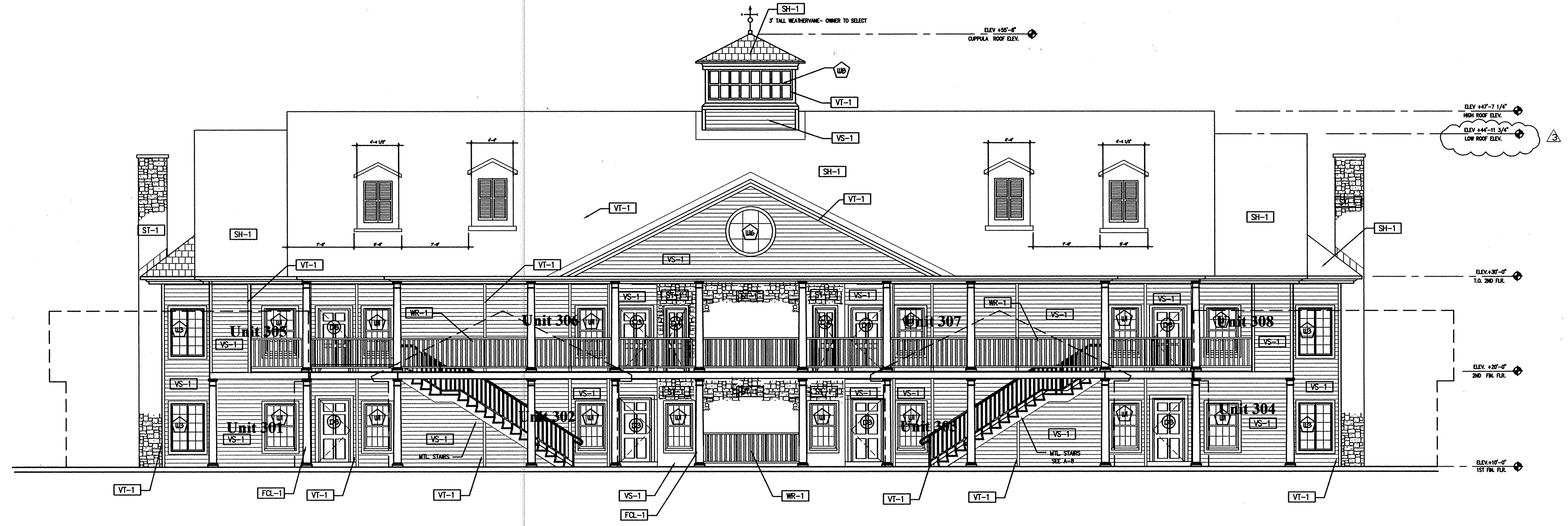
Issue: \_\_\_\_\_ Date: \_\_\_\_\_

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BID/PERMIT SET	4-25-02
GENERAL REVISION	5-1-02
TRUSS REVISION	7-11-02
REVISION	9-23-02
REVISION	7-03-03

(general revisions not clouded)



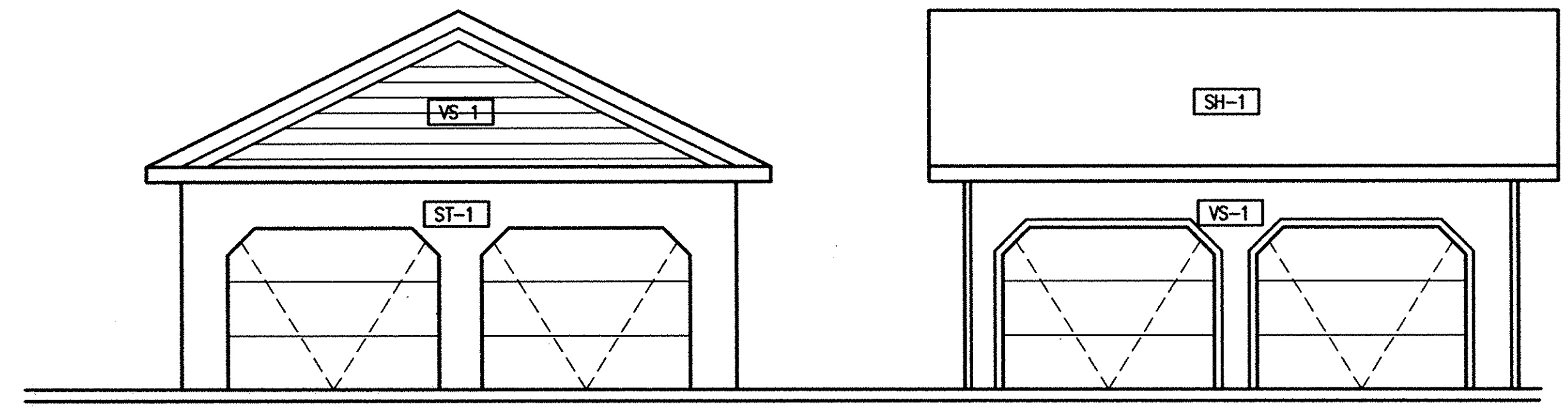
OWNER:  
 GILTZ & ASSOCIATES  
 4835 MUNSON STREET N.W.  
 CANTON, OHIO 44718  
 PH. (330) 494-6005  
 HARRY GILTZ JR.



1 FRONT ELEVATION  
 A-21 SCALE: 3/16" = 1'-0"

EXTERIOR FINISH MATERIAL SCHEDULE					
CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
SH-1	SHINGLES	CERTAINTED	INDEPENDENCE SHANKLE	DRIFTWOOD	A/E colored asphalt shingles, green/gray weathered wood, final selection by owner
ST-1	CULTURED STONE	OWENS CORNING	CULTURED STONE	COBBLEFIELD-OWO CSY-2088	final selection by owner
VS-1	VINYL SIDING	CERTAINTED - CEDAR IMPRESSIONS	RANDOM HAND SPLIT SHAKES	DESERT TAN	A/E: Prairie Sand Approve by owner
WR-1	VINYL COATED WOOD RAILING	TO BE DETERMINED	TO BE DETERMINED	WHITE	
CL-1	FIBERGLASS COLUMN	HB&G	PERMACAST FIBERGLASS COL.	WHITE	
VF-1	VINYL TRIM	CERTAINTED	3 1/2" Beaded Super Corners	Sandstone beige	A/E colored white final selection by owner
D-1	PLASTIC LUMBER DECK	PERMADECK	5/4"	Beige	final selection by owner
G-1	ALUMINUM GUTTERS				match adjacent finish colors
DS-1	ALUMINUM DOWNSPOUT				match adjacent finish colors

DOOR AND WINDOW SCHEDULE					
CODE	ROUGH OPENING	MANUFACTURER	PRODUCT NO.	COLOR	REMARKS/FINISH
W1	3'-0" x 5'-0"	ANDERSEN	2440H3450	white	Double hung w/ trim kit/muttons
W2	2'-0" x 4'-0"	ANDERSEN	2440H3040	white	Double hung w/ trim kit/muttons
W3	2'-0" x 5'-0 1/2"	ANDERSEN	OW2SLR	white	Coement w/ trim kit /muttons
W4	3'-0 1/2" x 5'-0 1/2"	ANDERSEN	P3050	white	FIXED w/ trim kit /muttons
W5	1' x	ANDERSEN	CUSTOM TRANSOM	white	
W6	NOMINAL	ANDERSEN	CUSTOM ROUND	white	
W7	NOMINAL	ANDERSEN	CUSTOM	white	
W8	NOMINAL	ANDERSEN	CUSTOM	white	
D1	6'-0" x 6'-11"	ANDERSEN	FWG0811 L/R	white	Frenchwood gliding patio doors /muttons
D2	6'-0" x 6'-11"	ANDERSEN	FWG0811 SASL/SASR	white	Frenchwood gliding patio doors /muttons
D3	3'-0" x 6'-8"	Therma-Tru	210	white	Embossed Steel Door
D4	3'-0" x 6'-8"	Therma-Tru	210	white	Embossed Steel Door
D1	9'-0" x 7'-0"	wayne-dalton	insulated steel	white	Embossed Steel Door



2 GARAGE ELEVATION  
 A-21 SCALE: 3/16" = 1'-0"

BUILDING NUMBER 3  
 Units 301 thru 308

VERMILION SHORES  
 condominiums

VERMILION, OHIO  
 WHISPERING SHORES DR.

Exterior Elevations

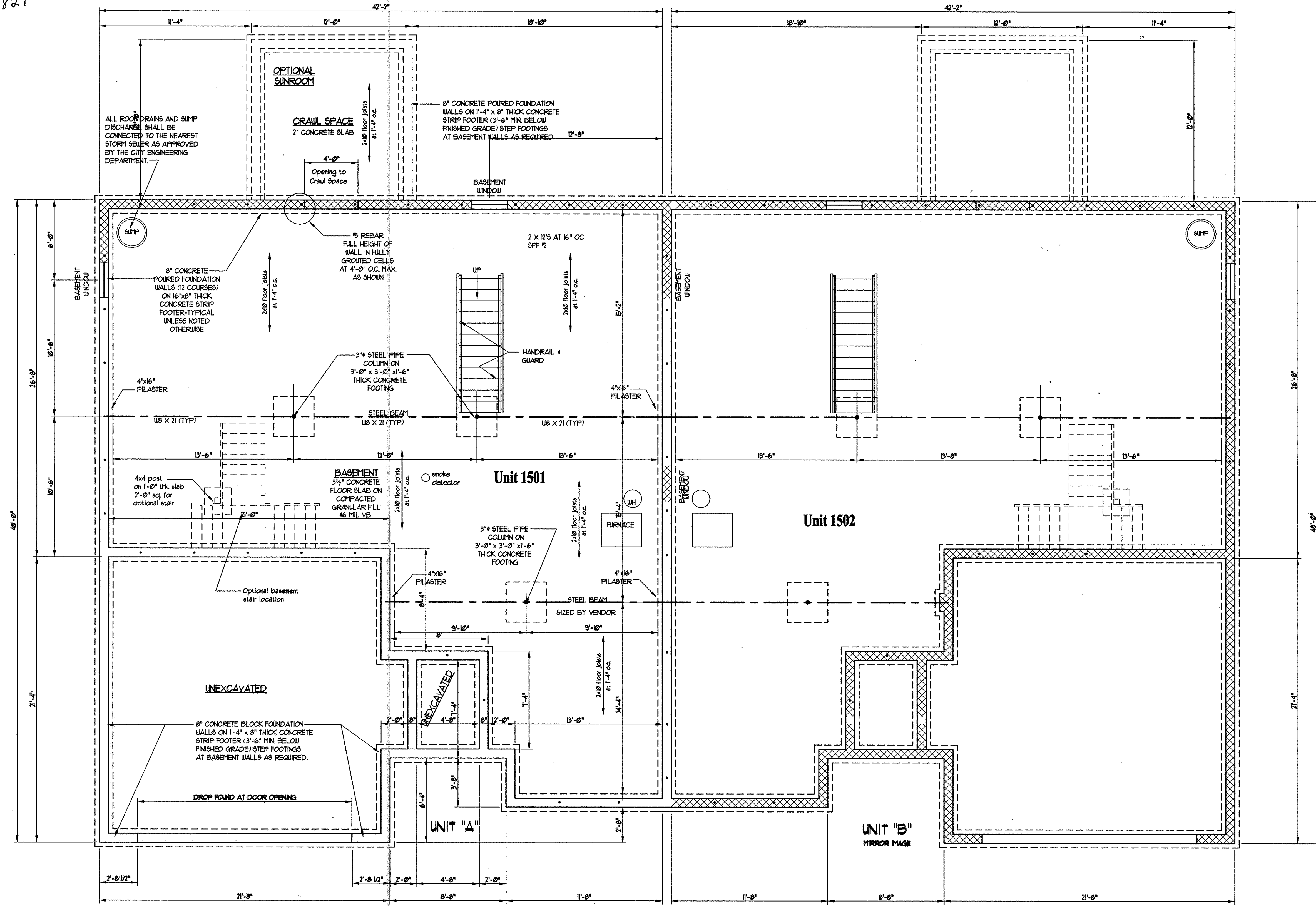
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 Job No.: 9850

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 11 | ©2001 VAYDA ARCHITECTS, INC.



958821

958821



**BASEMENT / FOUNDATION PLAN**  
1/4" = 1'-0"

**STRUCTURAL NOTES**

1. TRUSSES TO BE DESIGNED BY TRUSS MANUFACTURER.
2. TRUSS LAYOUT AND SPECIFICATIONS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW.
3. PROVIDE CROSS BRIDGING & SOLID BLOCKING AS REQUIRED BETWEEN FLOOR JOISTS AT MID SPAN (NOT TO EXCEED 8'-0" O.C.)
4. PROVIDE DOUBLE FLOOR JOIST OR SOLID BLOCKING BETWEEN JOISTS BELOW ALL PARTITION WALLS.
5. ALL LUMBER EXPOSED TO THE WEATHER SHALL OR WITHIN 8" OF FINISHED GRADE SHALL BE PRESERVATIVE TREATED.

Issue: PRELIMINARY  
Rev: REV PER STONE RIVER  
Date: 5-01-02  
8-01-03



OWNER:  
GILTZ & ASSOCIATES  
4835 MUNSON STREET N.W.  
CANTON, OHIO 44718  
PH (330) 494-6005  
HARRY GILTZ, JR.

**Vermilion Shores Cluster Homes**  
VERMILION, OHIO  
CLEVELAND-SANDUSKY RD.

**Basement/ Foundation Plan**  
Job No.: 5121  
Drawn: KC  
Checked: RV  
Date: 3-28-02

BUILDING NUMBER 15  
Units 1501 thru 1502

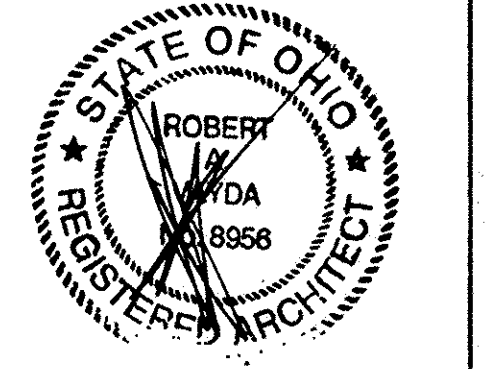
Sheet 13 of 18

**A-1**

TAX MAP DEPT COPY #03-00647

77/68





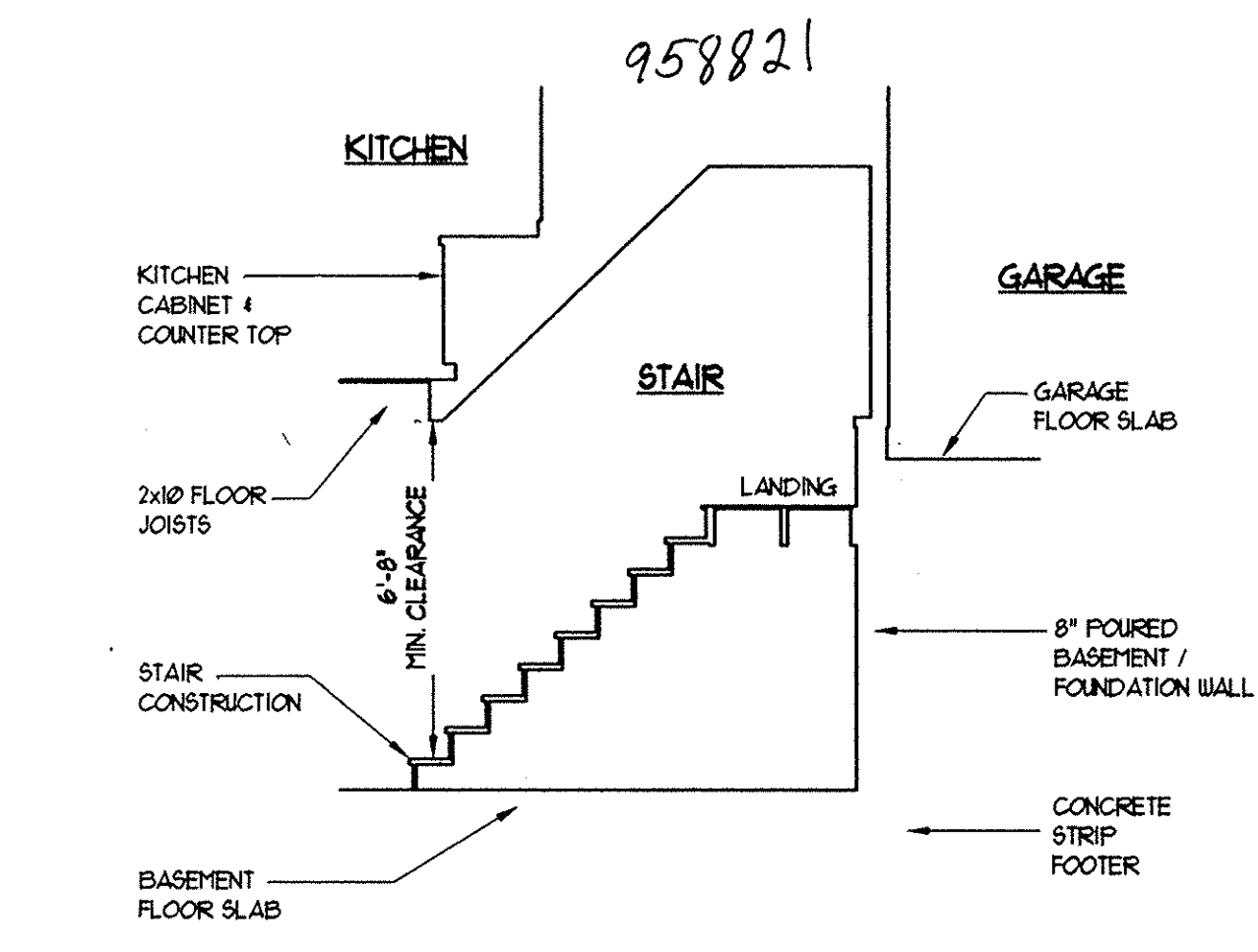
OWNER:  
 GILTZ & ASSOCIATES  
 4835 MUNSON STREET N.W.  
 CANTON, OHIO 44718  
 PH. (330) 484-6005  
 HARRY GILTZ, JR.

**Vermilion Shores Cluster Homes**

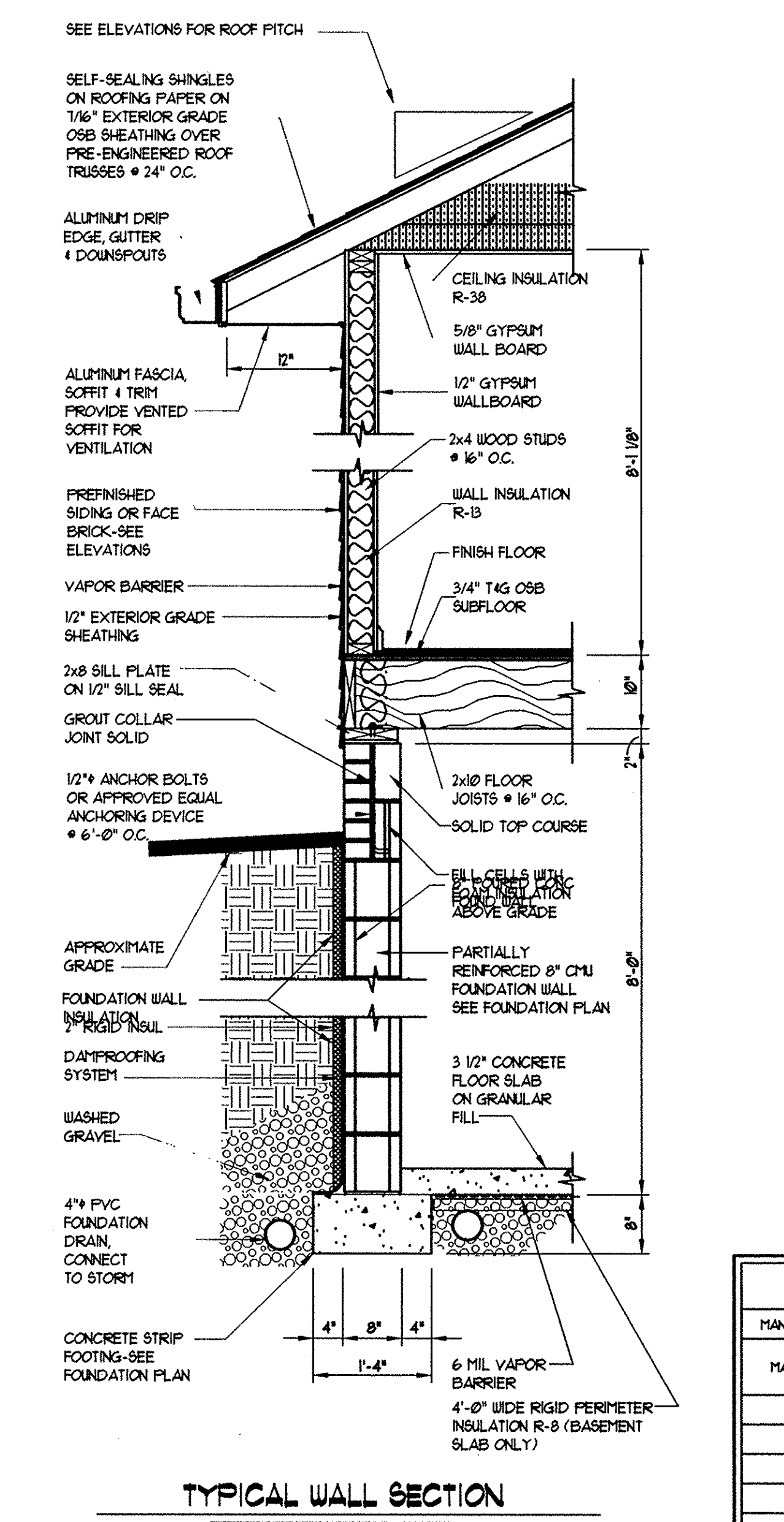
VERMILION, OHIO  
 CLEVELAND-SANDUSKY RD.

**Floor Plan Section, Schedule**

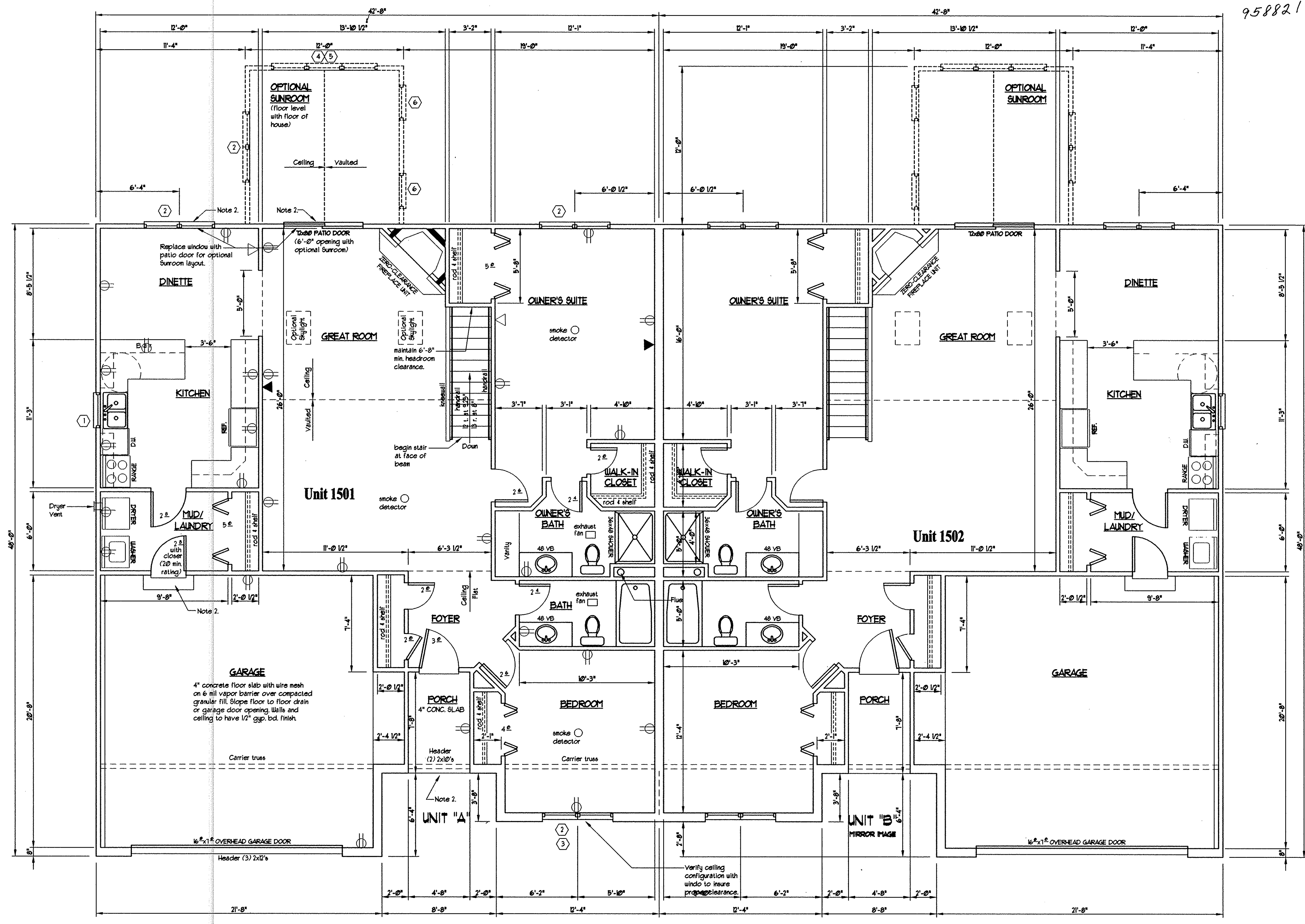
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 Drawn: KK  
 Job No.: 9721



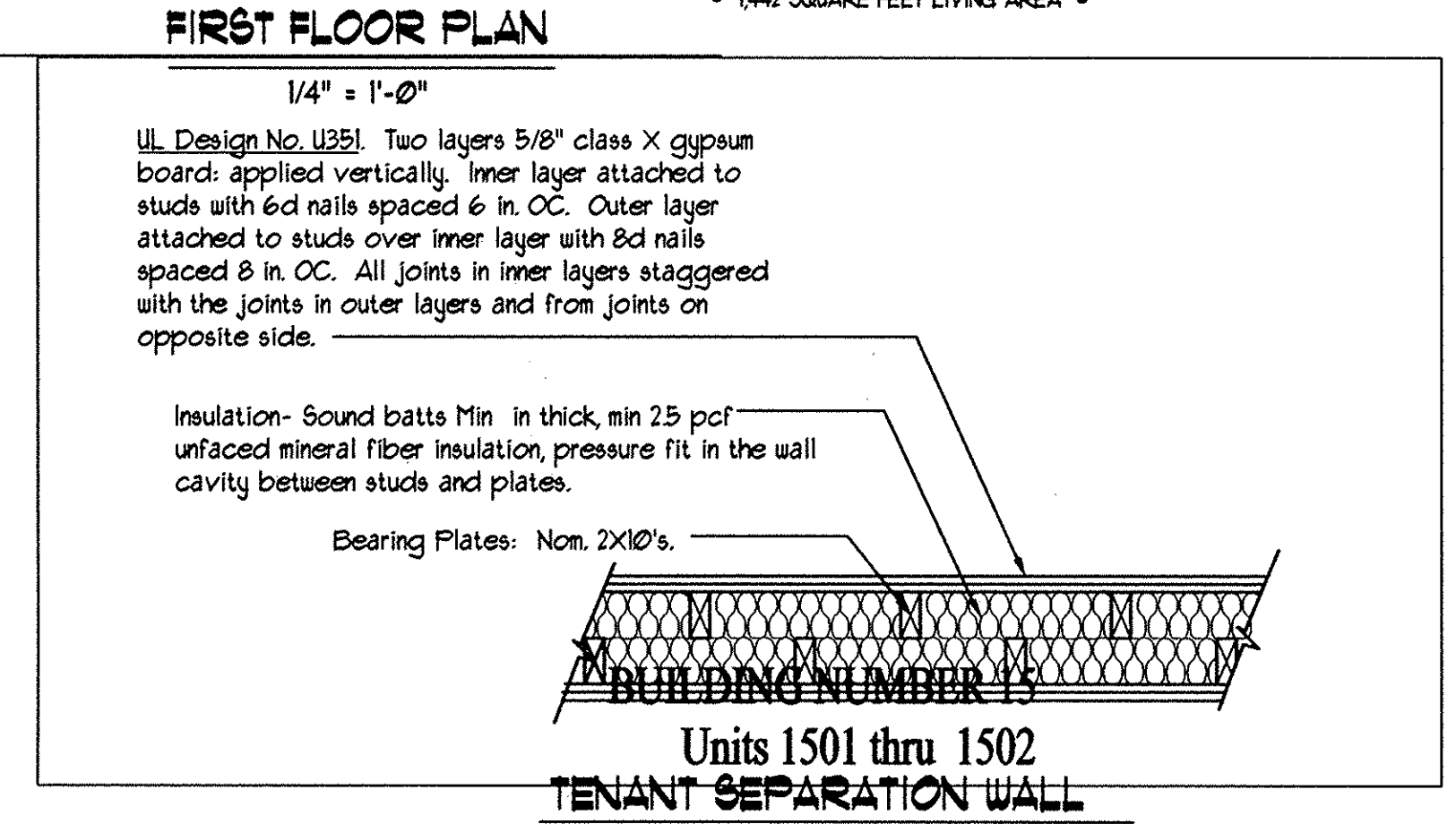
SECTION AT OPTIONAL STAIR LOCATION "B"  
 1/4" = 1'-0"



NOTES:  
 1. 44" MAX. SILL HEIGHT  
 2. AT OPTIONAL SUNROOM



WINDOW SCHEDULE						
MANUFACTURER: ANDERSEN						
MARK	DESCRIPTION	ROUGH OPENING (MIN)	CLEAR AREA REQUIRED	CLEAR AREA PROVIDED	CLEAR OPNG. REQUIRED	CLEAR OPNG. PROVIDED
1	30210 NARROWLINE DOUBLE HING	3'-2 1/8" x 3'-1 1/4"				
2	2846-2 TUN NARROWLINE DOUBLE HING	5'-1 1/16" x 4'-9 1/4"	50 SQ. FT.	524 SQ. FT.	20" x 24"	30 11/16" x 24 9/16"
3	CTN-2 NARROWLINE CIRCLE TOP	5'-1 1/16" x 3'-0 1/2"				
4	2846-3 TRIPLE NARROWLINE DOUBLE HING	8'-5 1/2" x 4'-9 1/4"				
5	CTN-8 NARROWLINE CIRCLE TOP	2'-10 1/8" x 1'-3 3/4"				
6	2846 NARROWLINE DOUBLE HING	2'-10 1/8" x 4'-9 1/4"				



- NOTES**
- Dimensions are rough frame dimensions:  
 3 1/2" interior walls  
 4" exterior walls  
 (unless noted otherwise)
  - All points of egress shall be equipped with stairways, handrails and guardrails (if required) which meet requirements of OBCA Residential Building Code Sections 314 and 315.
  - All interior headers shall be (2) 2x4's unless noted otherwise on the plans. All exterior headers shall be (2) 2x12's unless noted otherwise on the plans.
  - All exhaust fans shall be vented to the exterior.
  - All smoke detectors shall be electric with battery backup and shall be interconnected with one another per OBCA Residential Building Code Section 316.

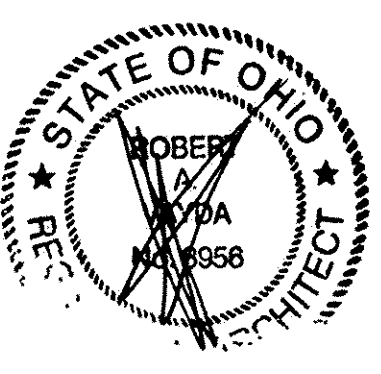


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Issue: PRELIMINARY  
Date: 5-21-02  
REV PER STONE RIVER 8-21-03

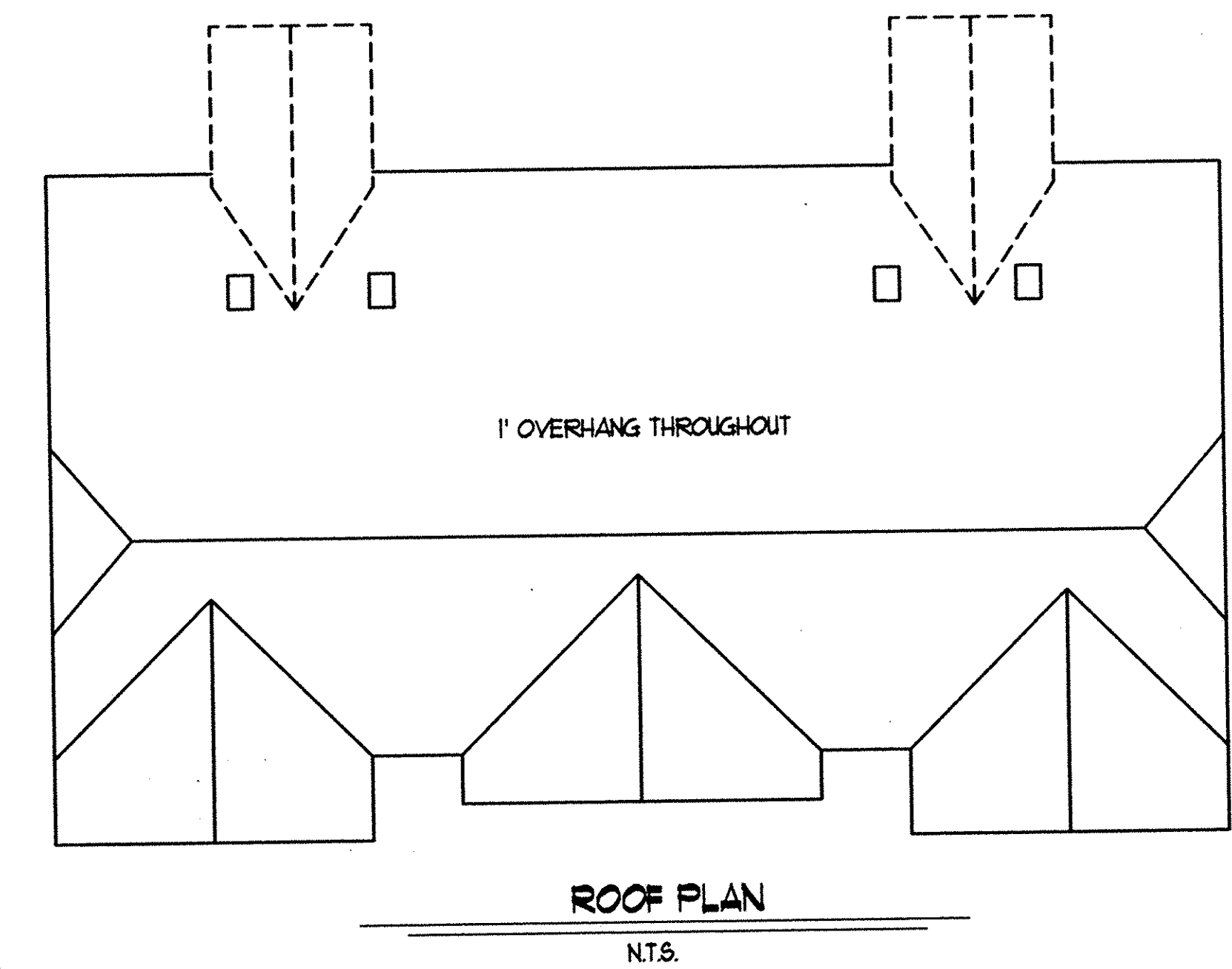
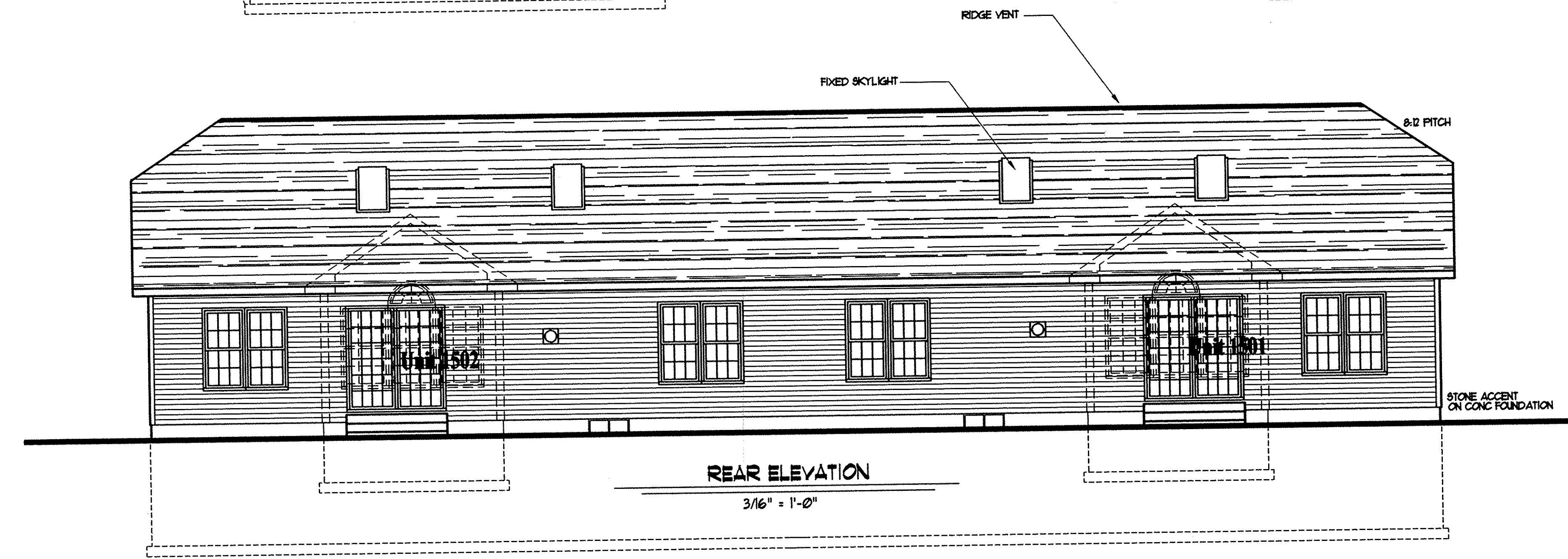
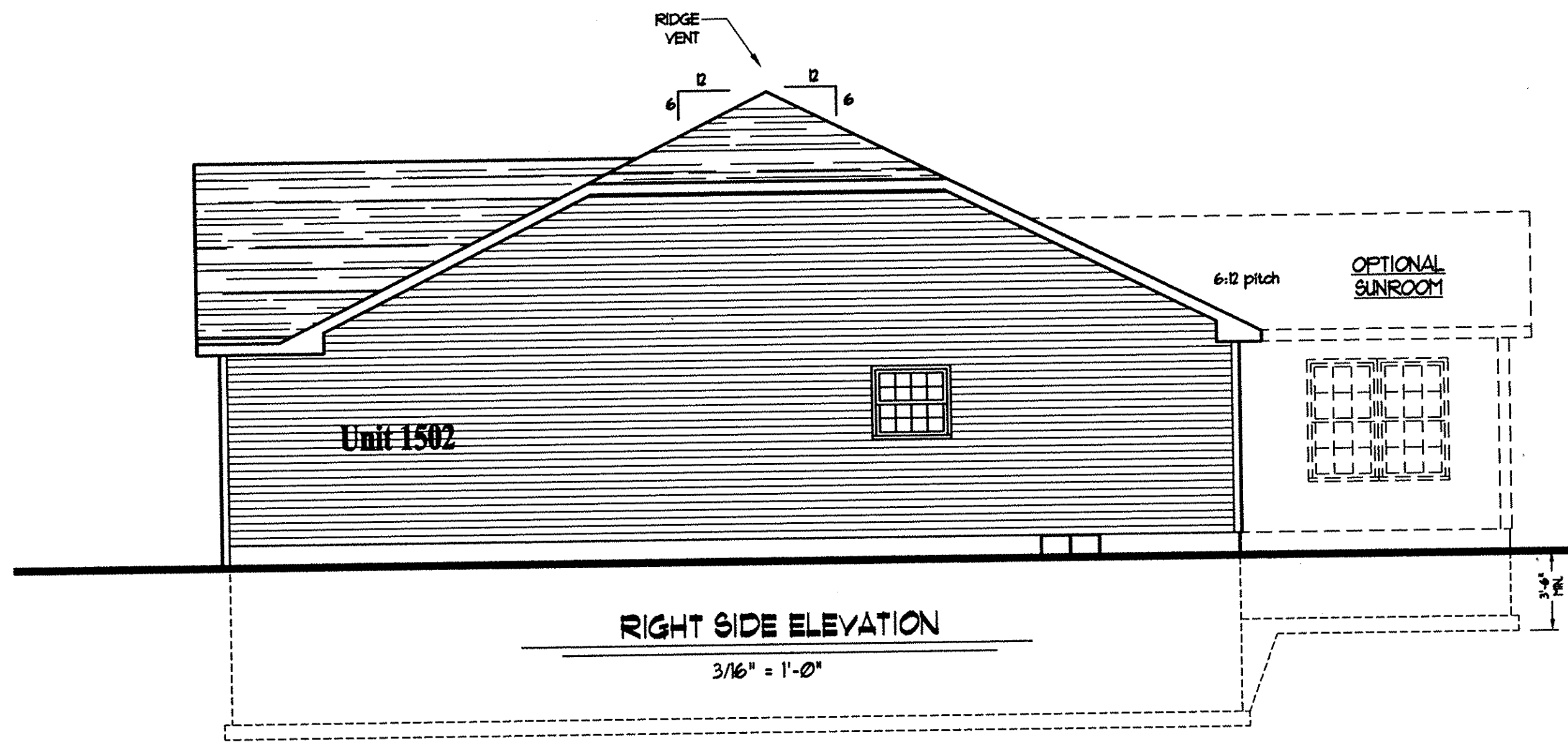
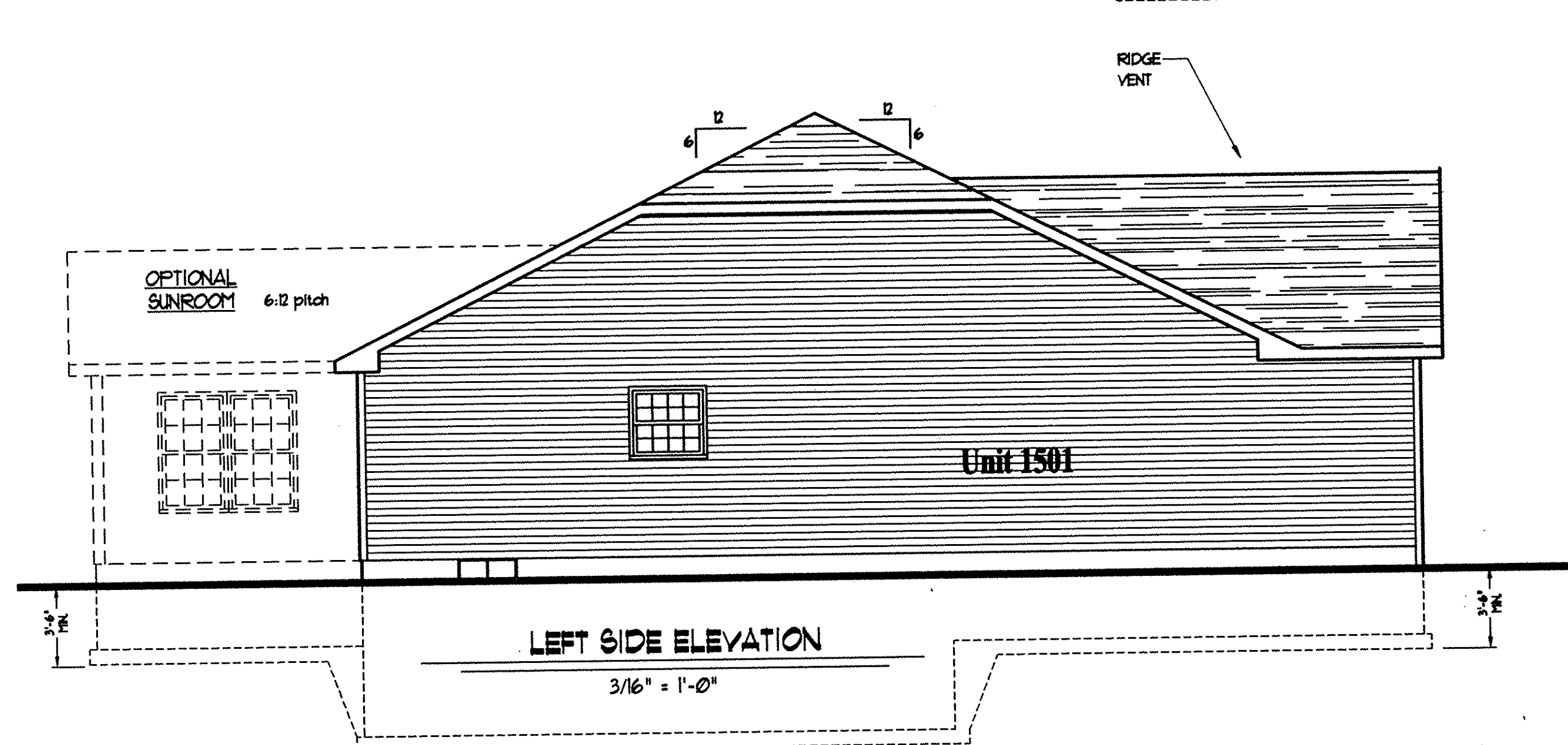
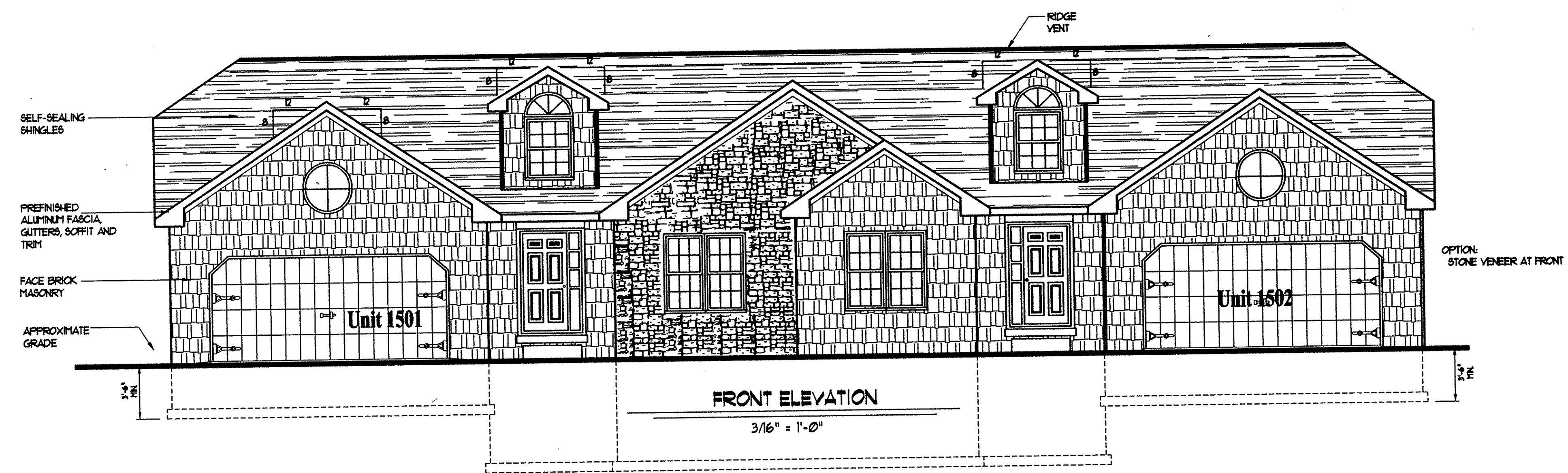


OWNER:  
GILTZ & ASSOCIATES  
4835 MUNSON STREET N.W.  
CANTON, OHIO 44718  
PH (330) 494-6005  
HARRY GILTZ, JR.

Vermilion Shores  
Cluster Homes  
VERMILION, OHIO  
CLEVELAND-SANDUSKY RD.

Exterior Elevations

Job No.: 9721  
Drawn: KR  
Checked: RV  
Date: 3-28-02



BUILDING NUMBER 15  
Units 1501 thru 1502

Sheet 15 of 18

A-3

77/70

TAX MAP DEPT. COPY #03-00647

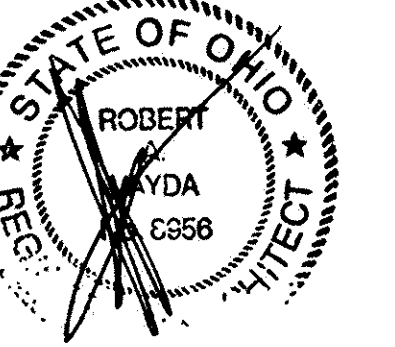


958821

958821



Issue: Preliminary 5-01-02  
 Date: REV PER Stone River 8-01-03



OWNER:  
 GILTZ & ASSOCIATES  
 4835 MUNSON STREET N.W.  
 CANTON, OHIO 44718  
 PH: (330) 494-6005  
 HARRY GILTZ JR.

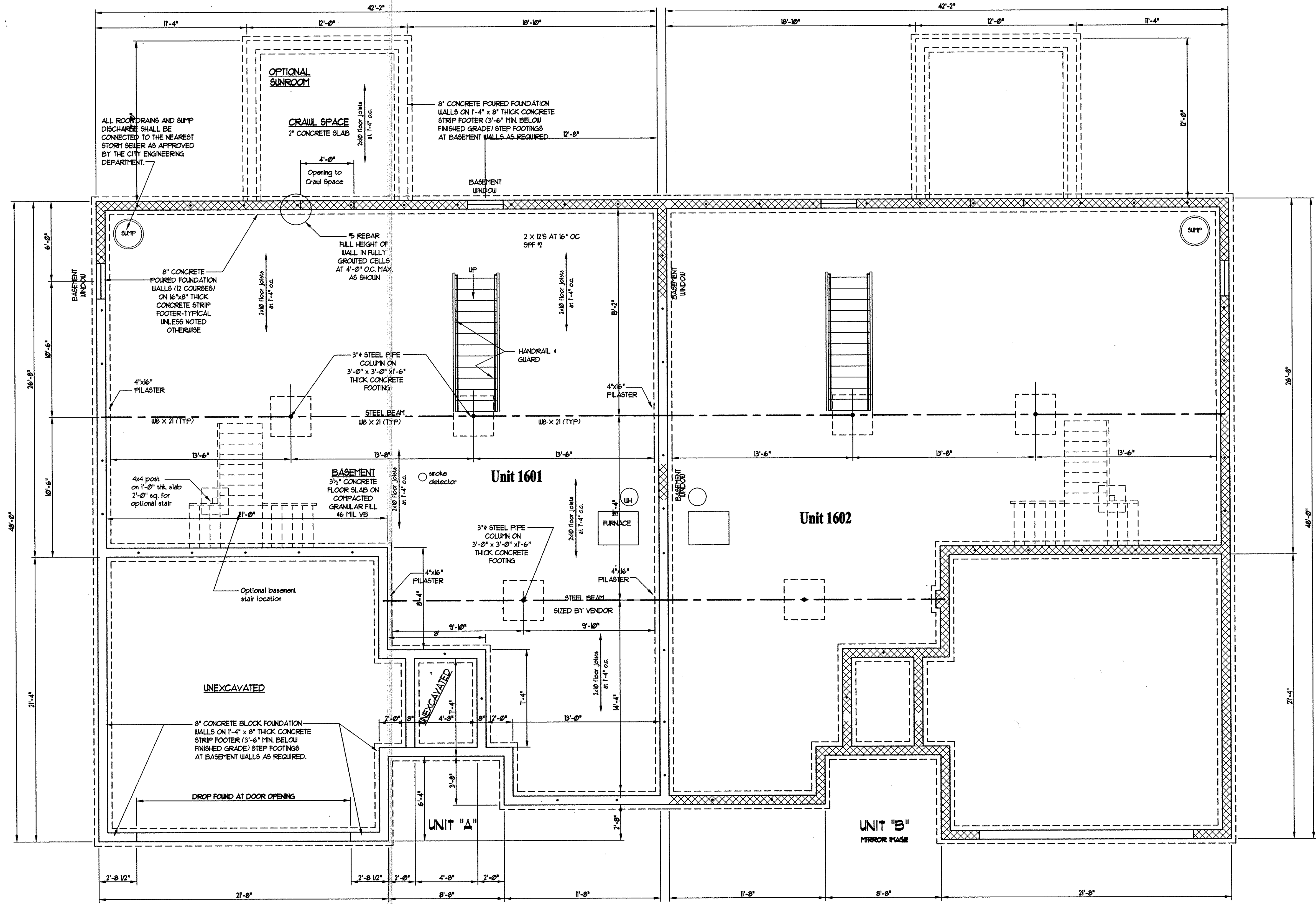
Vermilion Shores  
 Cluster Homes

VERMILION, OHIO

CLEVELAND-SANDUSKY RD.

Basement/  
 Foundation Plan

Job No.: 9721  
 Date: 3-28-02  
 Checked: RV  
 Drawn: KKC



BASEMENT / FOUNDATION PLAN  
 1/4" = 1'-0"

STRUCTURAL NOTES

- TRUSSES TO BE DESIGNED BY TRUSS MANUFACTURER.
- TRUSS LAYOUT AND SPECIFICATIONS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW.
- PROVIDE CROSS BRIDGING & SOLID BLOCKING AS REQUIRED BETWEEN FLOOR JOISTS AT MID SPAN (NOT TO EXCEED 8'-0" O.C.)
- PROVIDE DOUBLE FLOOR JOIST OR SOLID BLOCKING BETWEEN JOISTS BELOW ALL PARTITION WALLS.
- ALL LUMBER EXPOSED TO THE WEATHER SHALL OR WITHIN 8" OF FINISHED GRADE SHALL BE PRESERVATIVE TREATED.

BUILDING NUMBER 16  
 Units 1601 thru 1602

Sheet 16 of 18

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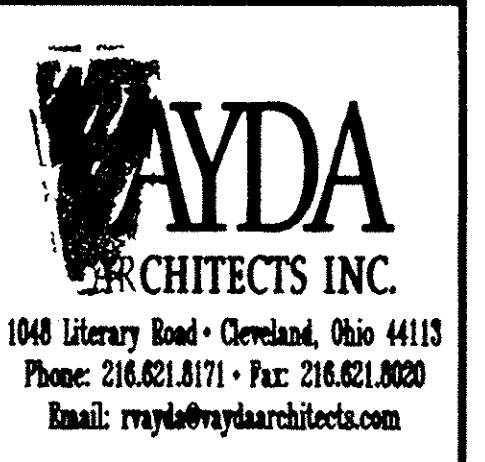
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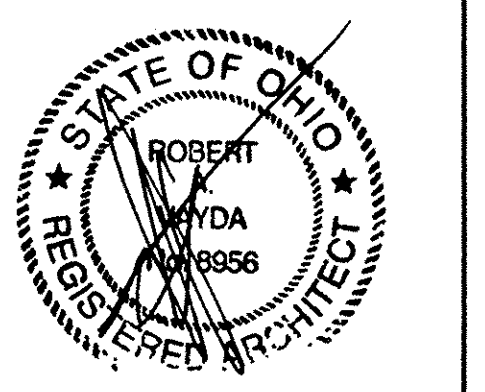


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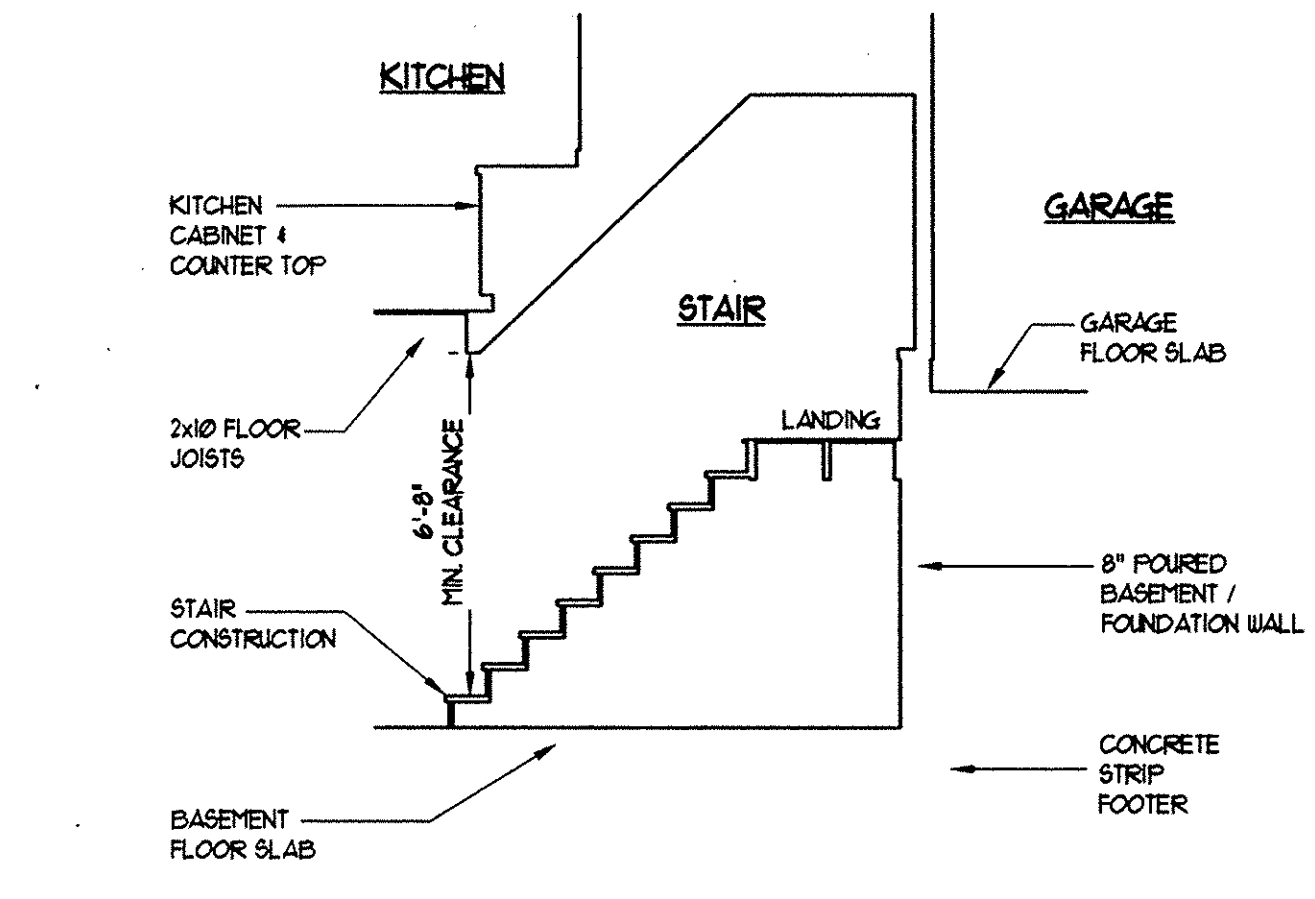
Issue: PRELIMINARY 5-01-02  
REV PER STONE RIVER 8-01-03



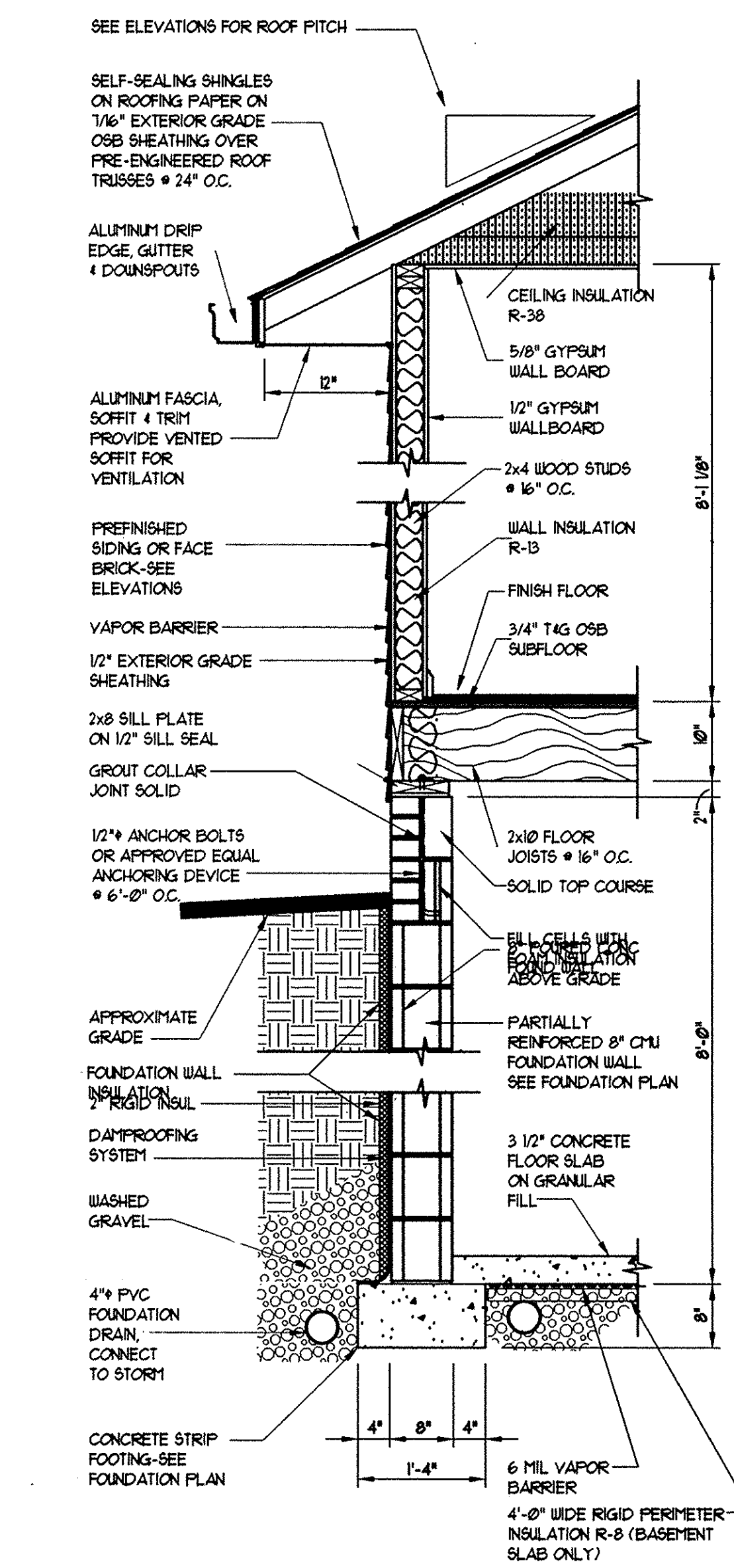
OWNER: GILTZ & ASSOCIATES  
4835 MUNSON STREET N.W.  
CANTON, OHIO 44718  
PH: (330) 494-6005  
HARRY GILTZ, JR.

# Vermilion Shores Cluster Homes

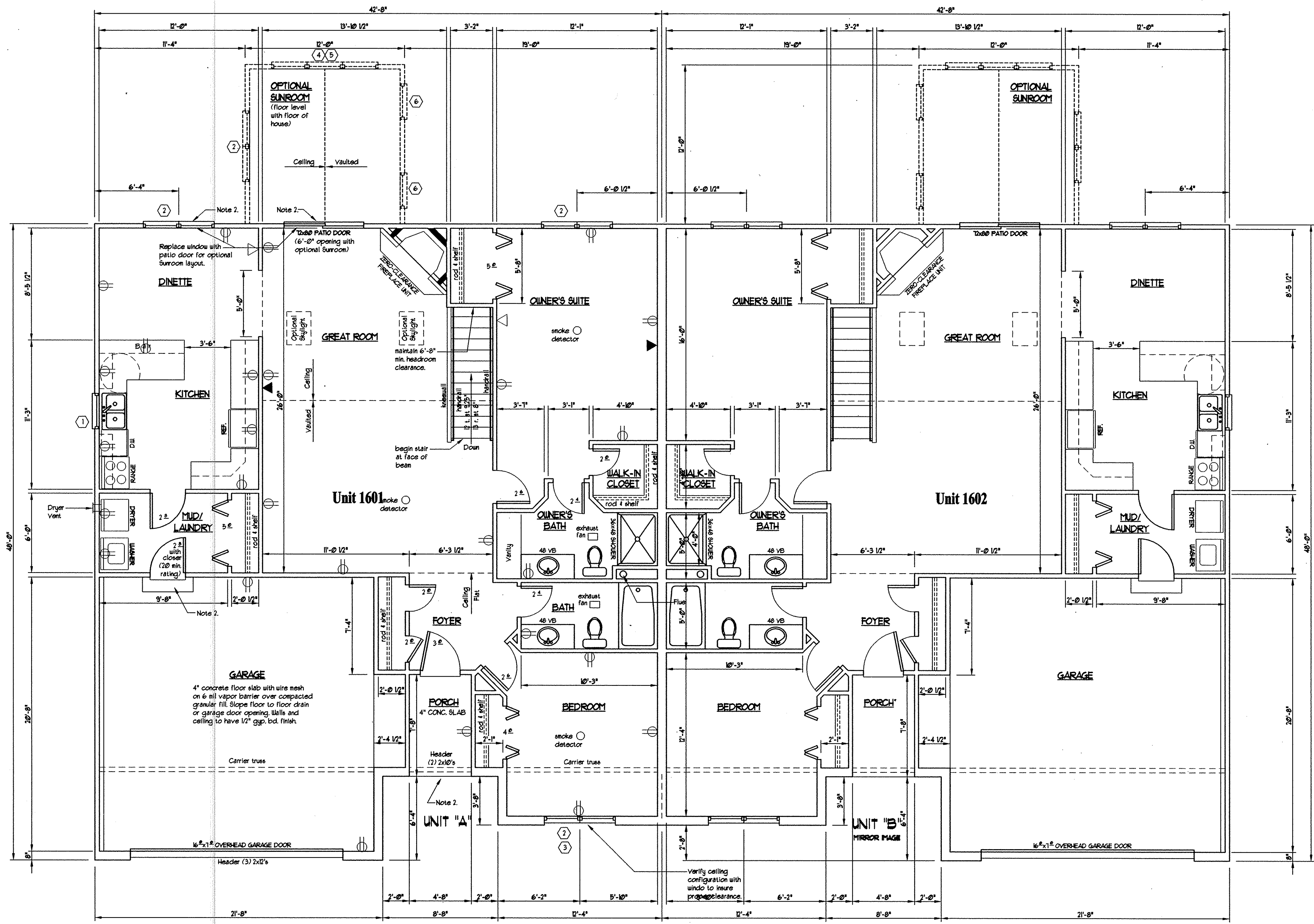
Floor Plan Section, Schedule  
Job No.: 9121  
Date: 3-28-02  
Checked: RK  
Drawn: HK



SECTION AT OPTIONAL STAIR LOCATION "B"  
1/4" = 1'-0"



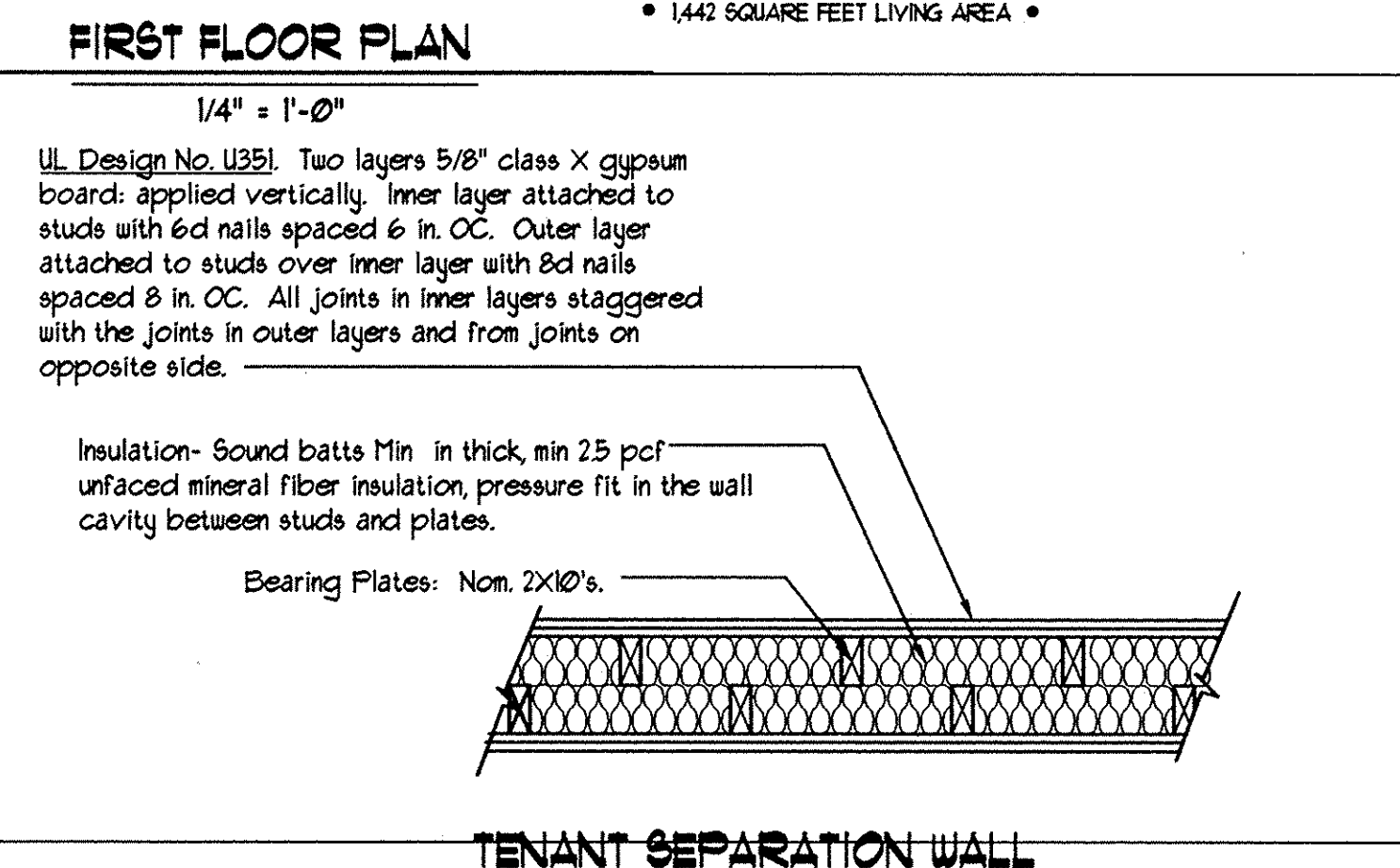
TYPICAL WALL SECTION  
3/4" = 1'-0"



WINDOW SCHEDULE						
MANUFACTURER: ANDERSEN						
MARK	DESCRIPTION	ROUGH OPENING (MIN)	CLEAR AREA REQUIRED	CLEAR AREA PROVIDED	CLEAR OPENING REQUIRED	CLEAR OPENING PROVIDED
1	30210 NARROWLINE DOUBLE HUNG	3'-2 1/8" x 3'-1 1/4"				
2	2846-2 TWIN NARROWLINE DOUBLE HUNG	5'-1 13/16" x 4'-9 1/4"	50 SQ. FT.	524 SQ. FT.	20" x 24"	30 11/16" x 24 3/16"
3	CTN-2 NARROWLINE CIRCLE TOP	5'-1 13/16" x 3'-0 1/2"				
4	2846-3 TRIPLE NARROWLINE DOUBLE HUNG	8'-5 1/2" x 4'-9 1/4"				
5	CTN8 NARROWLINE CIRCLE TOP	2'-10 1/8" x 1'-3 3/4"				
6	2846 NARROWLINE DOUBLE HUNG	2'-10 1/8" x 4'-9 1/4"				

NOTES:  
1. 44" MAX. SILL HEIGHT  
2. AT OPTIONAL SUNROOM

BUILDING NUMBER 16  
Units 1601 thru 1602



- NOTES**
- Dimensions are rough frame dimensions:  
3 1/2" interior walls  
4" exterior walls  
(unless noted otherwise)
  - All points of egress shall be equipped with stairways, handrails and guardrails (if required) which meet requirements of OBOA Residential Building Code Sections 314 and 315.
  - All interior headers shall be (2) 2x4's unless noted otherwise on the plans. All exterior headers shall be (2) 2x12's unless noted otherwise on the plans.
  - All exhaust fans shall be vented to the exterior.
  - All smoke detectors shall be electric with battery backup and shall be interconnected with one another per OBOA Residential Building Code Section 316.

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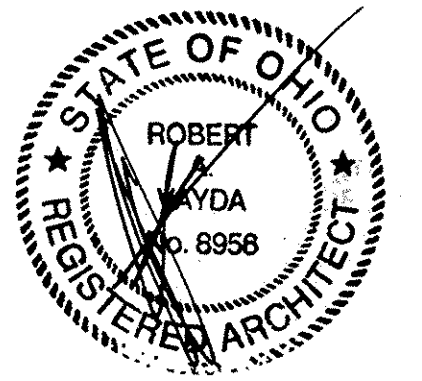


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Issue: Preliminary 5-01-02  
Rev Per Stone River 8-01-03



MARK J. GORDWART  
REGISTERED ARCHITECT

OWNER:  
GILTZ & ASSOCIATES  
4835 MUNSON STREET N.W.  
CANTON, OHIO 44718  
PH: (330) 494-6005  
HARRY GILTZ JR.

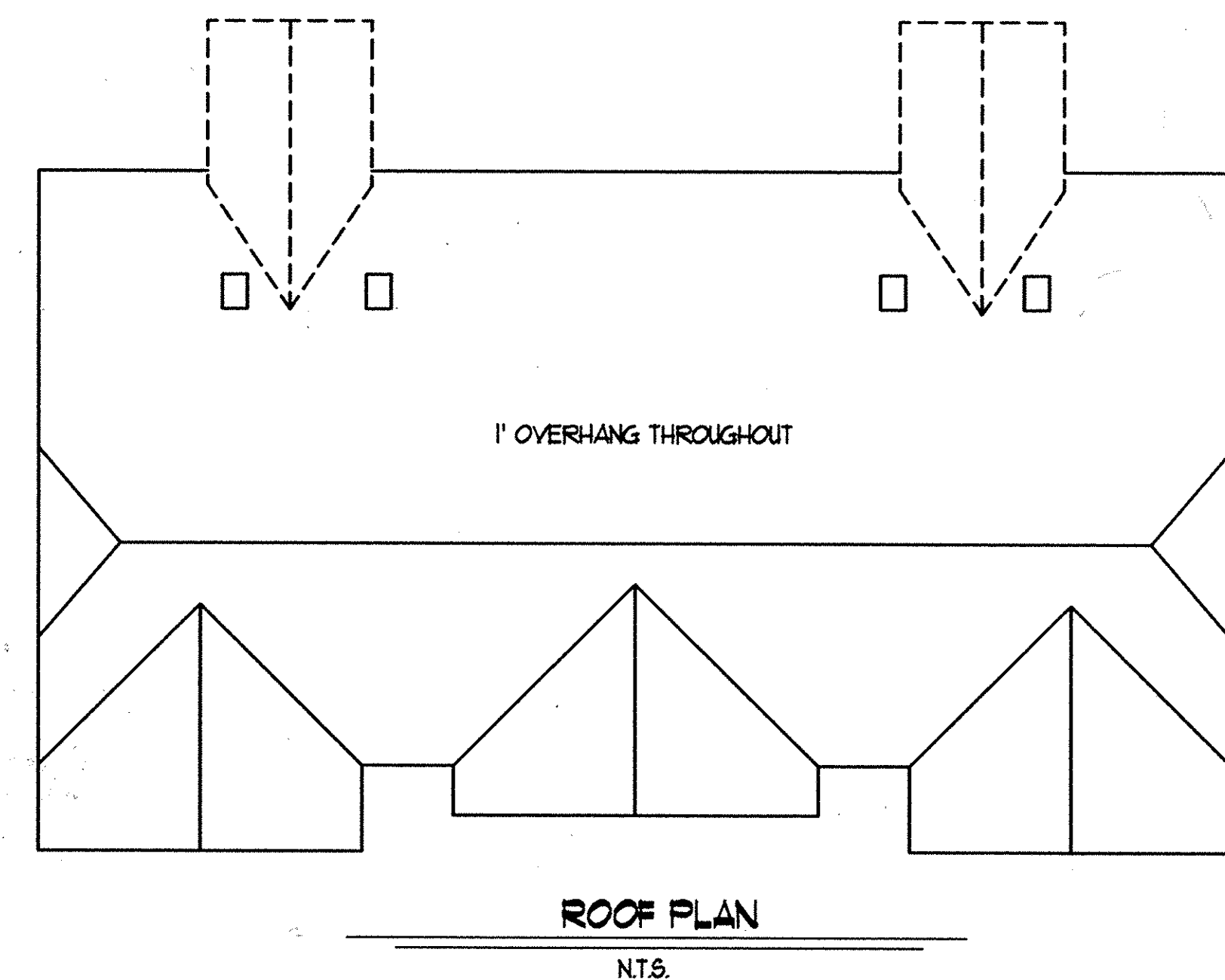
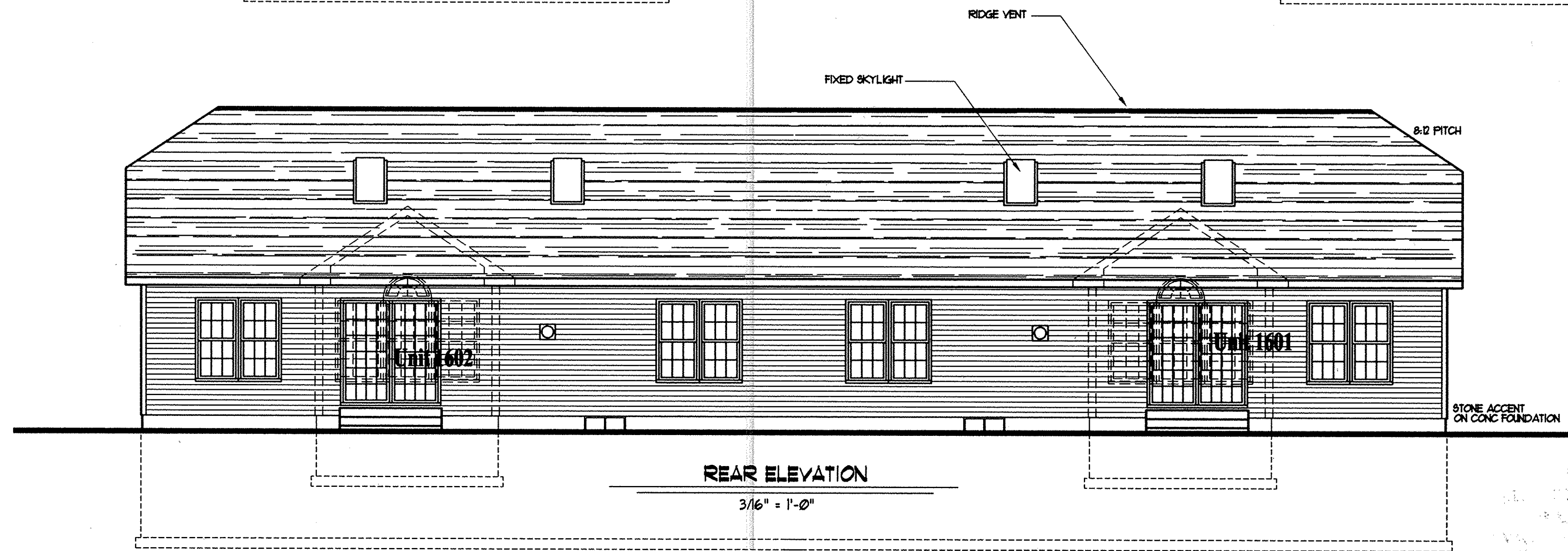
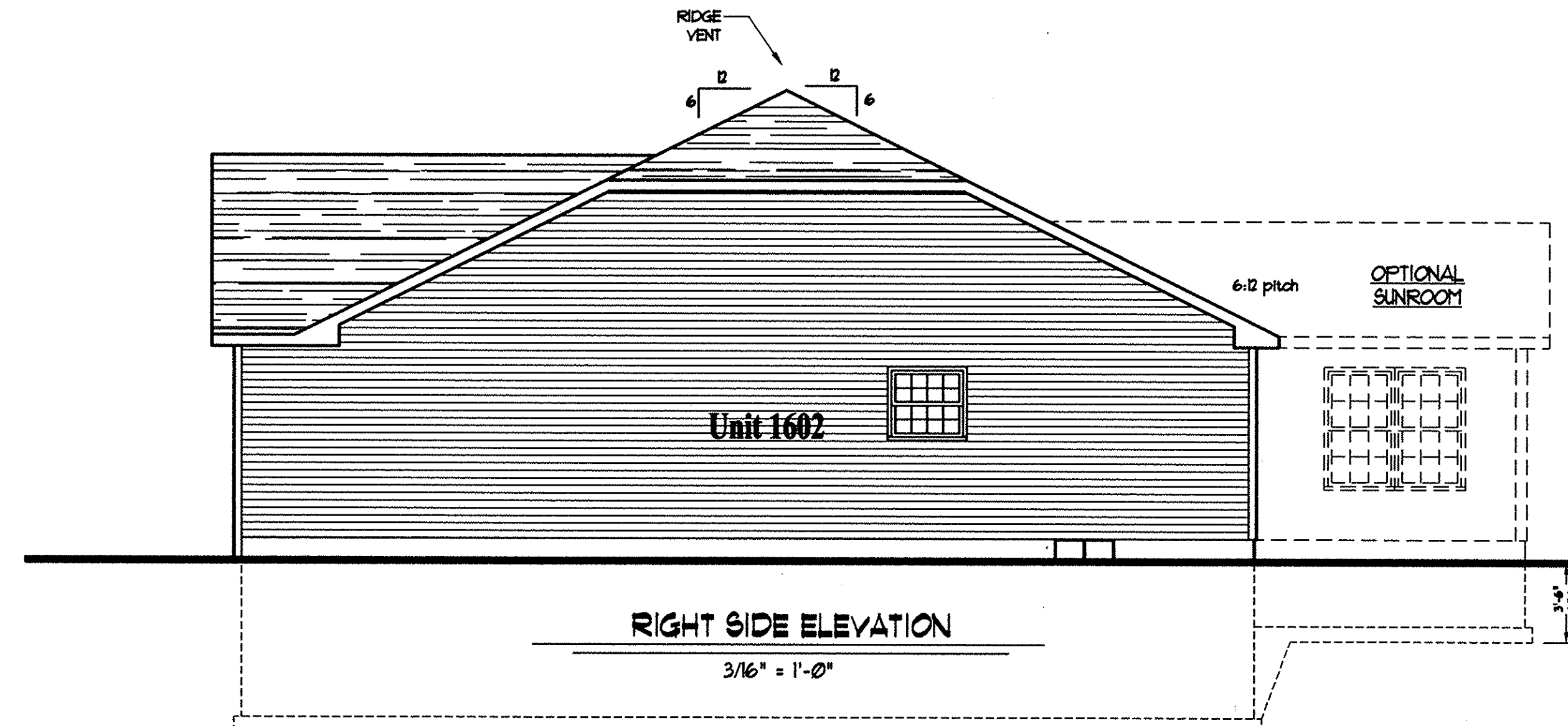
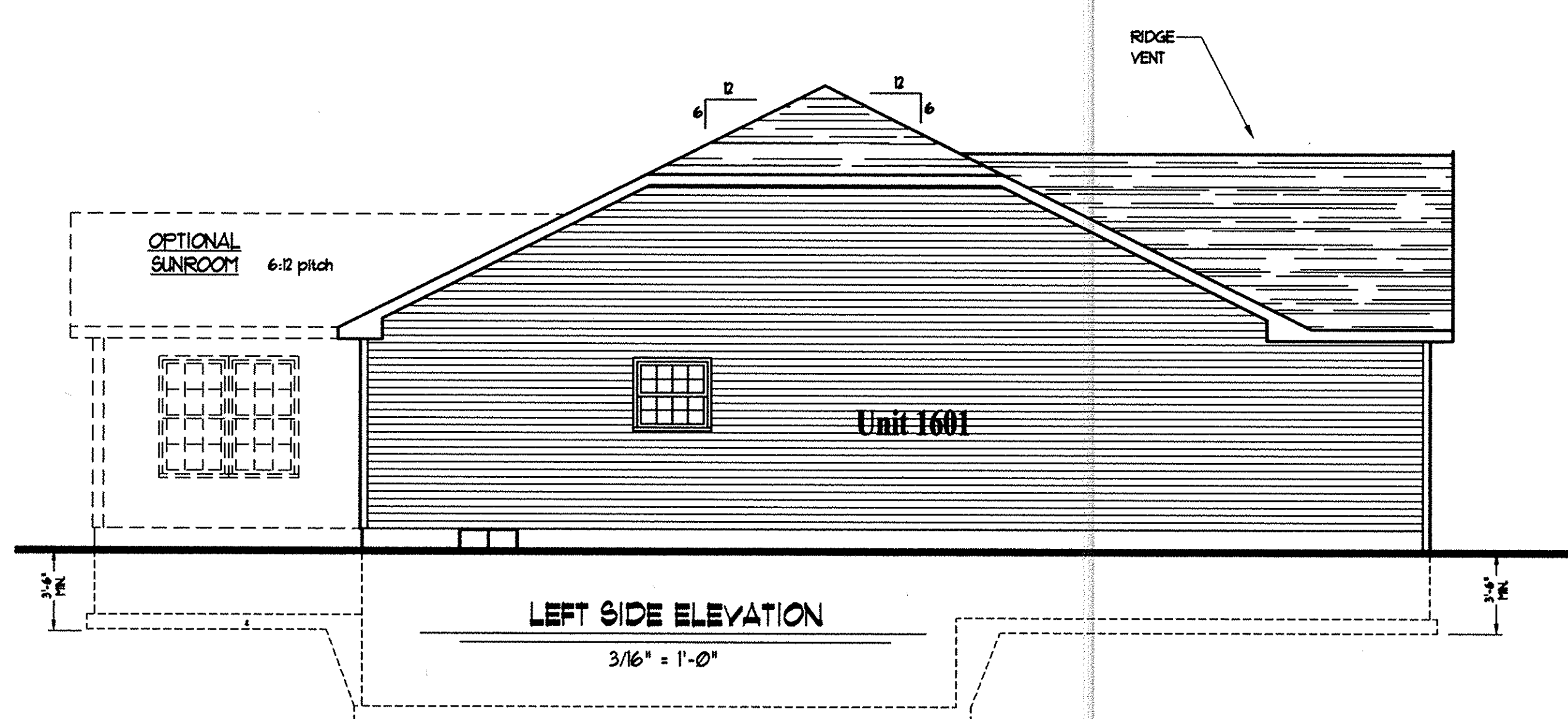
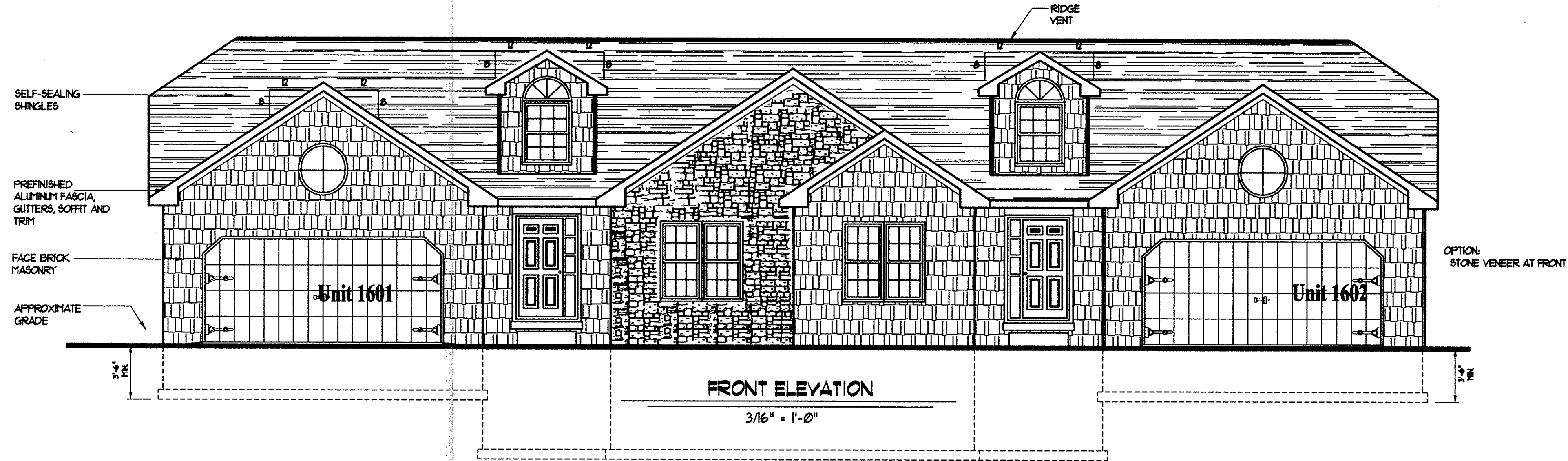
**Vermilion Shores  
Cluster Homes**

VERMILION, OHIO

CLEVELAND-SANDUSKY RD.

Exterior Elevations

Job No.: 9121  
Date: 3-28-02  
Checked: RV  
Drawn: KK



BUILDING NUMBER 16  
Units 1601 thru 1602

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