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PHASE 3 OF

Cherry Ridge Condominiums

1207 WEST RIVER ROAD

PART OF ELYRIA TOWNSHIP ORIGINAL LOT NO. 171 - WEST OF THE BLACK RIVER
CITY OF ELYRIA COUNTY OF LORAIN STATE OF OHIO

PREPARED FOR:

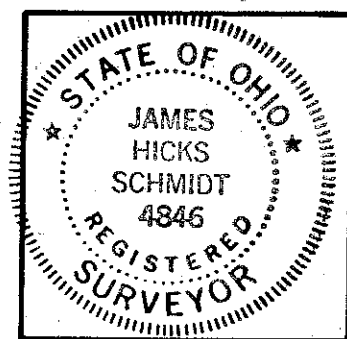
KOPF CONSTRUCTION CORPORATION
32730 WALKER ROAD
AVON LAKE, OHIO

PREPARED BY:

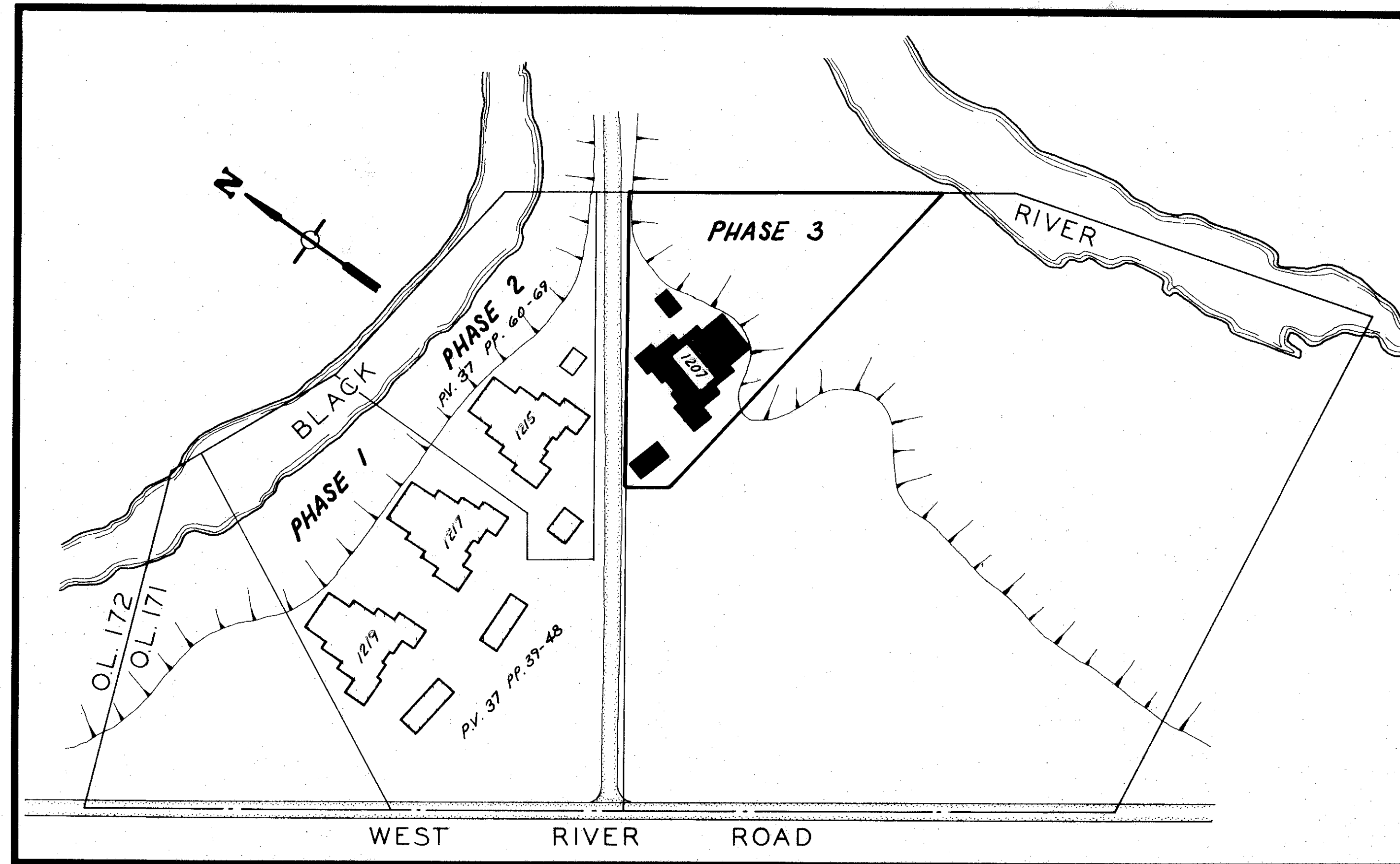
KLEINOEDER SCHMIDT & ASSOCIATES
CONSULTING ENGINEERS AND SURVEYORS
424 MIDDLE AVENUE
ELYRIA, OHIO

STATEMENT OF CERTIFICATION

I HEREBY CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED AND THAT THERE ARE NO ENCROACHMENTS ON ANY ABUTTING PREMISIS.



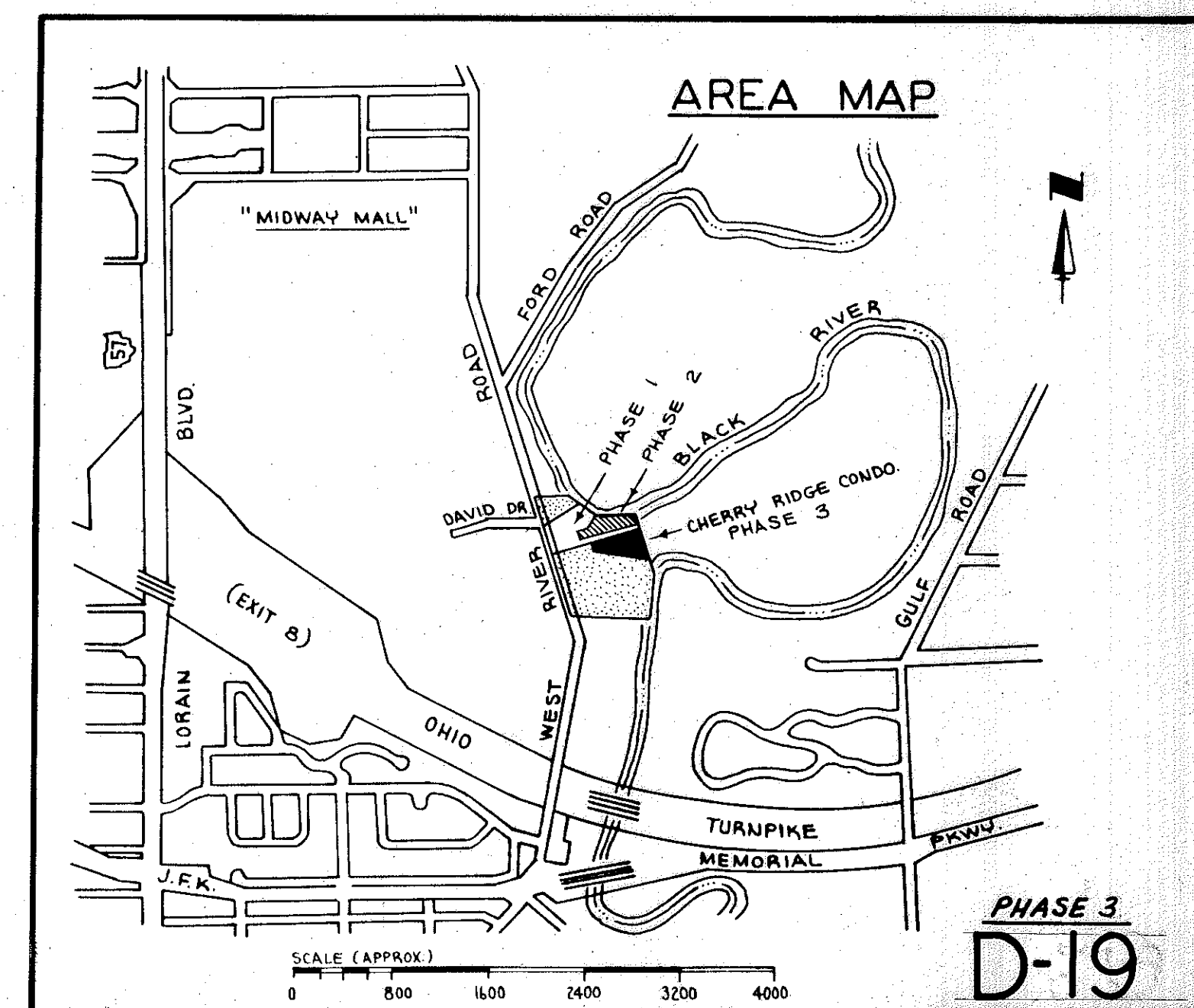
James H. Schmidt
JAMES H. SCHMIDT
REGISTERED SURVEYOR NO. 4846



COMPOSITE MAP
NO SCALE

INDEX OF SHEETS

SHEET	DESCRIPTION
D-19	TITLE SHEET, COMPOSITE MAP, INDEX
D-0	PERCENTAGES OF OWNERSHIP
D-20	BOUNDARY AND LOCATION MAP
D-21	FOUNDATION PLAN
D-22	TYPICAL FLOOR PLAN
D-23	ELEVATION VIEWS - FRONT/ REAR
D-24	ELEVATION VIEWS - RIGHT/ LEFT
D-25	ATTACHED GARAGE
D-26	DETACHED GARAGE
D-27	WALL SECTIONS



TRANSFERRED
OR COMPLIANCE WITH SEC. 249-022
OHIO REV. CODE
SEP 1 1982
WILLIAM A. FLJOR
LORAIN COUNTY SHERIFF

Received for Record
at 3:05 o'clock P.M. on SEP 1 1982
VOL 22
44 pages Dorothy L. Carson
PAGE 32 Lorain County Recorder

Box: Louis Co Sella
(The Handker)
17280

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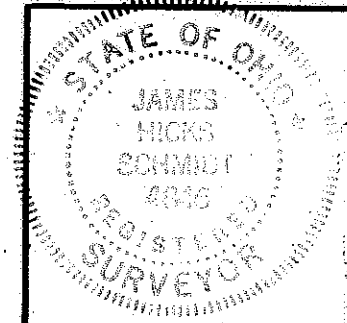
1219 WEST RIVER ROAD		
UNIT	AREA (S.F.)	PERCENTAGE
A-1	775	1.9766
B-1	775	1.9766
C-1	830	2.1169
D-1	830	2.1169
A-2	795	2.0276
B-2	795	2.0276
C-2	853	2.1756
D-2	853	2.1756
A-3	795	2.0276
B-3	795	2.0276
C-3	853	2.1756
D-3	853	2.1756
TOTAL	9802	24.9978

1217 WEST RIVER ROAD		
UNIT	AREA (S.F.)	PERCENTAGE
A-1	775	1.9766
B-1	775	1.9766
C-1	830	2.1169
D-1	830	2.1169
A-2	795	2.0276
B-2	795	2.0276
C-2	853	2.1756
D-2	853	2.1756
A-3	795	2.0276
B-3	795	2.0276
C-3	853	2.1756
D-3	853	2.1756
TOTAL	9802	24.9978

1215 WEST RIVER ROAD		
UNIT	AREA (S.F.)	PERCENTAGE
A-1	775	1.9766
B-1	775	1.9766
C-1	830	2.1169
D-1	830	2.1169
A-2	795	2.0276
B-2	795	2.0276
C-2	853	2.1756
D-2	853	2.1756
A-3	795	2.0276
B-3	795	2.0276
C-3	853	2.1756
D-3	853	2.1756
TOTAL	9802	24.9978

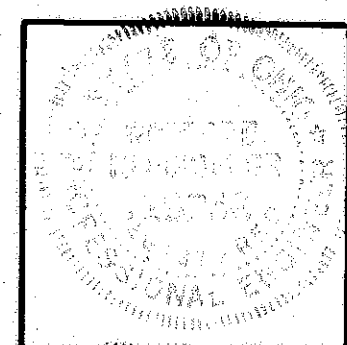
1207 WEST RIVER ROAD		
UNIT	AREA (S.F.)	PERCENTAGE
A-1	775	1.9766
B-1	775	1.9766
C-1	830	2.1169
D-1	830	2.1169
A-2	795	2.0276
B-2	795	2.0276
C-2	853	2.1756
D-2	853	2.1756
A-3	795	2.0276
B-3	795	2.0276
C-3	853	2.1756
D-3	853	2.1756
TOTAL	9802	24.9978

STATEMENT OF CERTIFICATION



I HEREBY CERTIFY THAT THE ATTACHED TABLES CORRECTLY REPRESENT THE AREAS AND PERCENTAGES OF OWNERSHIP FOR THE UNITS OF 1207, 1215, 1217 AND 1219 WEST RIVER ROAD IN CHERRY RIDGE CONDOMINIUMS.

James H. Schmidt
JAMES H. SCHMIDT, REG SURVEYOR #4846



I HEREBY CERTIFY THAT THE ATTACHED TABLES CORRECTLY REPRESENT THE AREAS AND PERCENTAGES OF OWNERSHIP FOR THE UNITS OF 1207, 1215, 1217 AND 1219 WEST RIVER ROAD IN CHERRY RIDGE CONDOMINIUMS.

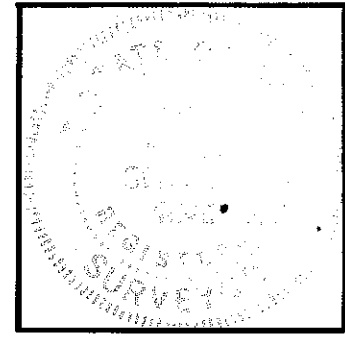
Robert E. Kleinbender
ROBERT E. KLEINBENDER, P.E.

**CHERRY RIDGE CONDOMINIUMS
PERCENTAGES OF OWNERSHIP**

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STATEMENT OF CERTIFICATION

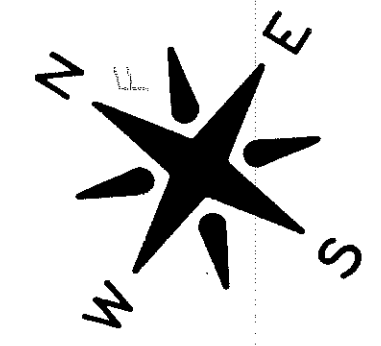
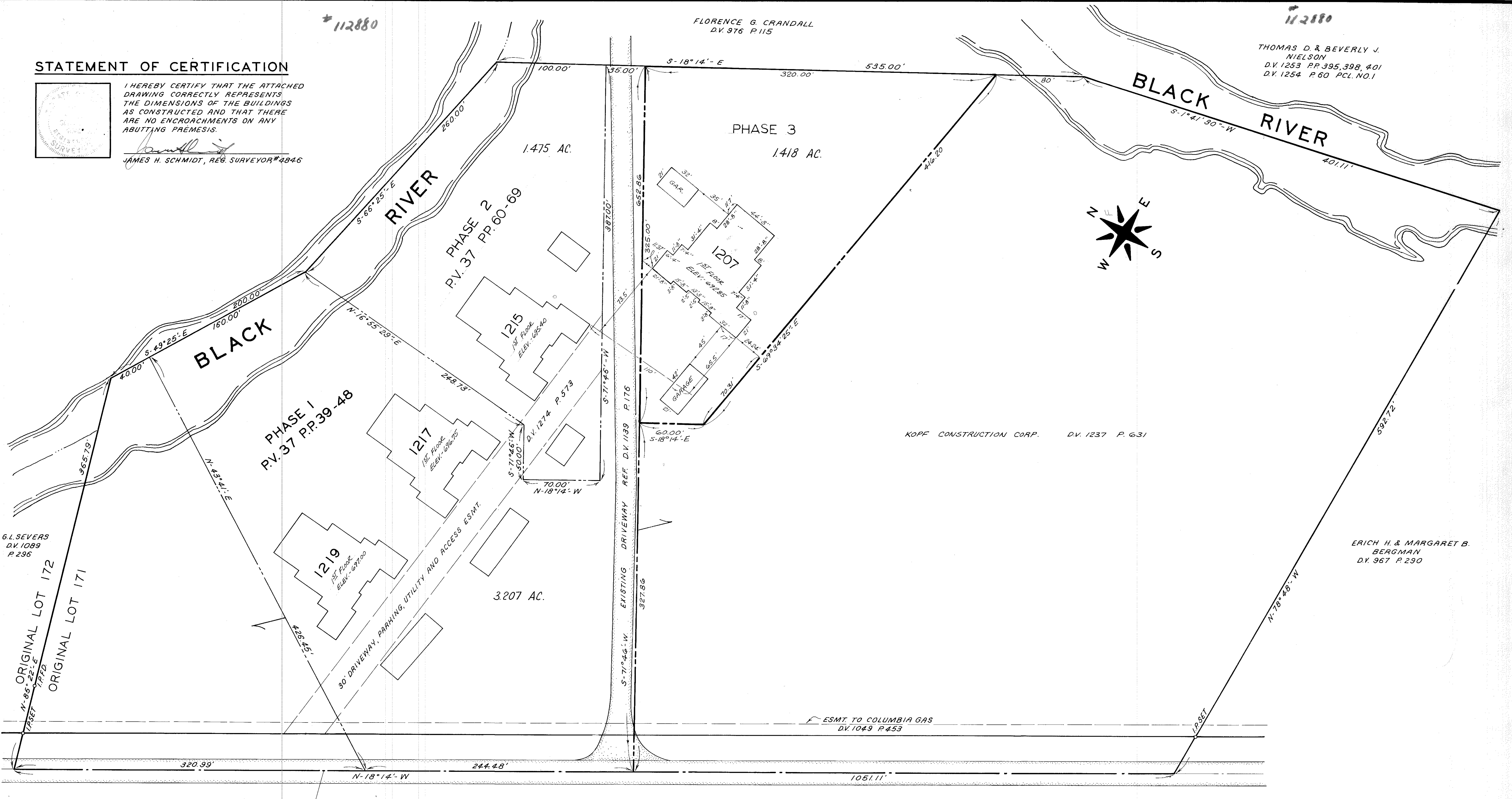


I HEREBY CERTIFY THAT THE ATTACHED DRAWING CORRECTLY REPRESENTS THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED AND THAT THERE ARE NO ENCROACHMENTS ON ANY ABUTTING PREMISES.

JAMES H. SCHMIDT, REG. SURVEYOR #4846

FLORENCE G. CRANDALL
DV. 976 P.115

THOMAS D. & BEVERLY J. NIELSON
D.V. 1253 P.P. 395, 398, 401
D.V. 1254 P. 60 PCL. NO. 1



G.L. SEEVERS
DV. 1089
P. 296

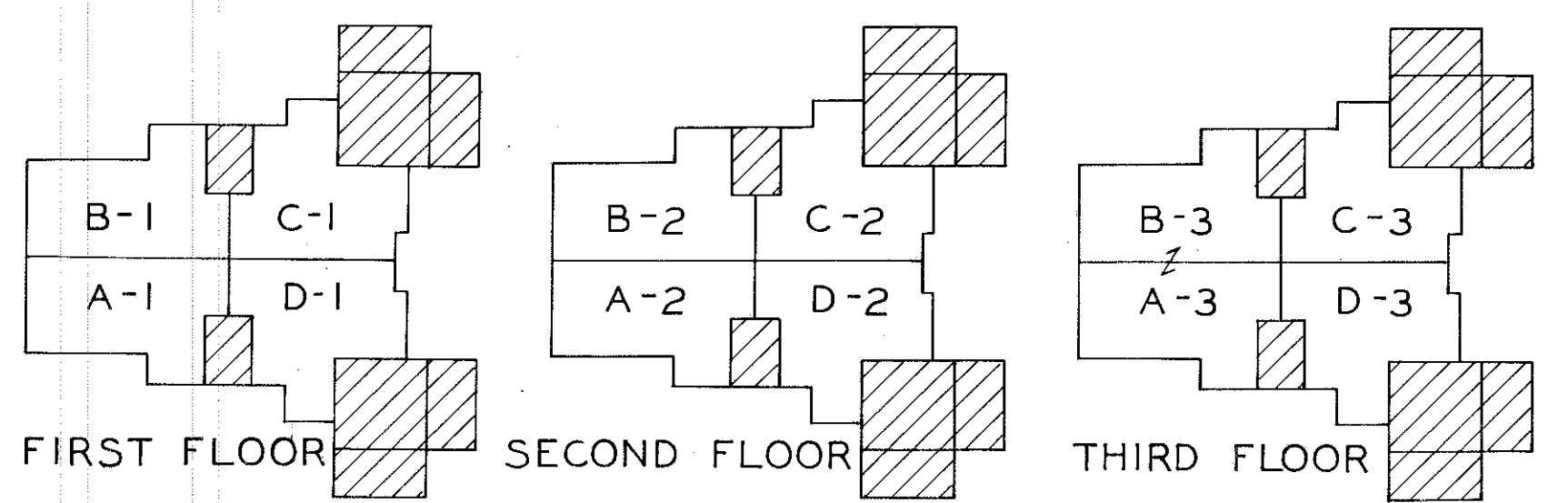
KOPF CONSTRUCTION CORP. DV. 1237 P. 631

ERICH H. & MARGARET B. BERGMAN
DV. 967 P. 290

ESMT. TO COLUMBIA GAS
DV. 1049 P. 453

DAVID DRIVE

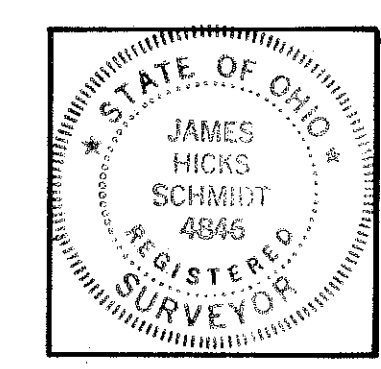
WEST RIVER ROAD 66'



PHASE 3 CHERRY RIDGE CONDOMINIUMS
BOUNDARY AND LOCATION MAP

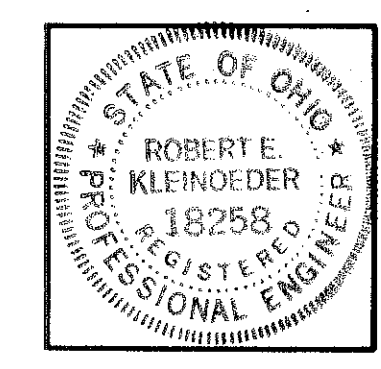
SCALE: 1"=40'

STATEMENTS OF CERTIFICATION



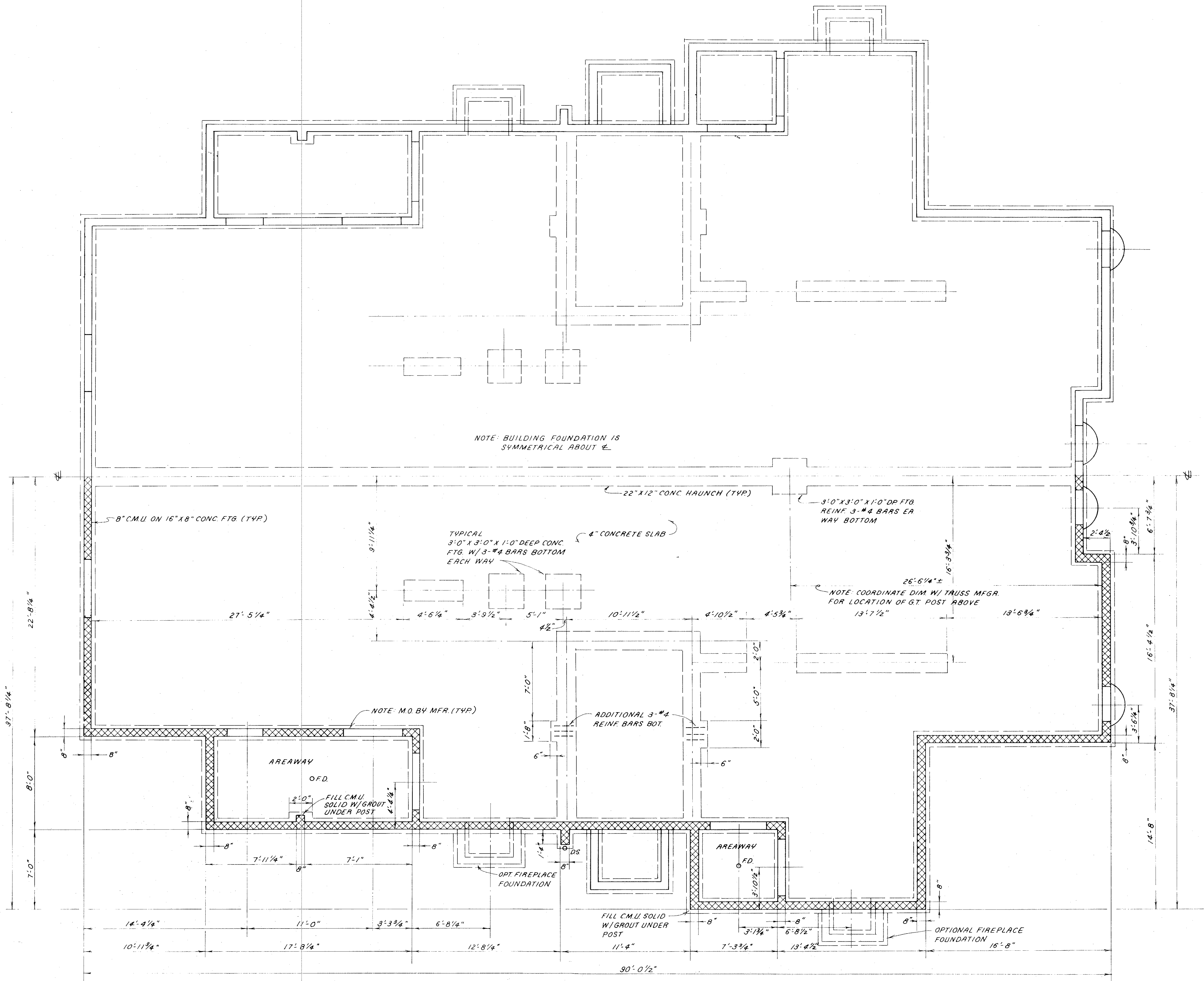
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James H. Schmidt
JAMES H. SCHMIDT, REG. SURVEYOR #4846



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Robert E. Kleineder
ROBERT E. KLEINEDER, P.E.



NOTE: BUILDING FOUNDATION IS SYMMETRICAL ABOUT ϵ

TYPICAL 3'-0" X 3'-0" X 1'-0" DEEP CONC. FTG. W/ 3-#4 BARS BOTTOM EACH WAY

3'-0" X 3'-0" X 1'-0" DP FTG REINF. 3-#4 BARS EA WAY BOTTOM

NOTE: COORDINATE DIM. W/ TRUSS MFR. FOR LOCATION OF GT. POST ABOVE

NOTE: M.O. BY MFR. (TYP)

ADDITIONAL 3-#4 REINF. BARS BOT.

AREAWAY OFD

FILL CMU SOLID W/ GROUT UNDER POST

OPT FIREPLACE FOUNDATION

FILL CMU SOLID W/ GROUT UNDER POST

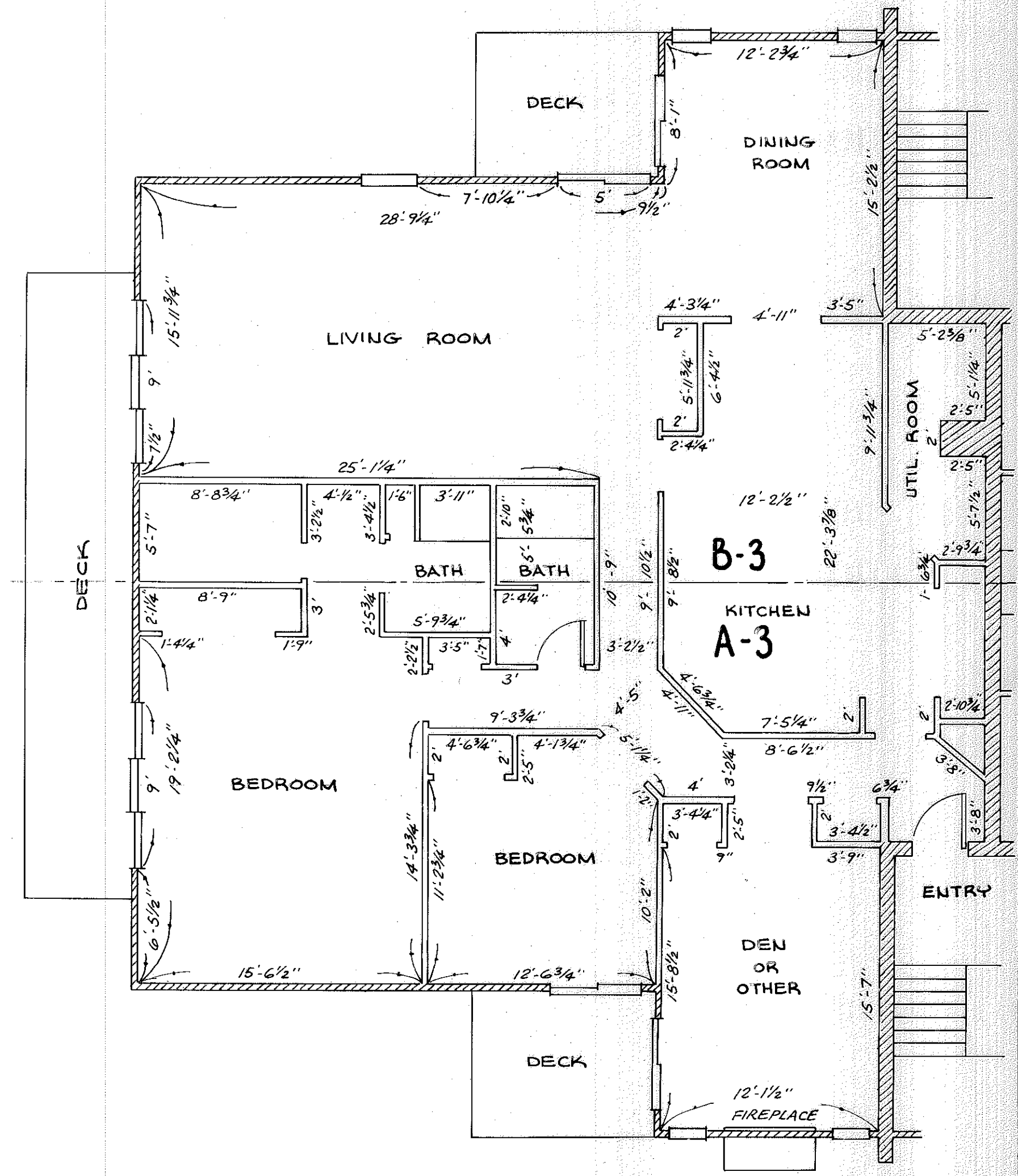
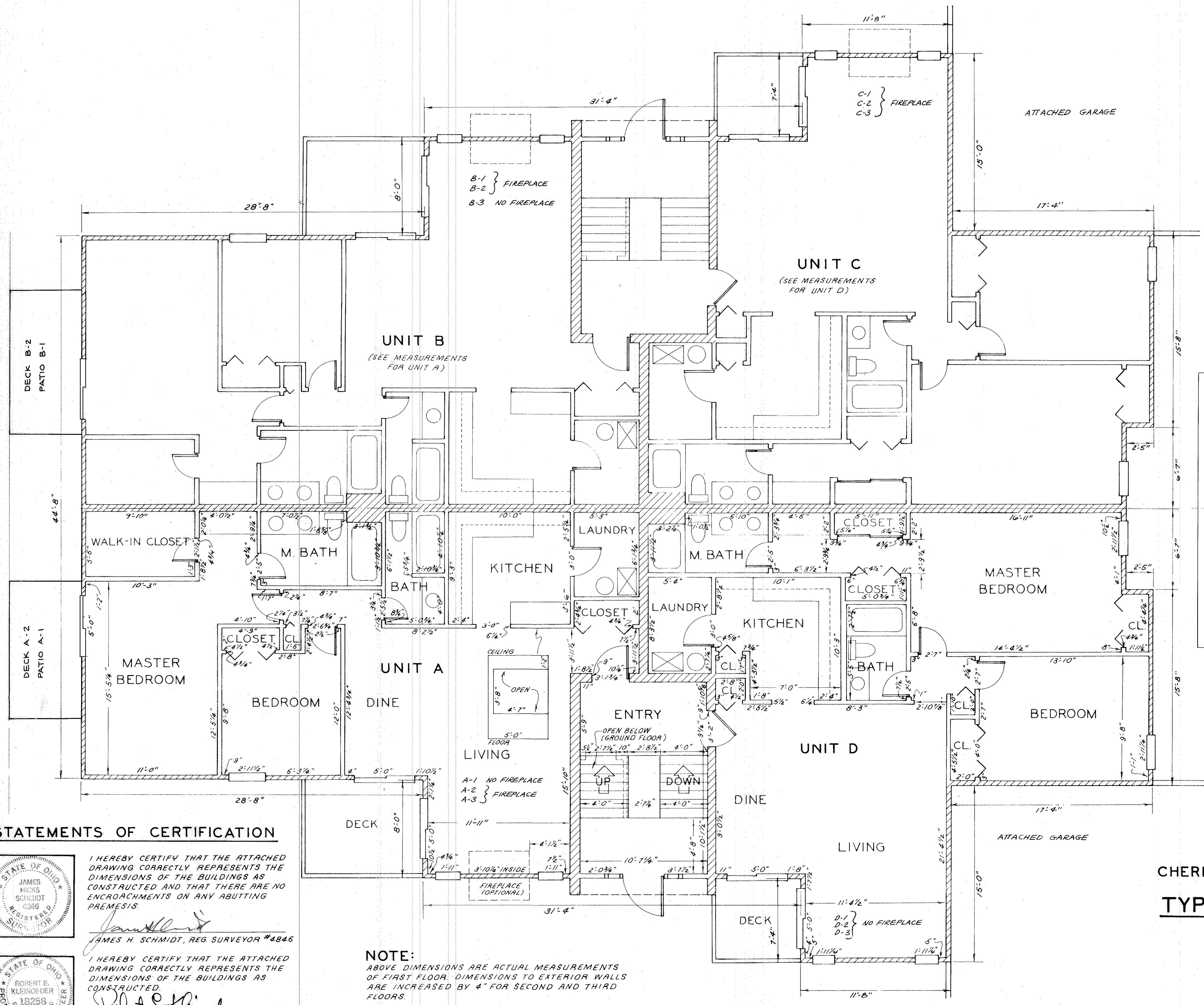
AREAWAY OFD

OPTIONAL FIREPLACE FOUNDATION

CHERRY RIDGE CONDOMINIUMS
FOUNDATION PLAN
SCALE: 1" = 4'

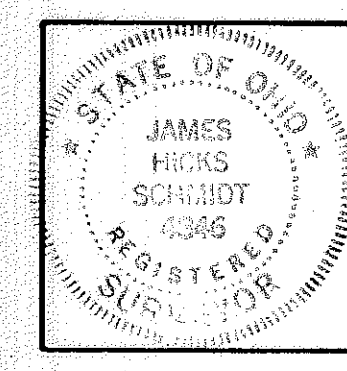
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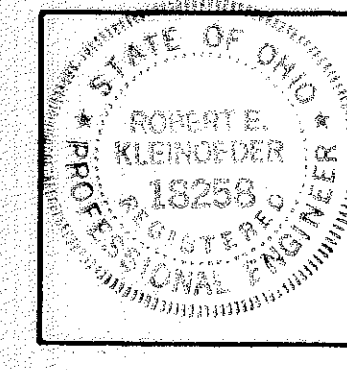
FLOOR PLAN - COMBINED UNITS A-3 & B-3 ONLY
SCALE: 1" = 6'

STATEMENTS OF CERTIFICATION



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James H. Schmidt
JAMES H. SCHMIDT, REG SURVEYOR #4846

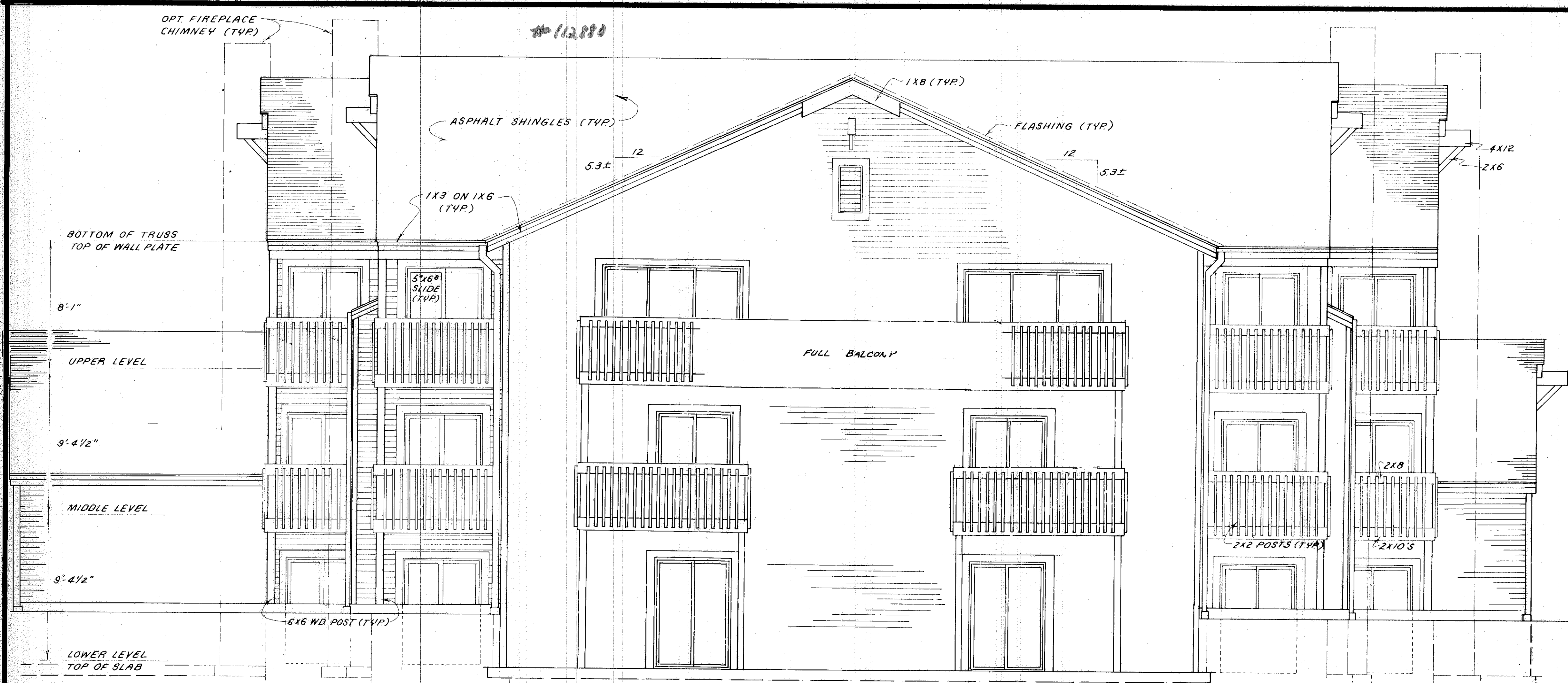


I HEREBY CERTIFY THAT THE ATTACHED DRAWING CORRECTLY REPRESENTS THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED.

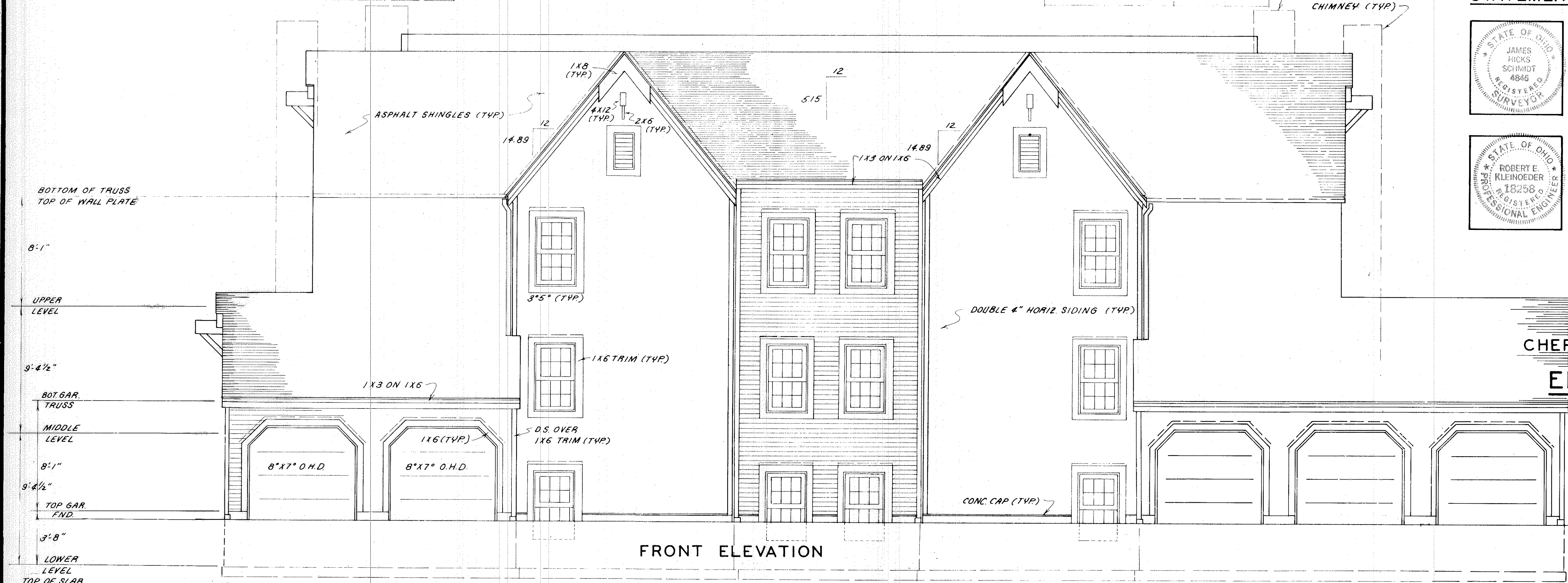
Robert E. Kleinoeder
ROBERT E. KLEINOEDER, P.E.

NOTE:
ABOVE DIMENSIONS ARE ACTUAL MEASUREMENTS OF FIRST FLOOR. DIMENSIONS TO EXTERIOR WALLS ARE INCREASED BY 4" FOR SECOND AND THIRD FLOORS.

PHASE 3
CHERRY RIDGE CONDOMINIUMS
TYPICAL FLOOR PLAN
SCALE: 1" = 4'

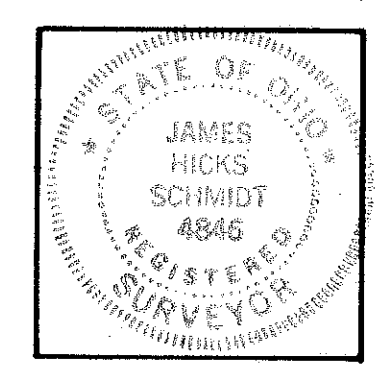


REAR ELEVATION



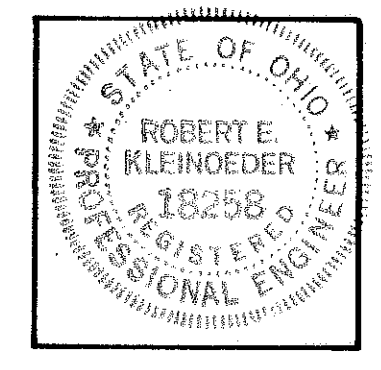
FRONT ELEVATION

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 JAMES H. SCHMIDT, REG. SURVEYOR #4846



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Robert E. Kleinoeder
 ROBERT E. KLEINOEDER, P.E.

CHERRY RIDGE CONDOMINIUMS
 ELEVATION VIEWS

FRONT/REAR
 SCALE: 1"=4'

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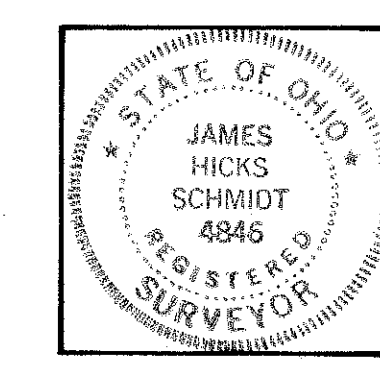


RIGHT SIDE ELEVATION



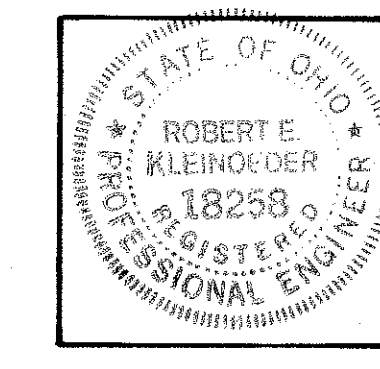
LEFT SIDE ELEVATION

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 ROBERT E. KLEINOEDER, P.E.

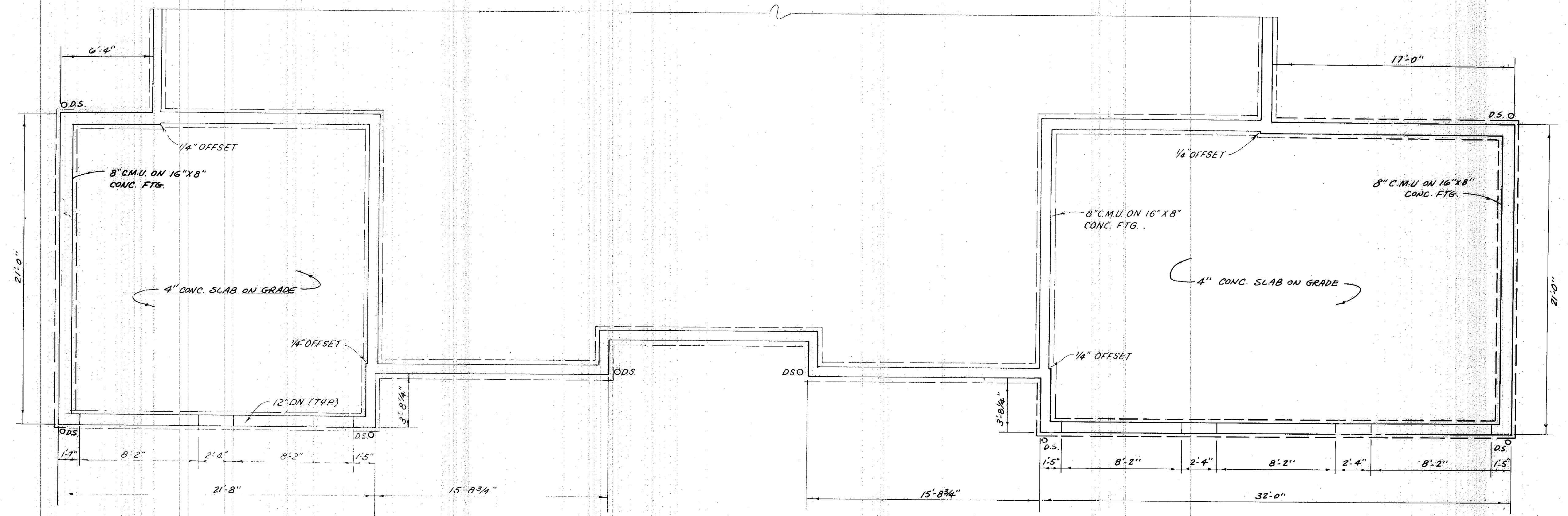
CHERRY RIDGE CONDOMINIUMS
 ELEVATION VIEWS

RIGHT/LEFT

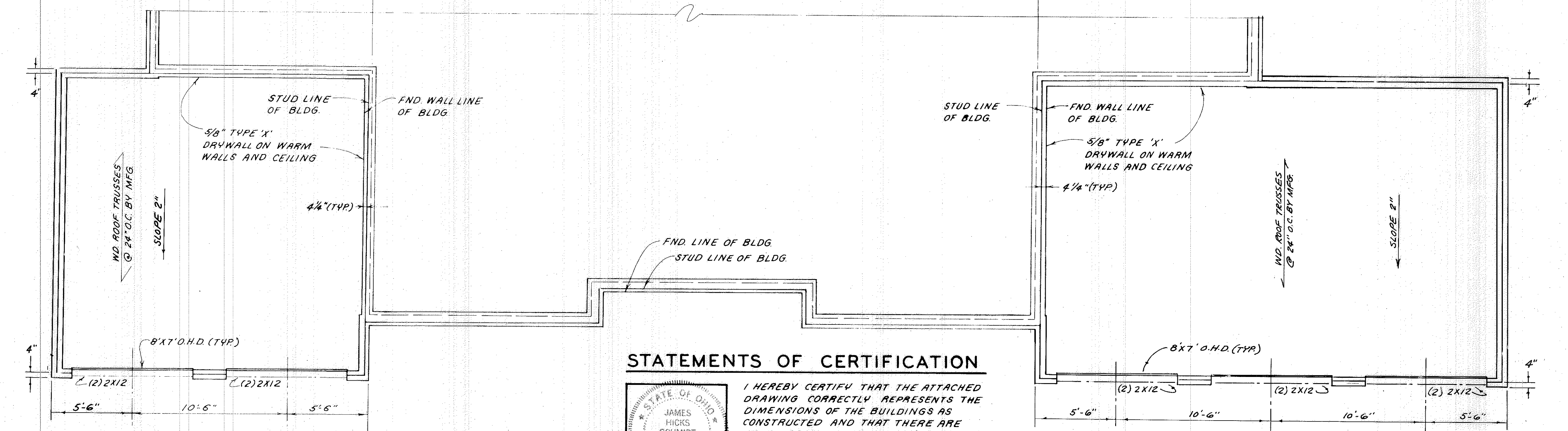
SCALE: 1" = 4'

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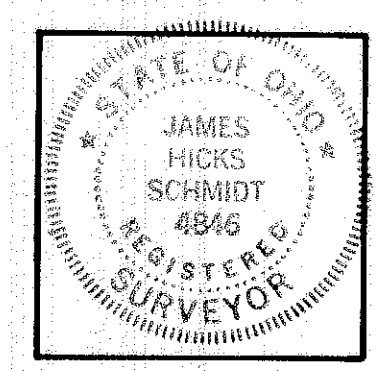


FOUNDATION PLAN



PLAN VIEW

STATEMENTS OF CERTIFICATION



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 JAMES H. SCHMIDT, REG. SURVEYOR #4846



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Robert E. Kleingeder
 ROBERT E. KLEINGEDER, P.E.

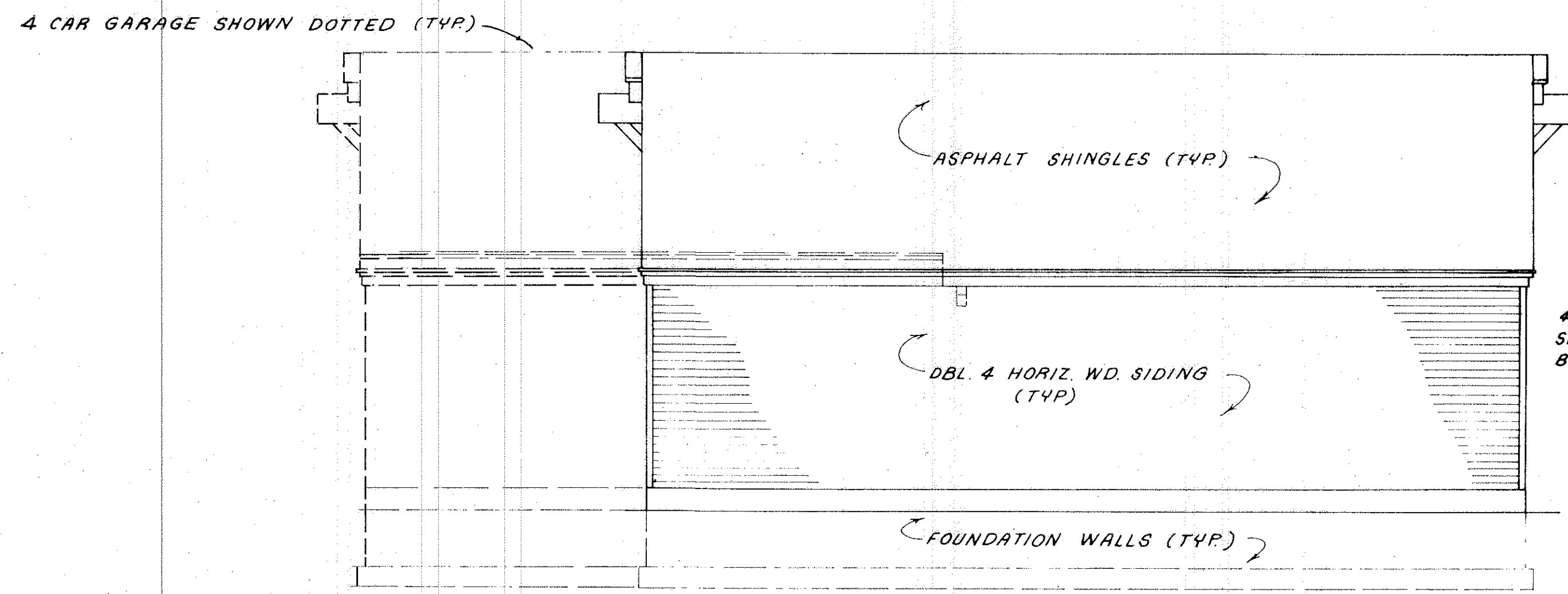
CHERRY RIDGE CONDOMINIUMS
 ATTACHED GARAGE

SCALE: 1"=4'

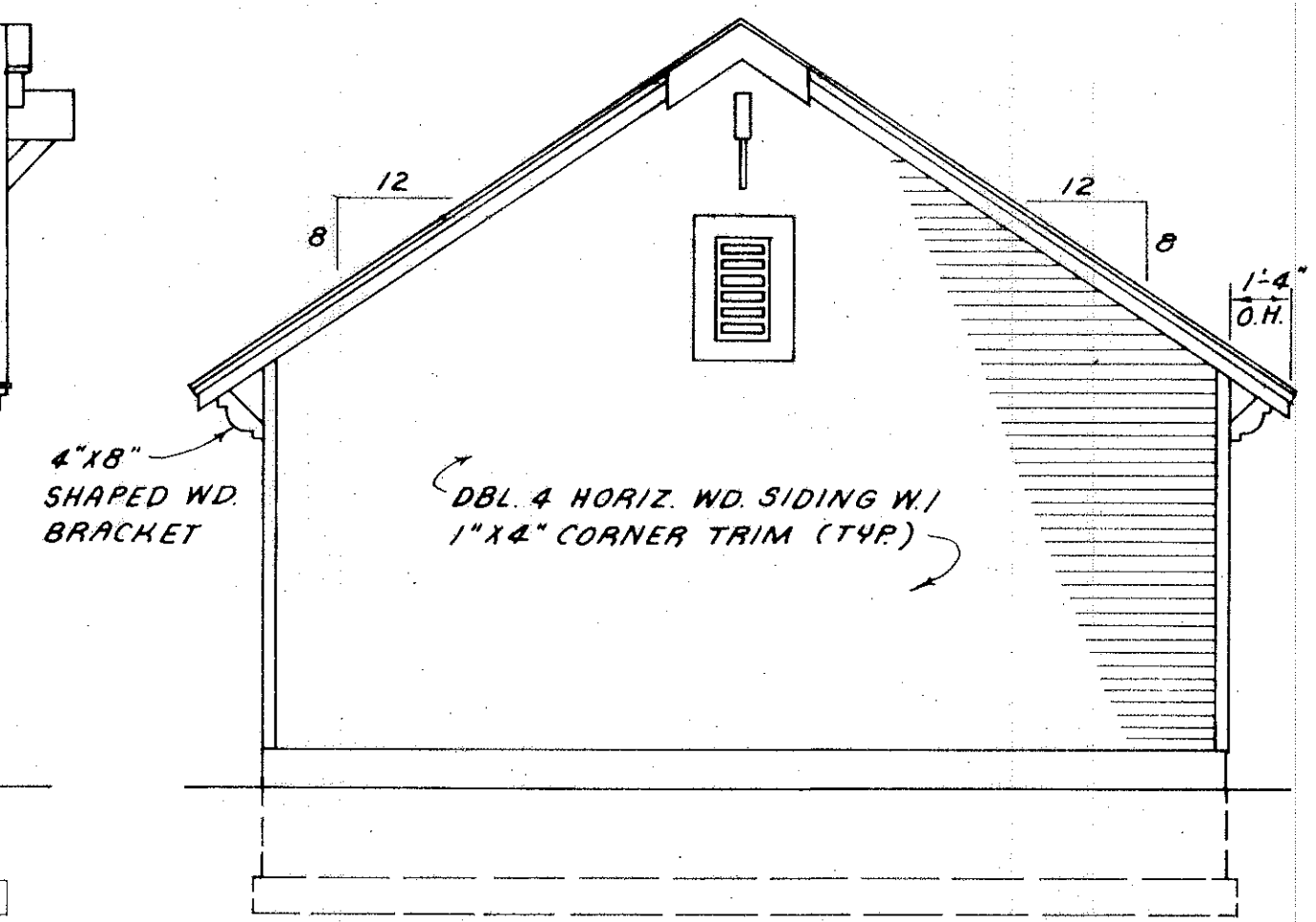
D-25

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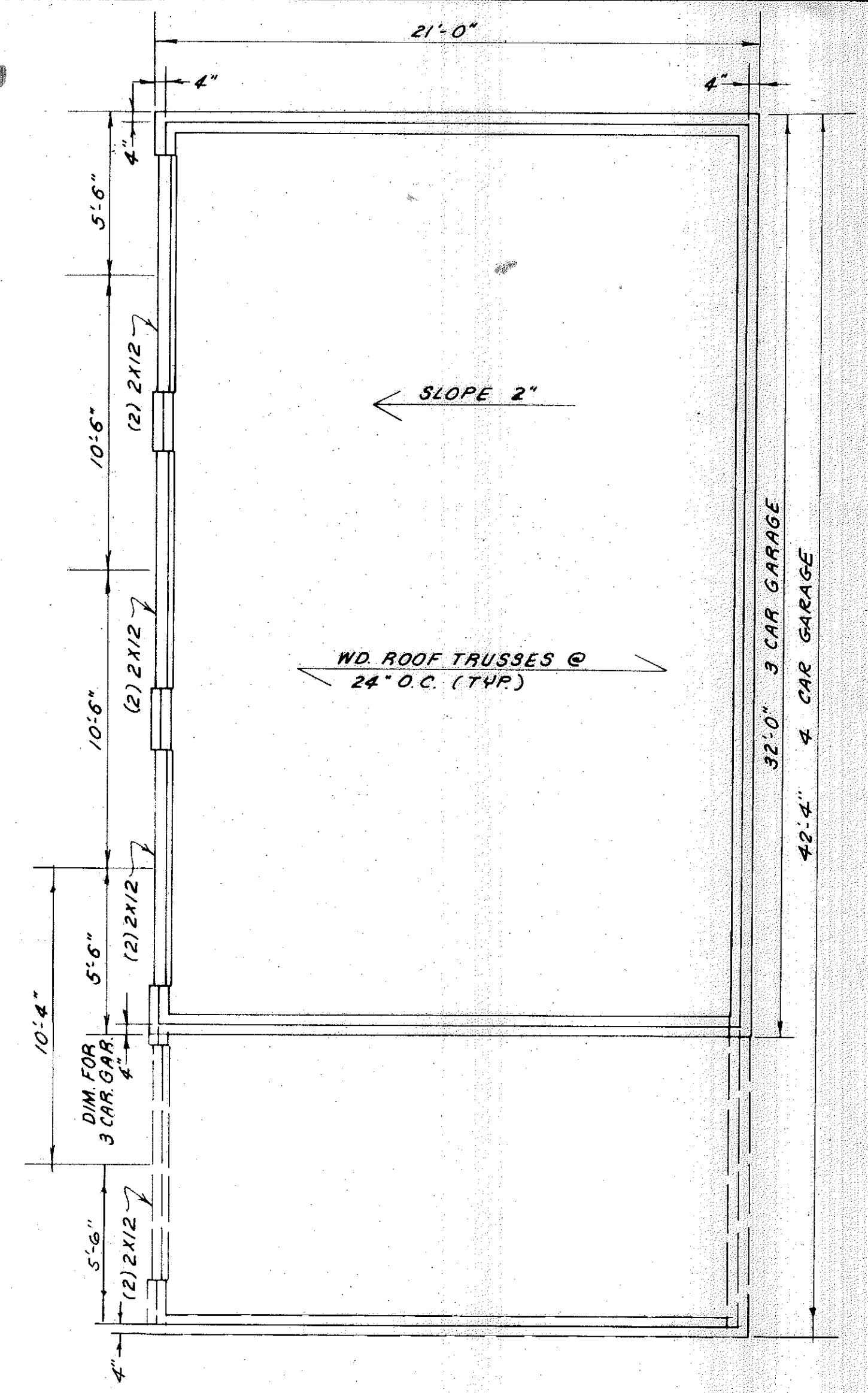
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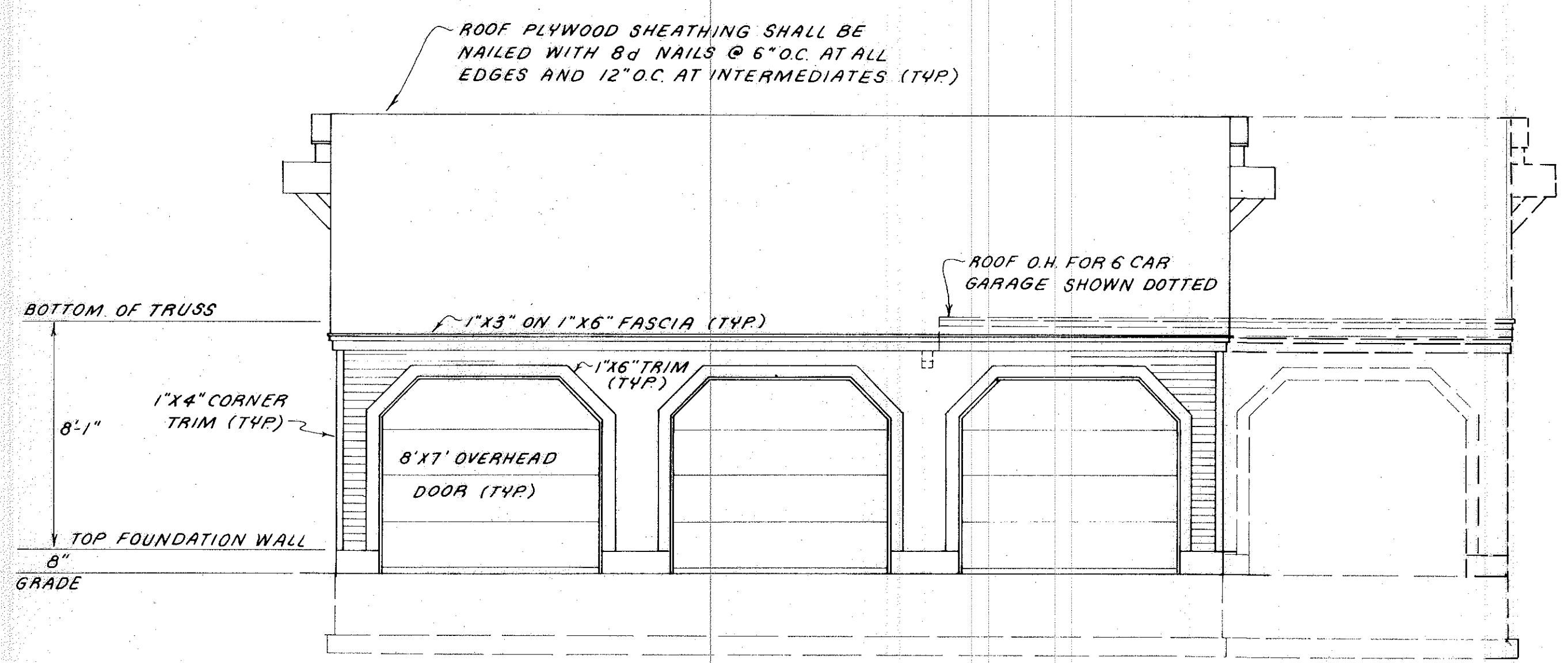
REAR ELEVATION



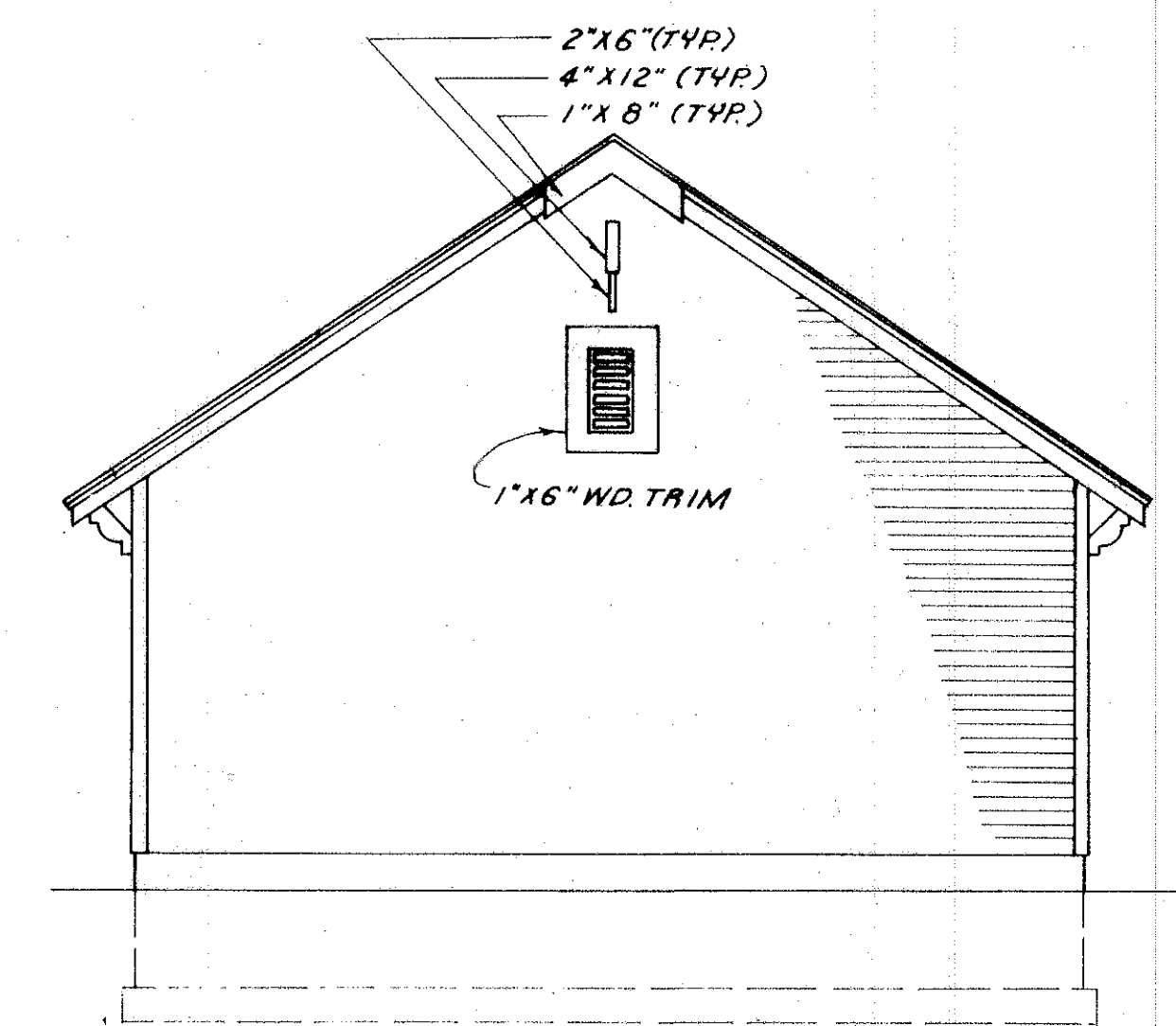
LEFT SIDE ELEVATION



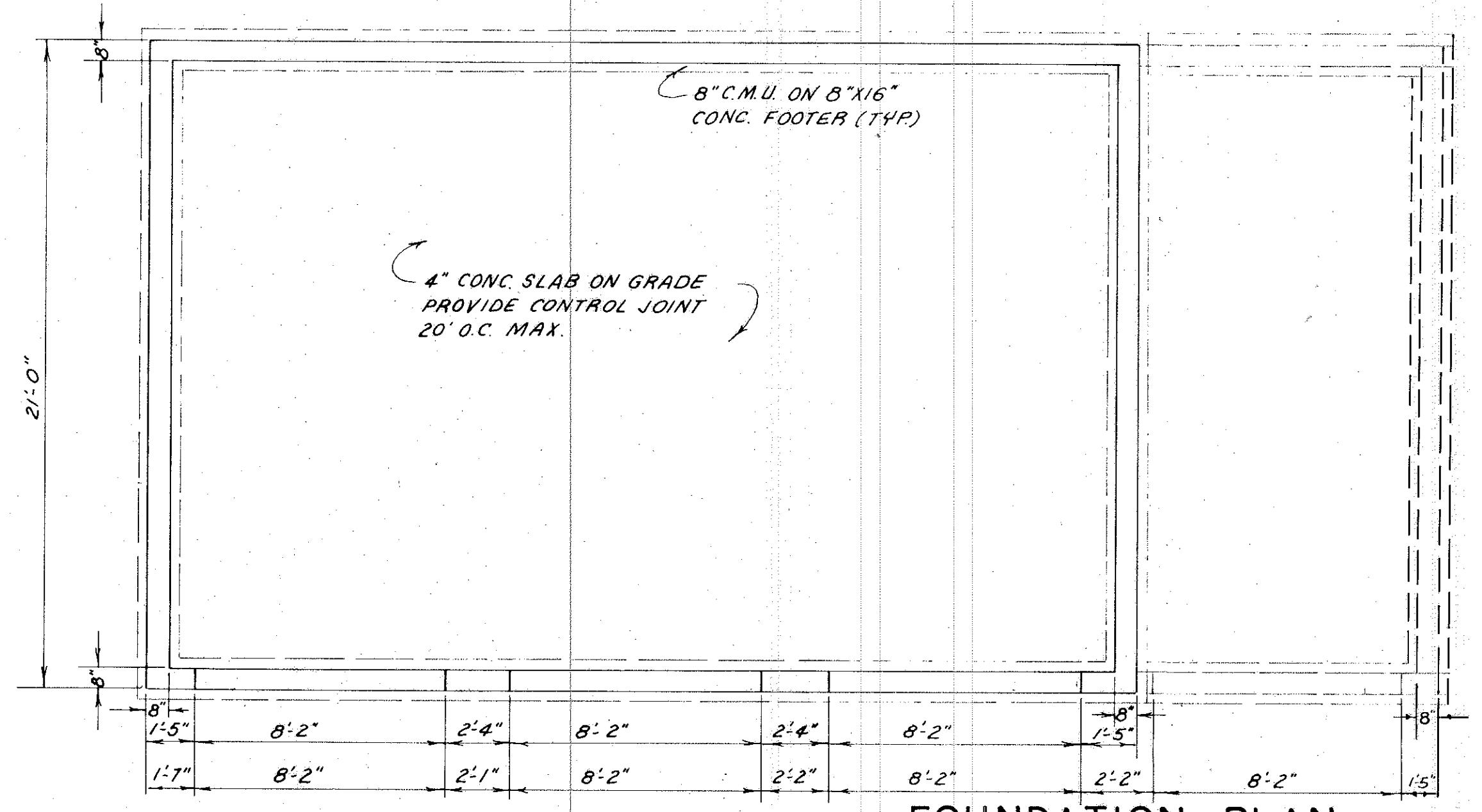
PLAN VIEW



FRONT ELEVATION

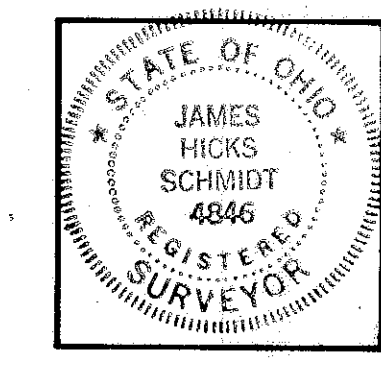


RIGHT SIDE ELEVATION



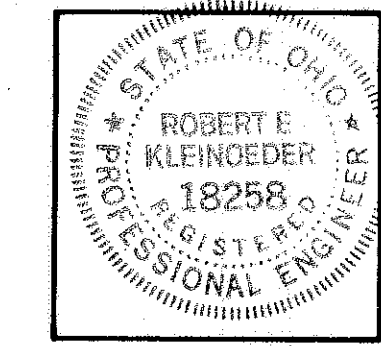
FOUNDATION PLAN

STATEMENTS OF CERTIFICATION



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James H. Schmidt
 JAMES H. SCHMIDT, REG. SURVEYOR #4846



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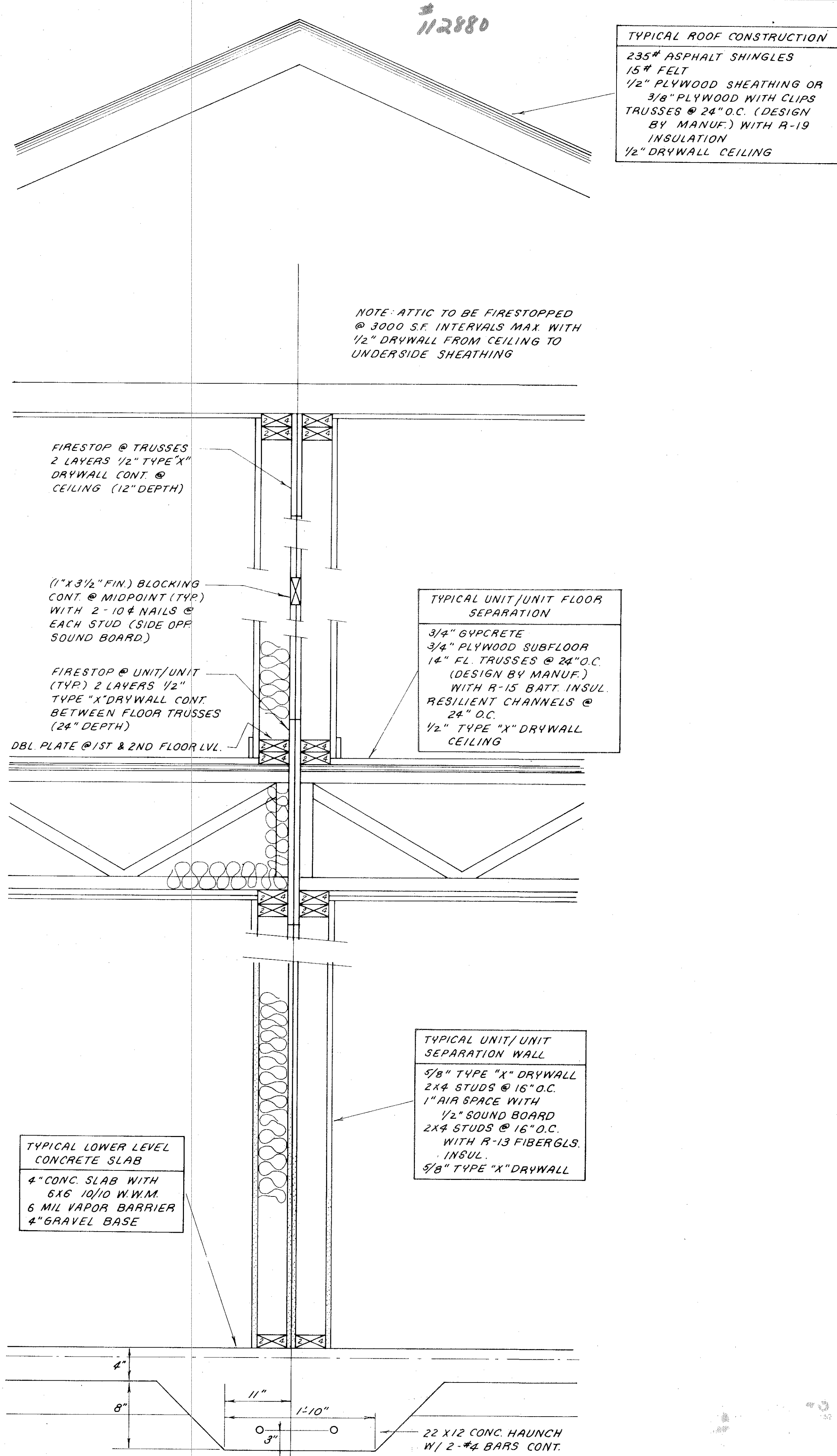
Robert E. Kleingeder
 ROBERT E. KLEINGEDER, P.E.

CHERRY RIDGE CONDOMINIUMS

DETACHED GARAGE

3 CAR - 4 CAR

SCALE: 1"=4'



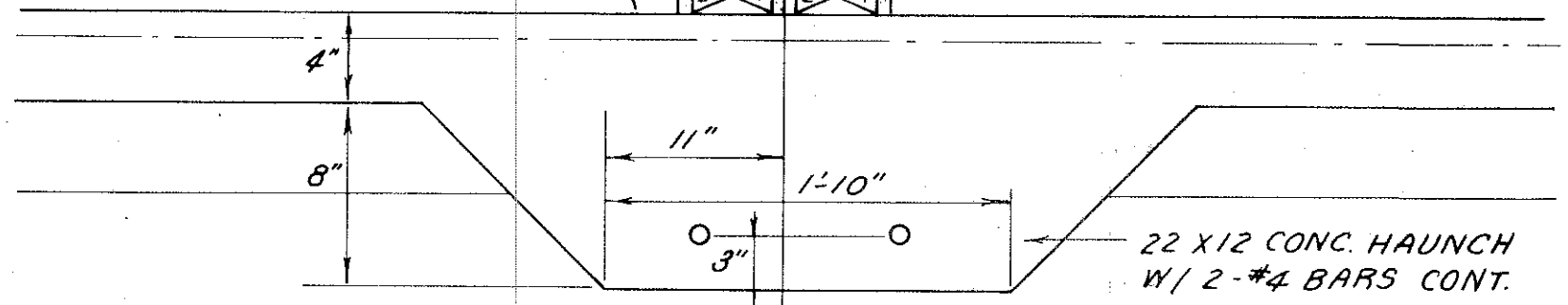
TYPICAL ROOF CONSTRUCTION
 235# ASPHALT SHINGLES
 15# FELT
 1/2" PLYWOOD SHEATHING OR
 3/8" PLYWOOD WITH CLIPS
 TRUSSES @ 24" O.C. (DESIGN
 BY MANUF.) WITH R-19
 INSULATION
 1/2" DRYWALL CEILING

NOTE: ATTIC TO BE FIRESTOPPED
 @ 3000 S.F. INTERVALS MAX WITH
 1/2" DRYWALL FROM CEILING TO
 UNDERSIDE SHEATHING

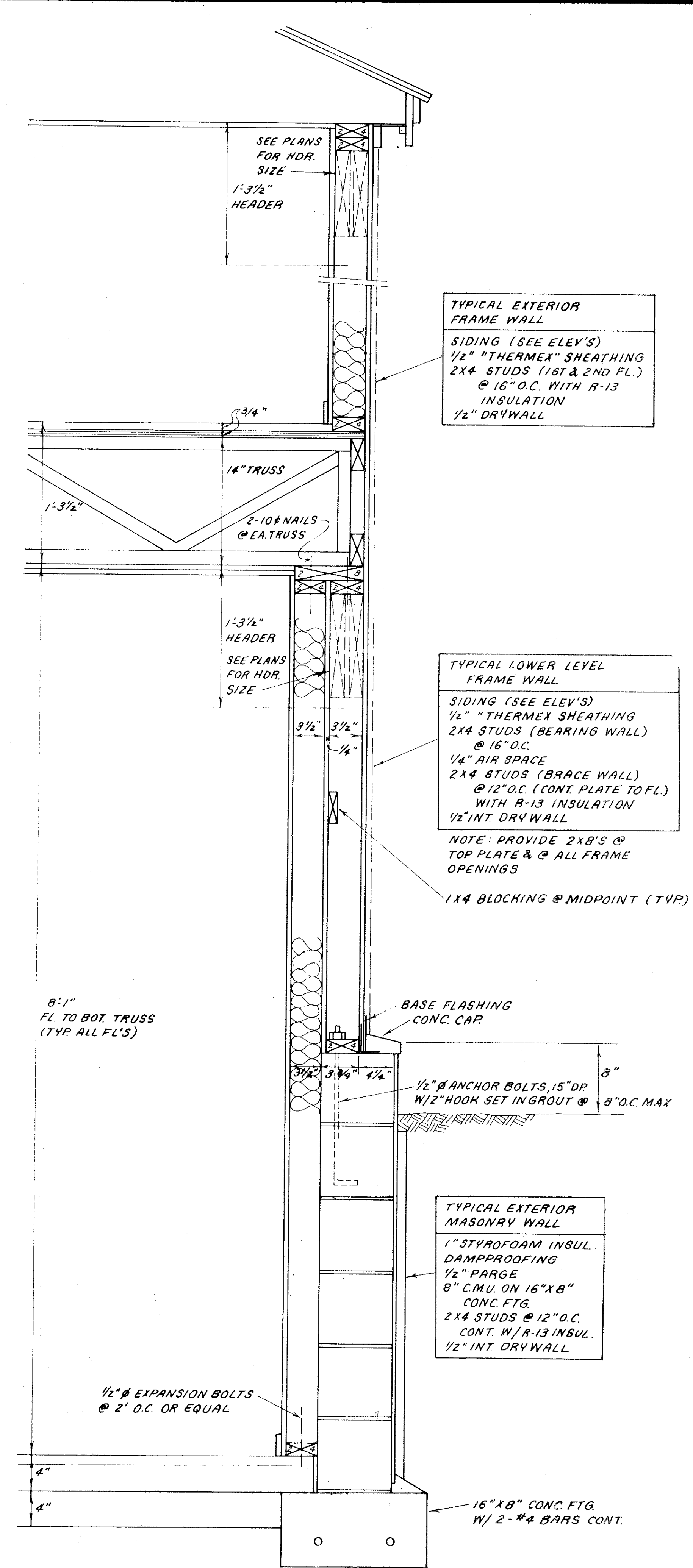
TYPICAL UNIT/UNIT FLOOR SEPARATION
 3/4" GYPCRETE
 3/4" PLYWOOD SUBFLOOR
 14" FL TRUSSES @ 24" O.C.
 (DESIGN BY MANUF.)
 WITH R-15 BATT INSUL.
 RESILIENT CHANNELS @
 24" O.C.
 1/2" TYPE "X" DRYWALL
 CEILING

TYPICAL UNIT/UNIT SEPARATION WALL
 5/8" TYPE "X" DRYWALL
 2X4 STUDS @ 16" O.C.
 1" AIR SPACE WITH
 1/2" SOUND BOARD
 2X4 STUDS @ 16" O.C.
 WITH R-13 FIBERGLS.
 INSUL.
 5/8" TYPE "X" DRYWALL

TYPICAL LOWER LEVEL CONCRETE SLAB
 4" CONC. SLAB WITH
 6X6 10/10 W.W.M.
 6 MIL VAPOR BARRIER
 4" GRAVEL BASE



TYPICAL DWELLING UNIT SEPARATION WALL

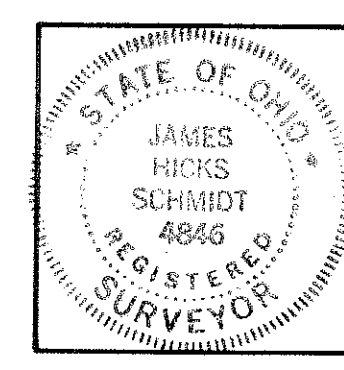


TYPICAL EXTERIOR FRAME WALL
 SIDING (SEE ELEV'S)
 1/2" THERMEX SHEATHING
 2X4 STUDS (1ST & 2ND FL.)
 @ 16" O.C. WITH R-13
 INSULATION
 1/2" DRYWALL

TYPICAL LOWER LEVEL FRAME WALL
 SIDING (SEE ELEV'S)
 1/2" THERMEX SHEATHING
 2X4 STUDS (BEARING WALL)
 @ 16" O.C.
 1/4" AIR SPACE
 2X4 STUDS (BRACE WALL)
 @ 12" O.C. (CONT. PLATE TO FL.)
 WITH R-13 INSULATION
 1/2" INT. DRYWALL

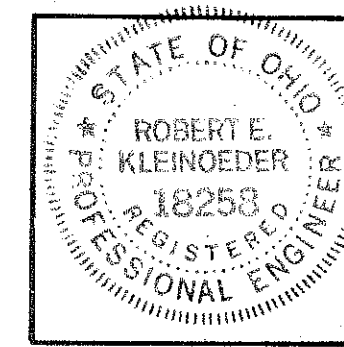
TYPICAL EXTERIOR MASONRY WALL
 1" STYROFOAM INSUL.
 DAMPROOFING
 1/2" PARGE
 8" CMU ON 16" X 8"
 CONC. FTG.
 2X4 STUDS @ 12" O.C.
 CONT. W/R-13 INSUL.
 1/2" INT. DRYWALL

STATEMENTS OF CERTIFICATION



I HEREBY CERTIFY THAT THE ATTACHED DRAWING CORRECTLY REPRESENTS THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED AND THAT THERE ARE NO ENCROACHMENTS ON ANY ADJUTING PREMISES.

James H. Schmidt
 JAMES H. SCHMIDT, REG. SURVEYOR #4846



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Robert E. Kleineder
 ROBERT E. KLEINEDER, P.E.

CHERRY RIDGE CONDOMINIUMS
WALL SECTIONS
 SCALE: 1.5" = 1'

TYPICAL EXTERIOR WALL