

085768

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PHASE I OF

Cherry Ridge Condominiums

1217 & 1219 WEST RIVER ROAD

PART OF ELYRIA TOWNSHIP ORIGINAL LOT NO. 171 - WEST OF THE BLACK RIVER
CITY OF ELYRIA COUNTY OF LORAIN STATE OF OHIO

PREPARED FOR:

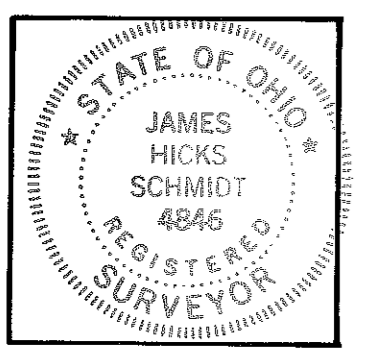
KOPF CONSTRUCTION CORPORATION
32730 WALKER ROAD
AVON LAKE, OHIO

PREPARED BY:

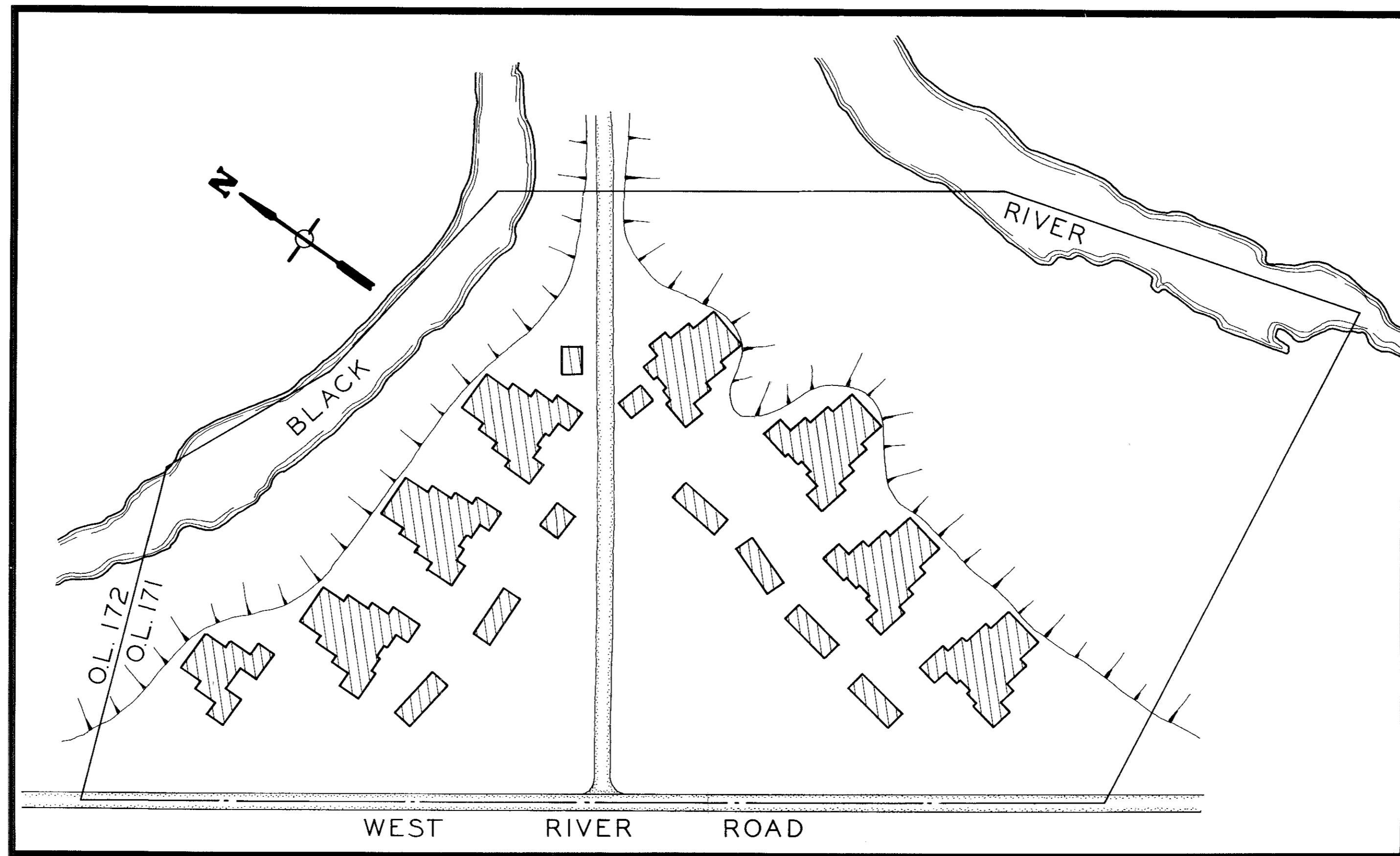
KLEINOEDER SCHMIDT & ASSOCIATES
CONSULTING ENGINEERS AND SURVEYORS
424 MIDDLE AVENUE
ELYRIA, OHIO

STATEMENT OF CERTIFICATION

I HEREBY CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED AND THAT THERE ARE NO ENCROACHMENTS ON ANY ABUTTING PREMISIS.



James H. Schmidt
JAMES H. SCHMIDT
REGISTERED SURVEYOR NO. 4846

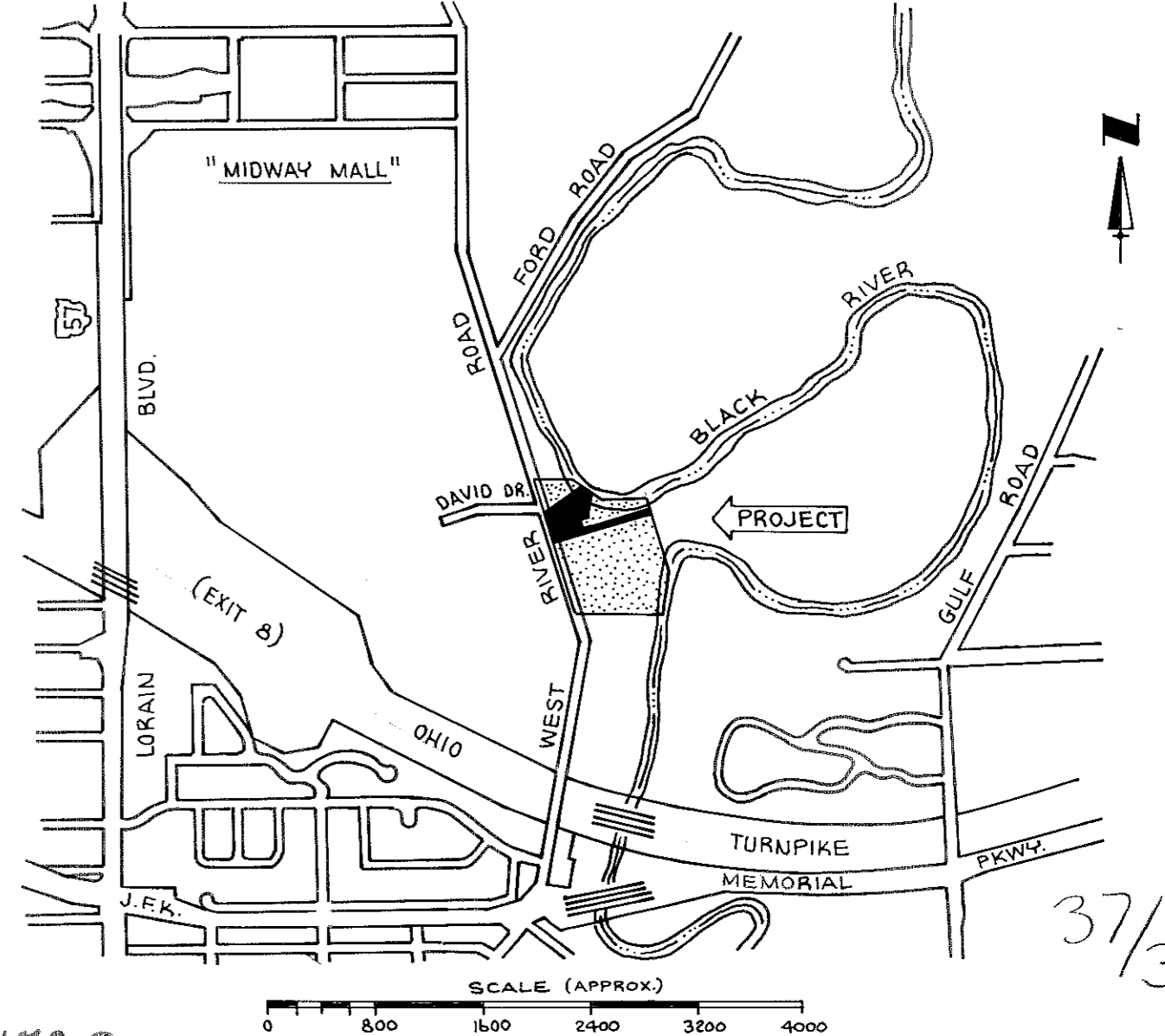


COMPOSITE MAP
NO SCALE

INDEX OF SHEETS

<u>SHEET</u>	<u>DESCRIPTION</u>
D1	TITLE SHEET, COMPOSITE MAP, INDEX
D0	PERCENTAGES OF OWNERSHIP
D2	BOUNDARY AND LOCATION MAP
D3	FOUNDATION PLAN
D4	TYPICAL FLOOR PLAN
D5	ELEVATION VIEWS - FRONT/REAR
D6	ELEVATION VIEWS - RIGHT/LEFT
D7	ATTACHED GARAGE
D8	DETACHED GARAGE
D9	WALL SECTIONS

AREA MAP



TRANSFERRED
IN COMPLIANCE WITH SEC. 3103
MAY 15 1981
JAMES A. HICKS
LORAIN COUNTY AUDITOR

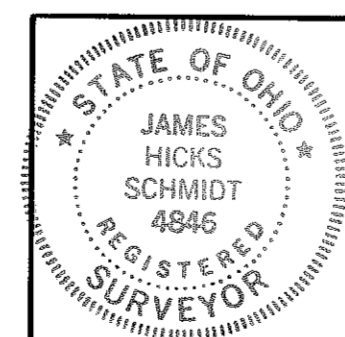
MAY 15 1981
RECORDED
37
39 thru
48 incl.

Box Lorain County Title (Ken H.) \$172.80

1219 WEST RIVER ROAD		
UNIT	AREA (S.F.)	PERCENTAGE
A-1	775	.0395
B-1	775	.0395
C-1	830	.0423
D-1	830	.0423
A-2	795	.0406
B-2	795	.0406
C-2	853	.0435
D-2	853	.0435
A-3	795	.0406
B-3	795	.0406
C-3	853	.0435
D-3	853	.0435
TOTAL	9802	.5000

1217 WEST RIVER ROAD		
UNIT	AREA (S.F.)	PERCENTAGE
A-1	775	.0395
B-1	775	.0395
C-1	830	.0423
D-1	830	.0423
A-2	795	.0406
B-2	795	.0406
C-2	853	.0435
D-2	853	.0435
A-3	795	.0406
B-3	795	.0406
C-3	853	.0435
D-3	853	.0435
TOTAL	9802	.5000

STATEMENT OF CERTIFICATION



I HEREBY CERTIFY THAT THE ATTACHED TABLES CORRECTLY REPRESENT THE AREAS AND PERCENTAGES OF OWNERSHIP FOR THE UNITS OF 1217 AND 1219 WEST RIVER ROAD IN CHERRY RIDGE CONDOMINIUMS.

James H. Schmidt
 JAMES H. SCHMIDT, REG SURVEYOR #4846



I HEREBY CERTIFY THAT THE ATTACHED TABLES CORRECTLY REPRESENT THE AREAS AND PERCENTAGES OF OWNERSHIP FOR THE UNITS OF 1217 AND 1219 WEST RIVER ROAD IN CHERRY RIDGE CONDOMINIUMS.

Robert E. Kleinoeder
 ROBERT E. KLEINOEDER, P.E.

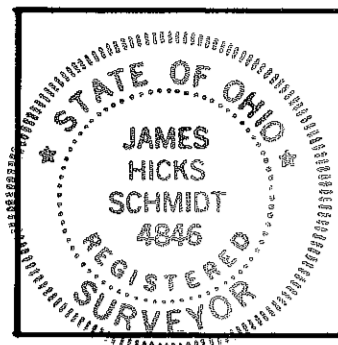
TO BE FILED IN THE OFFICE OF THE COUNTY ENGINEER
 MAY 19 1988
 JAMES H. SCHMIDT
 REGISTERED PROFESSIONAL ENGINEER

CHERRY RIDGE CONDOMINIUMS
PERCENTAGES OF OWNERSHIP

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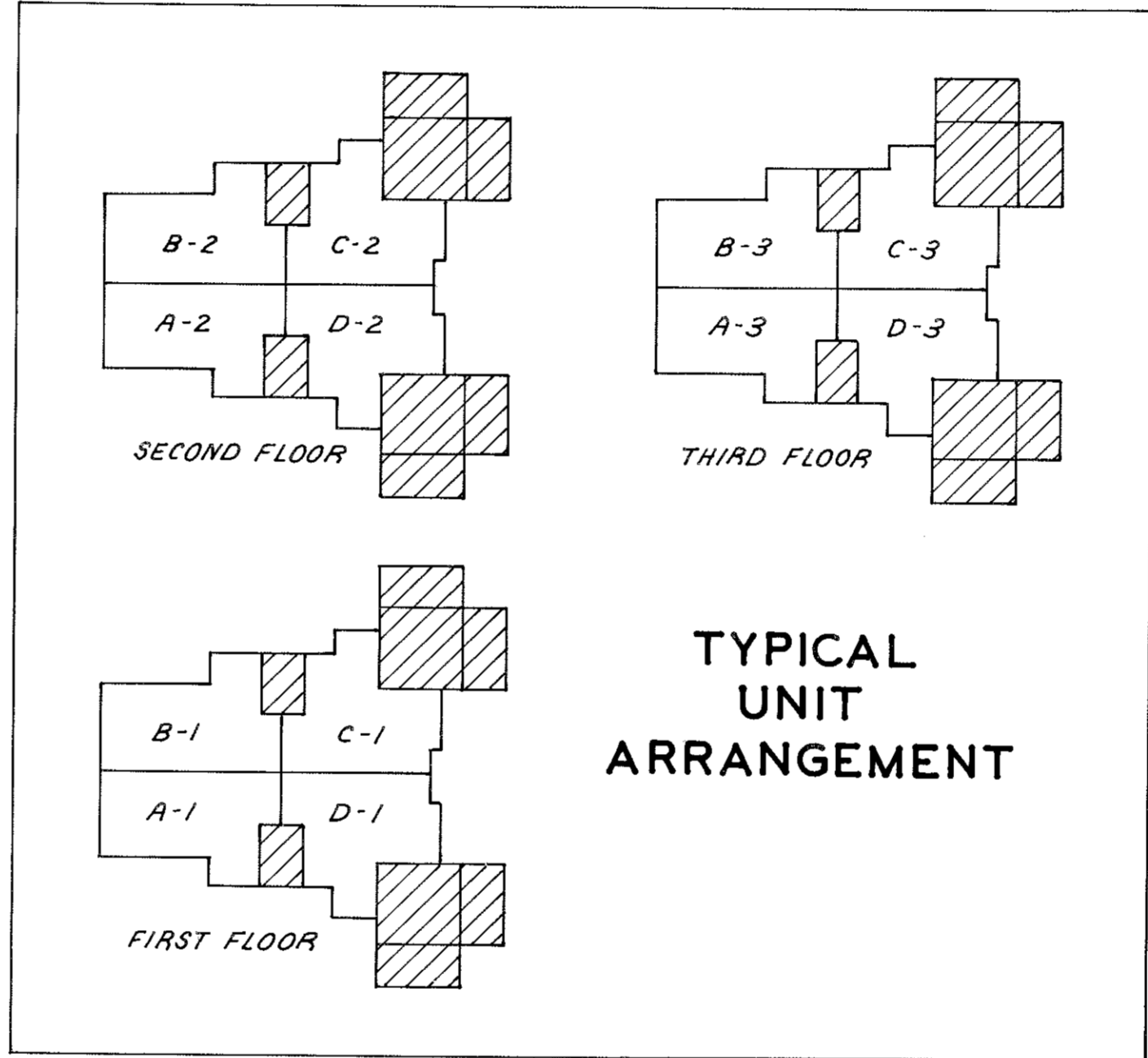
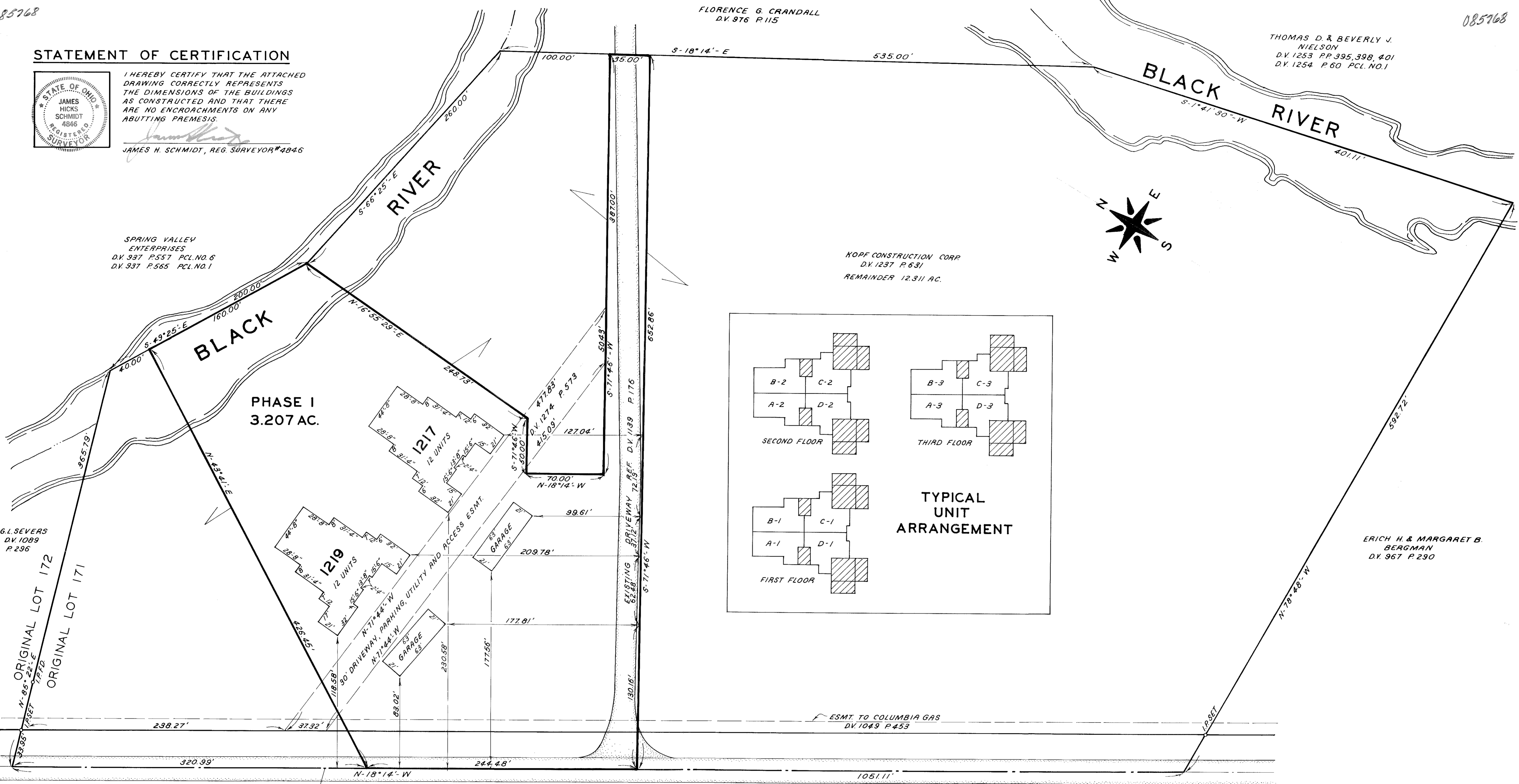
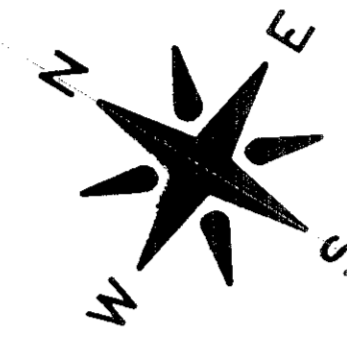
JAMES H. SCHMIDT, REG. SURVEYOR #4846

FLORENCE G. CRANDALL
D.V. 976 P. 115

THOMAS D. & BEVERLY J. NIELSON
D.V. 1253 P.P. 395, 398, 401
D.V. 1254 P. 60 PCL. NO. 1

SPRING VALLEY ENTERPRISES
D.V. 937 P. 557 PCL. NO. 6
D.V. 937 P. 565 PCL. NO. 1

KOPF CONSTRUCTION CORP.
D.V. 1237 P. 631
REMAINDER 12.311 AC.



ERICH H. & MARGARET B. BERGMAN
D.V. 967 P. 290

G.L. SEEVERS
D.V. 1089
P. 296

ORIGINAL LOT 172
ORIGINAL LOT 171

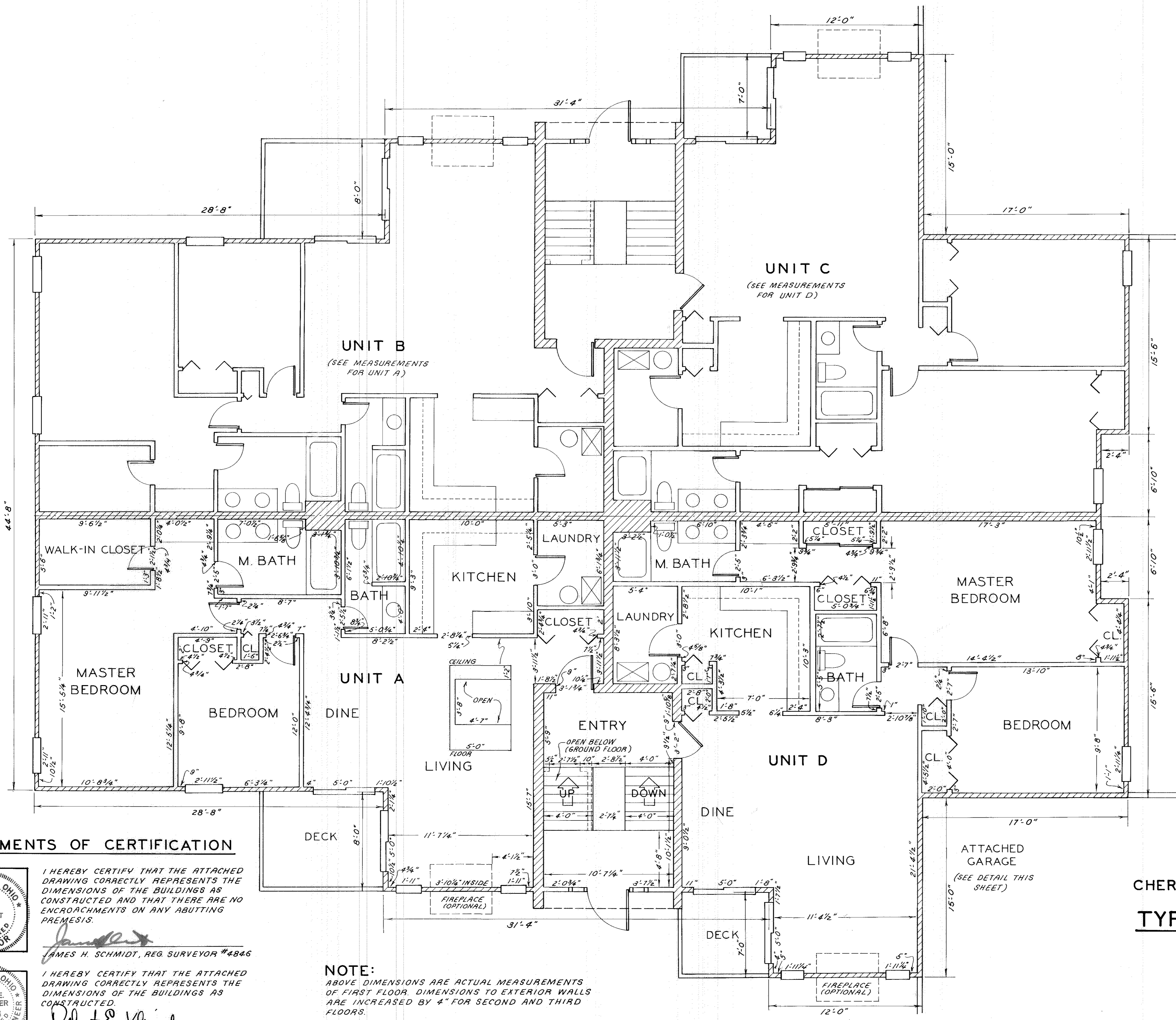
DAVID DRIVE

WEST RIVER ROAD 66'

CHERRY RIDGE CONDOMINIUMS
BOUNDARY AND LOCATION MAP

SCALE: 1" = 40'

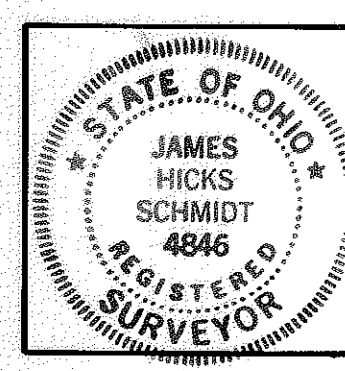
Handwritten notes and signatures at the bottom left.



UNIT DESIGNATION:
 UNIT LETTERS - A, B, C & D - ARE BASED ON ORIENTATION SHOWN THIS SHEET. UNIT NUMBERS - 1, 2 & 3 - INDICATE FLOOR LEVEL WITH 1 BEING THE GROUND FLOOR.

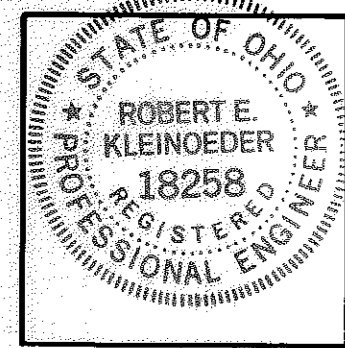
FIREPLACE NOTE:
 BUILDING 1217:
 UNITS B-1, B-2, B-3 AND D-1, D-2, D-3 HAVE FIREPLACES.
 BUILDING 1219:
 UNITS A-1, A-2, A-3 AND B-1, B-2, B-3 HAVE FIREPLACES.

STATEMENTS OF CERTIFICATION



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 ROBERT E. KLEINOEDER, P.E.

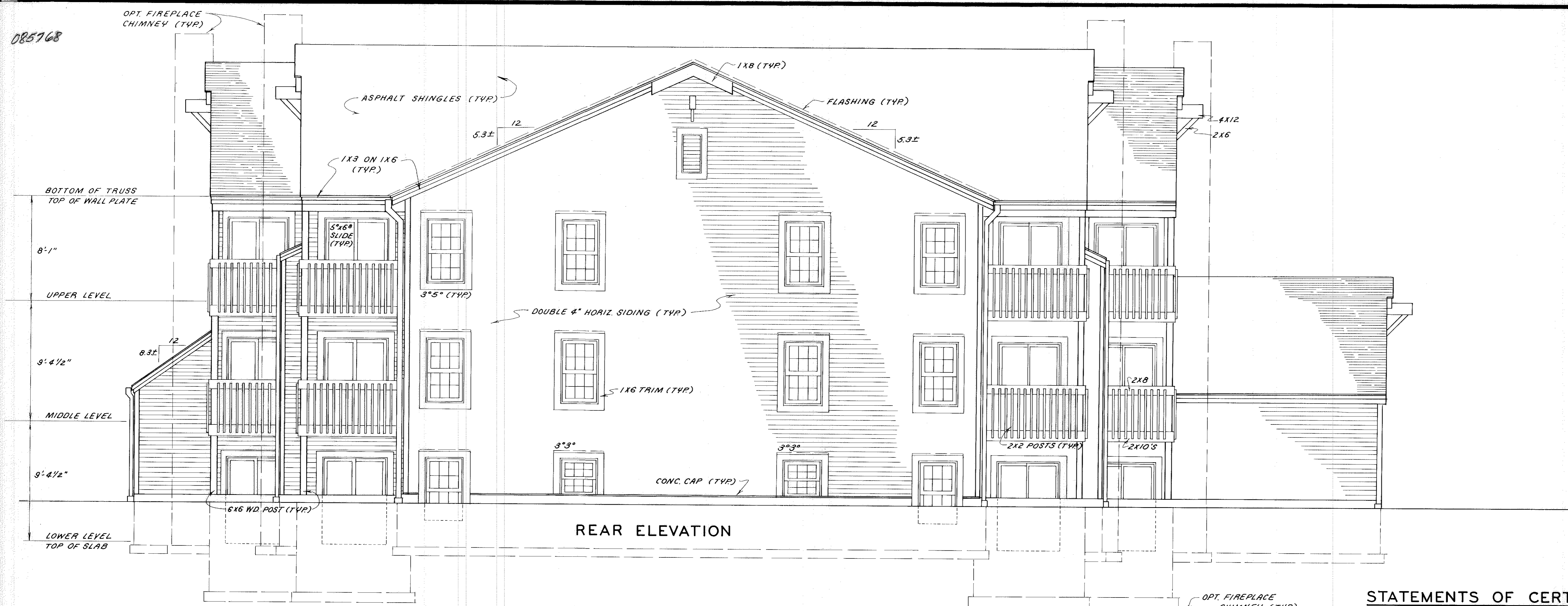
NOTE:
 ABOVE DIMENSIONS ARE ACTUAL MEASUREMENTS OF FIRST FLOOR. DIMENSIONS TO EXTERIOR WALLS ARE INCREASED BY 4" FOR SECOND AND THIRD FLOORS.

**CHERRY RIDGE CONDOMINIUMS
 TYPICAL FLOOR PLAN**

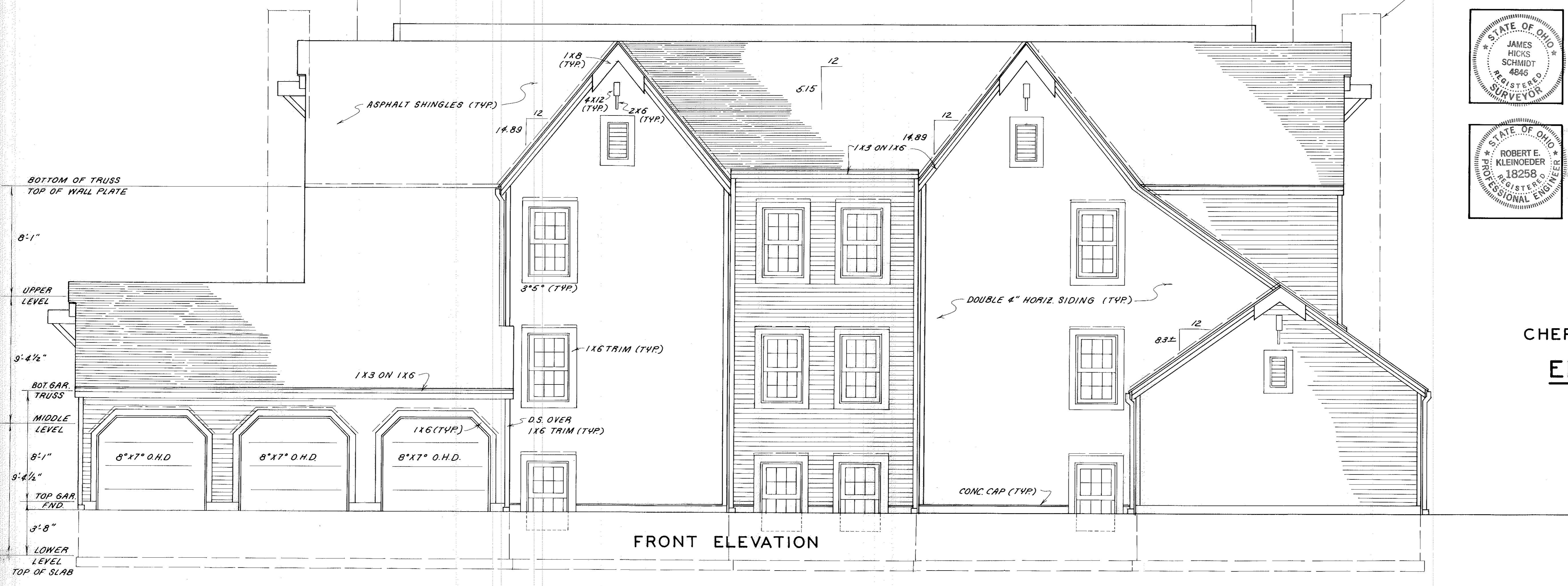
SCALE: 1"=4'

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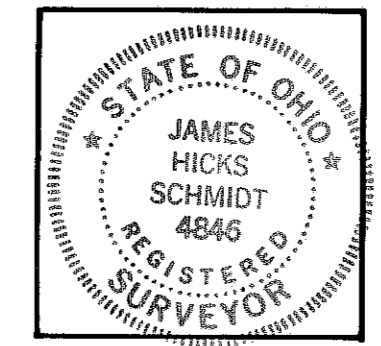


REAR ELEVATION



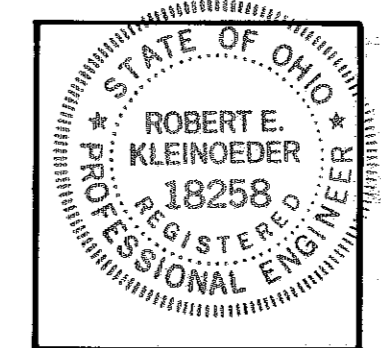
FRONT ELEVATION

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 ROBERT E. KLEINOEDER, P.E.

CHERRY RIDGE CONDOMINIUMS
 ELEVATION VIEWS

FRONT/REAR

SCALE: 1"=4'

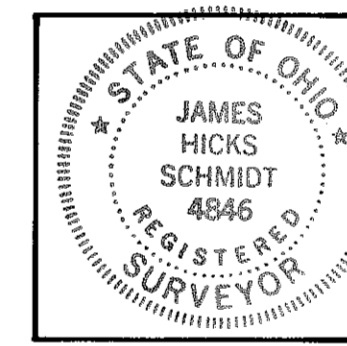


RIGHT SIDE ELEVATION



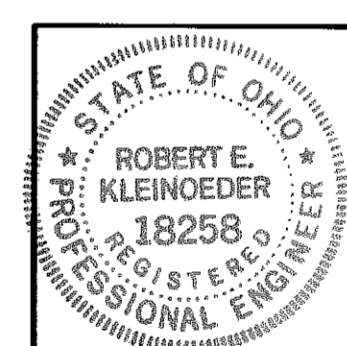
LEFT SIDE ELEVATION

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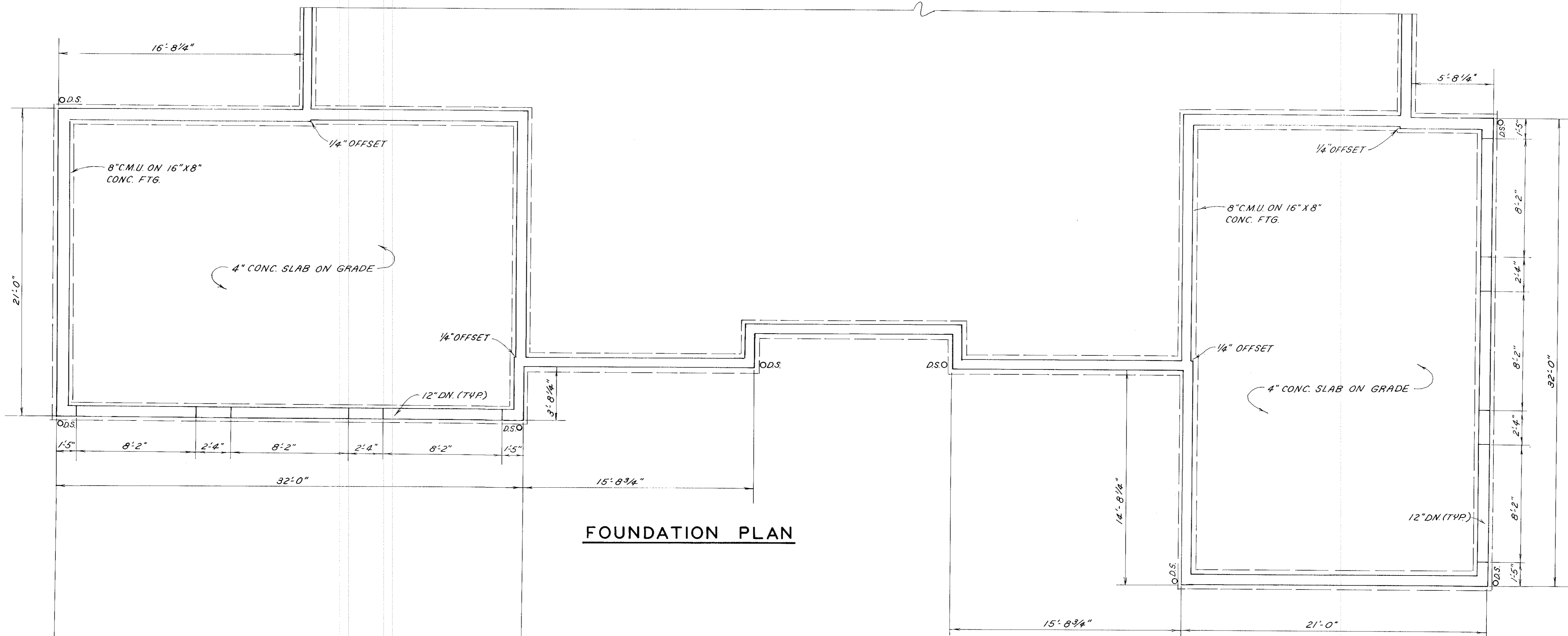
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ROBERT E. KLEINOEDER, P.E.

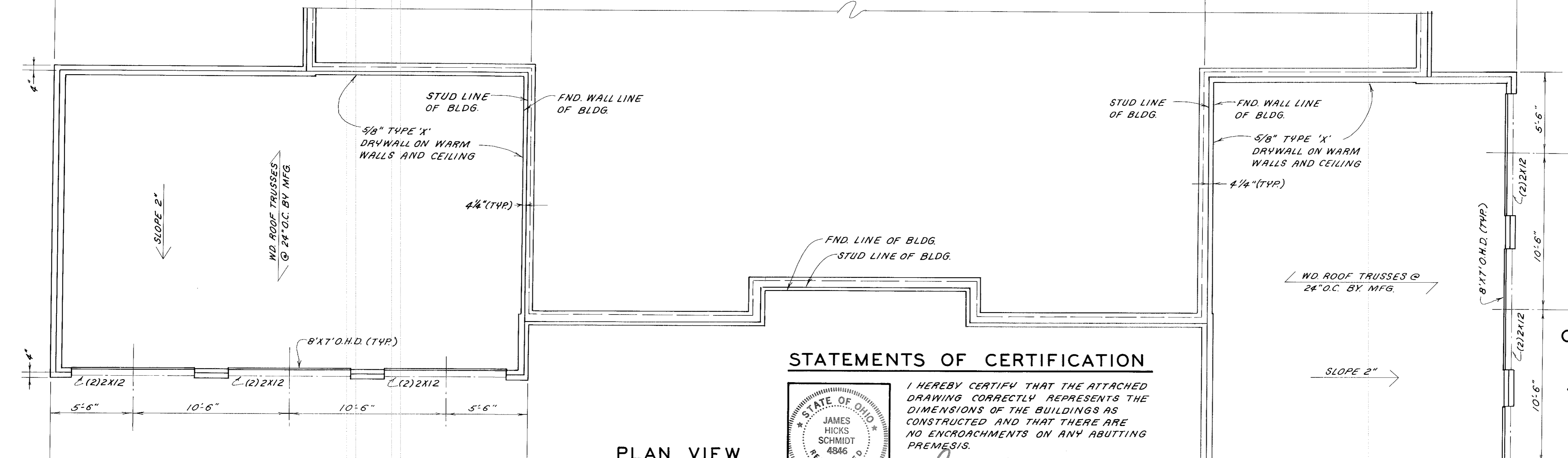
CHERRY RIDGE CONDOMINIUMS
ELEVATION VIEWS

RIGHT/LEFT

SCALE: 1" = 4'



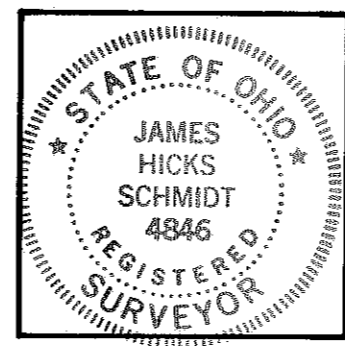
FOUNDATION PLAN



PLAN VIEW

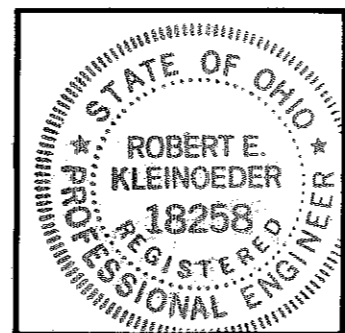
NOTE:
GARAGE ORIENTATION DIFFERS AS PER SITE CONDITIONS. SEE "BOUNDARY AND LOCATION MAP" FOR ORIENTATION OF ATTACHED GARAGES FOR EACH BUILDING.

STATEMENTS OF CERTIFICATION



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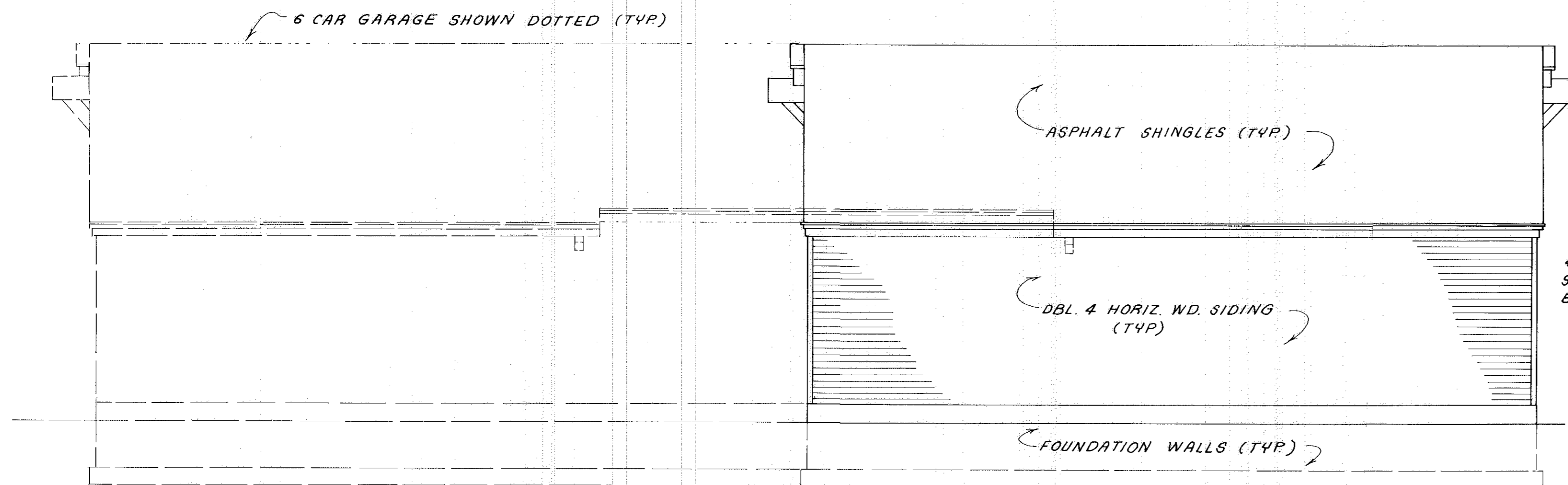
James H. Schmidt
JAMES H. SCHMIDT, REG. SURVEYOR #4846



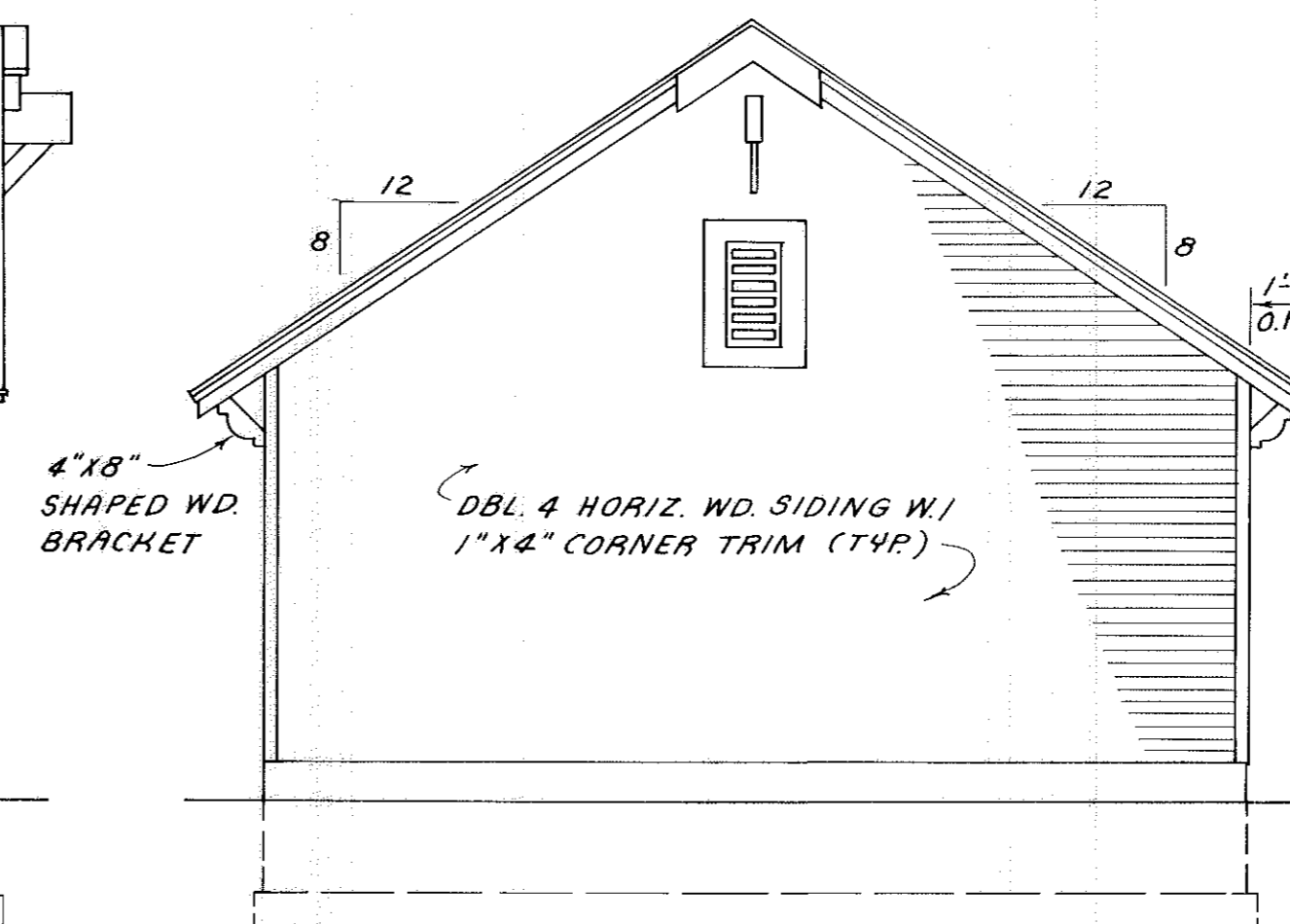
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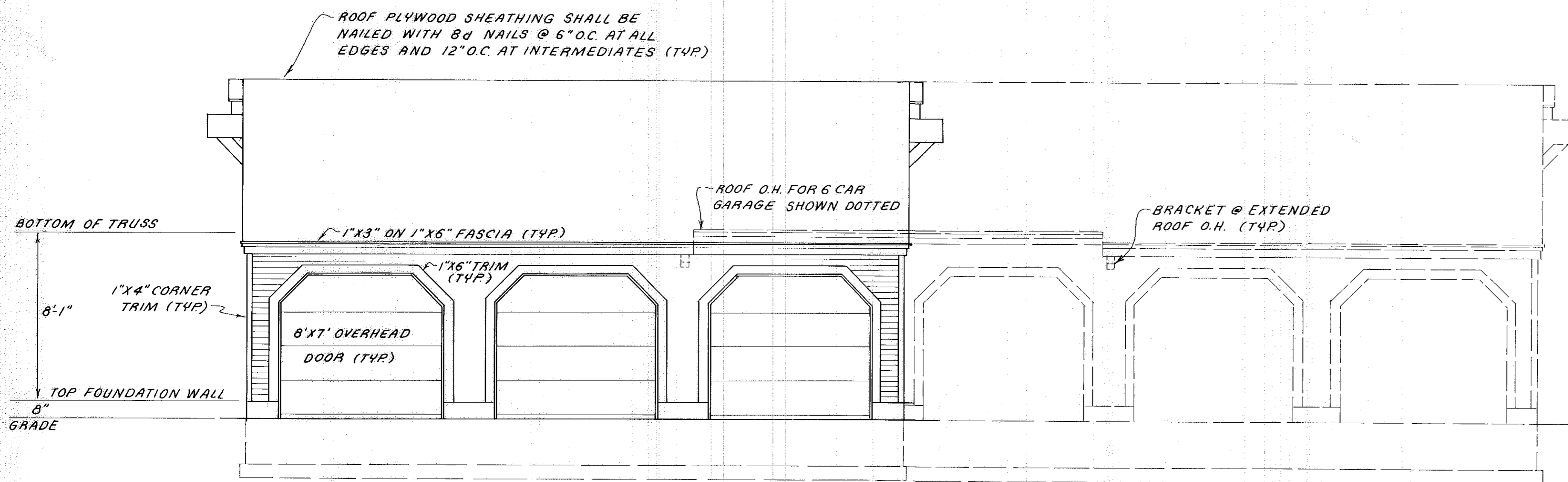
CHERRY RIDGE CONDOMINIUMS
ATTACHED GARAGE
SCALE: 1"=4'



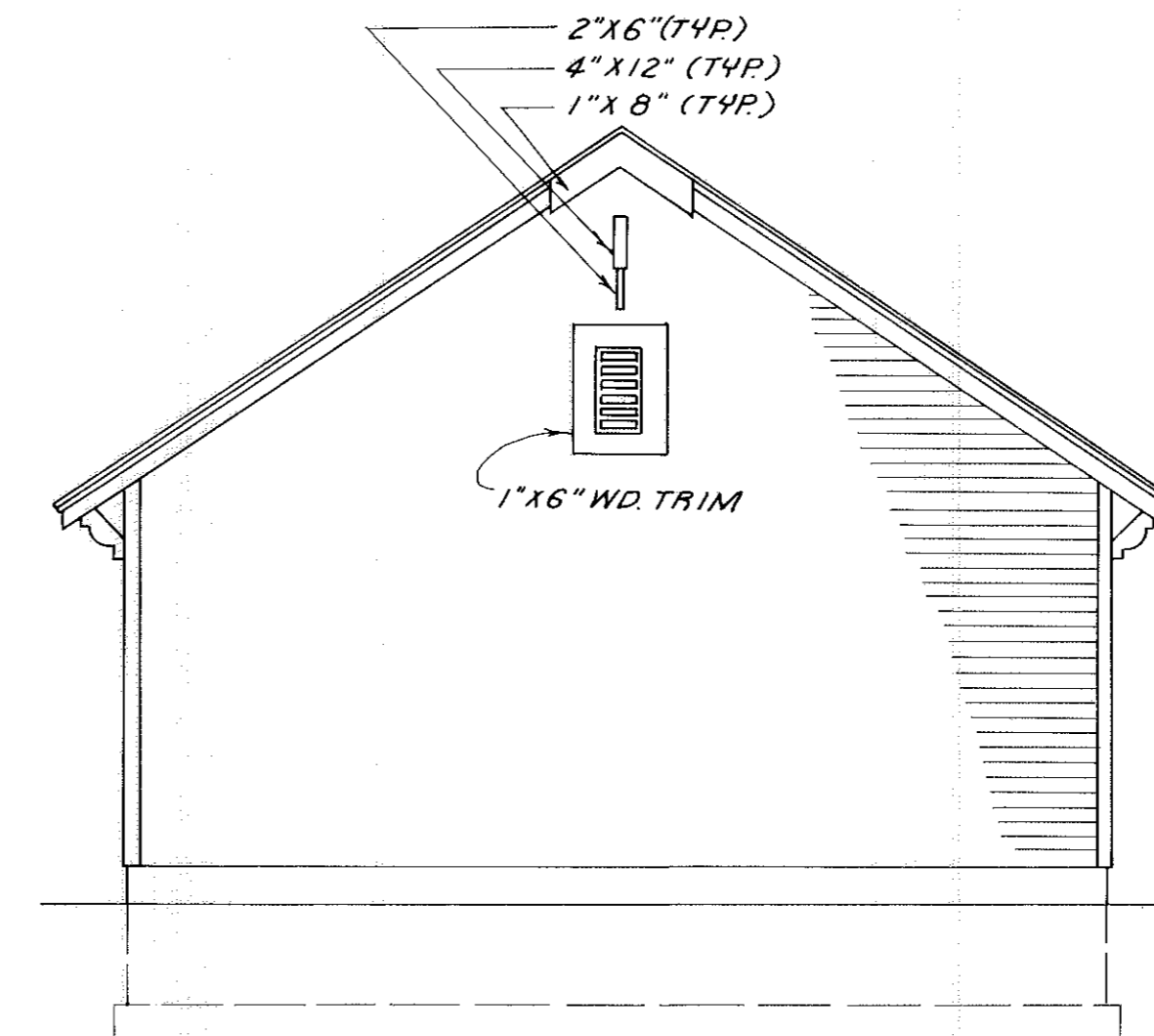
REAR ELEVATION



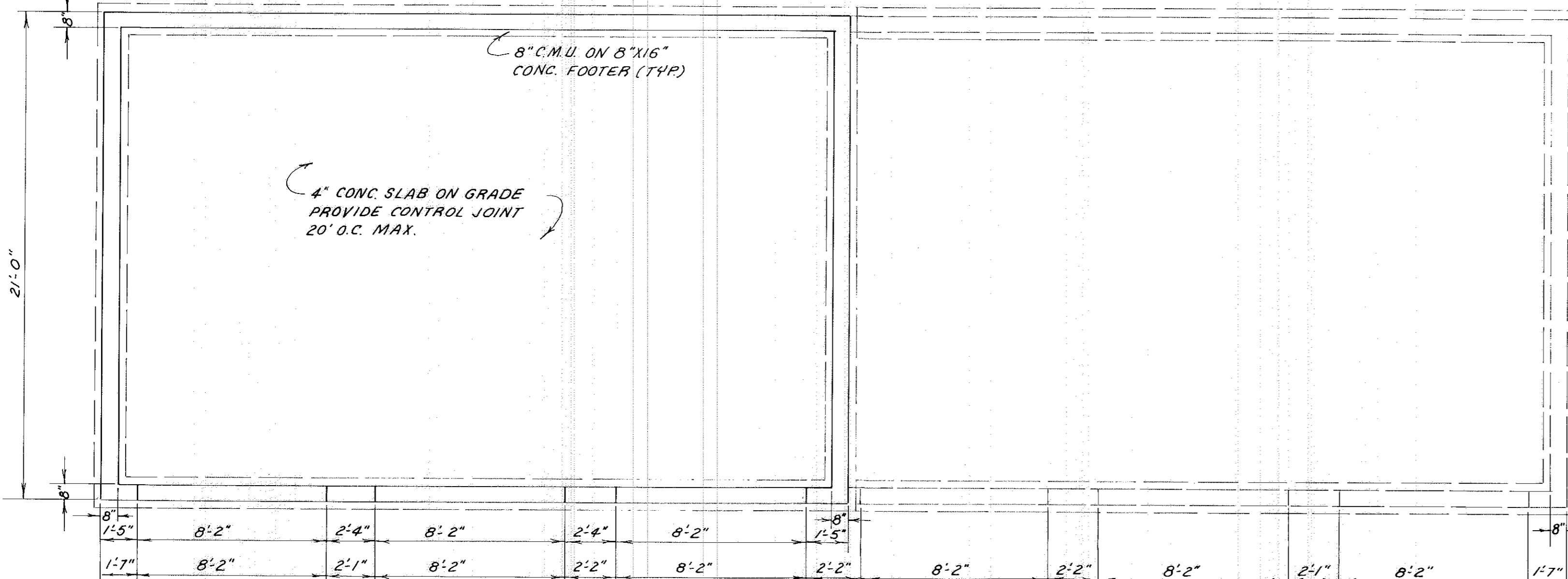
LEFT SIDE ELEVATION



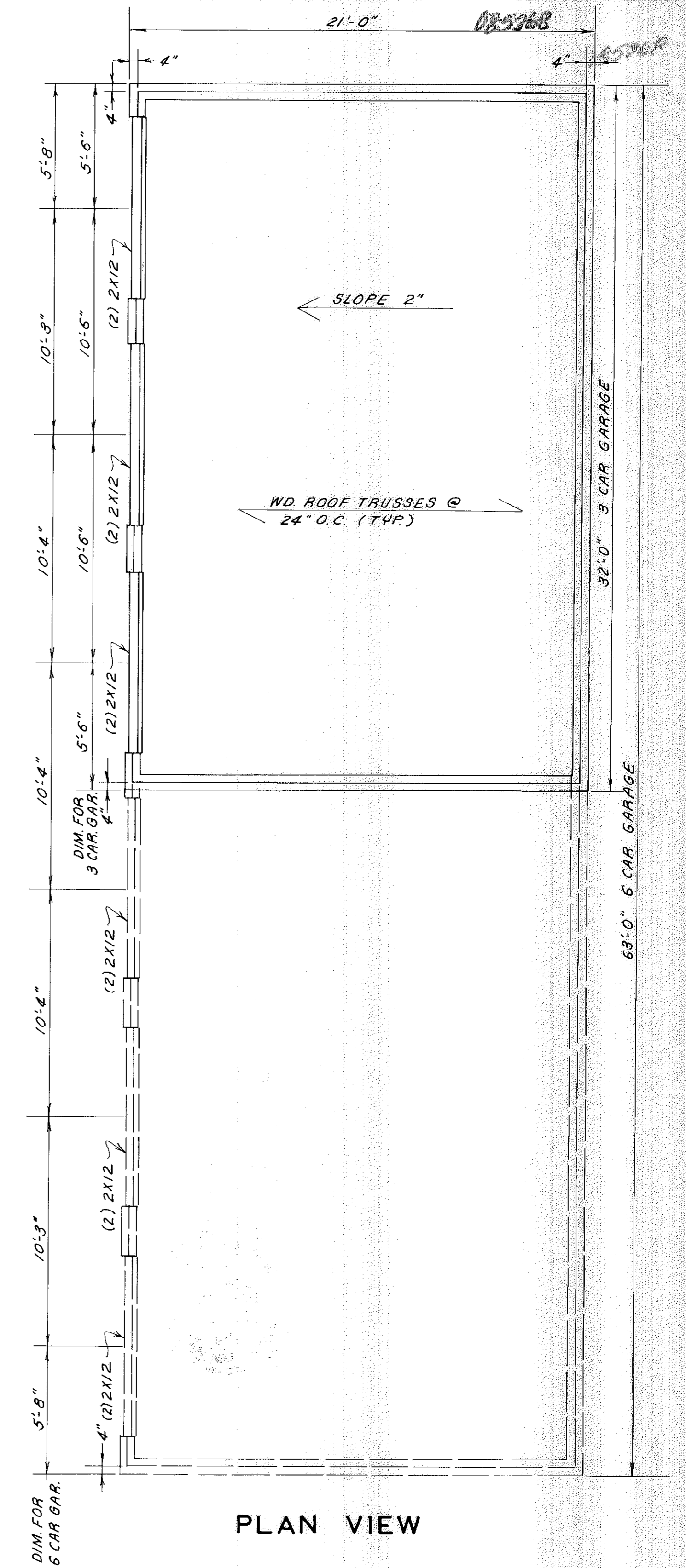
FRONT ELEVATION



RIGHT SIDE ELEVATION

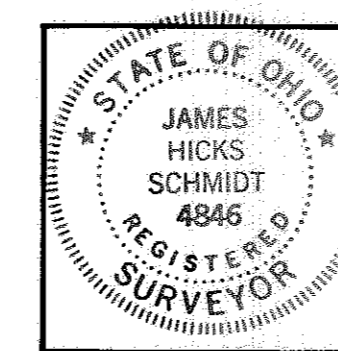


FOUNDATION PLAN



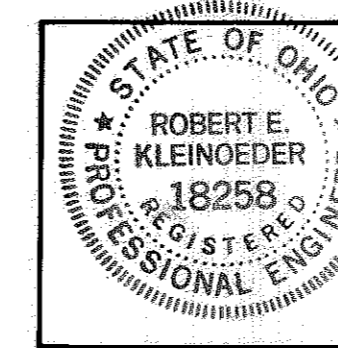
PLAN VIEW

STATEMENTS OF CERTIFICATION



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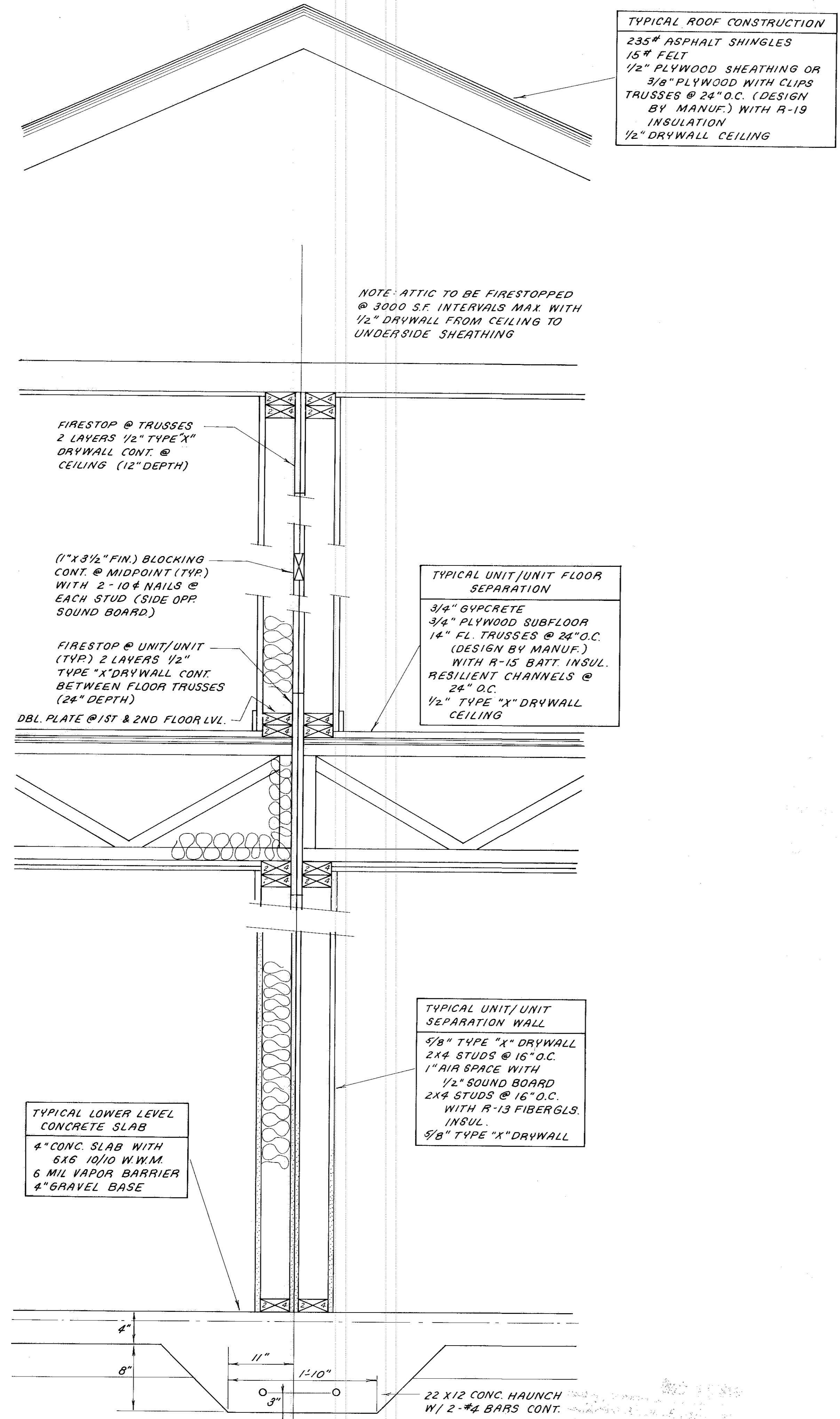
Robert E. Kleinoeder
 ROBERT E. KLEINOEDER, P.E.

CHERRY RIDGE CONDOMINIUMS

DETACHED GARAGE

3 CAR - 6 CAR

SCALE: 1"=4'



TYPICAL ROOF CONSTRUCTION
 235# ASPHALT SHINGLES
 15# FELT
 1/2" PLYWOOD SHEATHING OR
 3/8" PLYWOOD WITH CLIPS
 TRUSSES @ 24" O.C. (DESIGN
 BY MANUF.) WITH R-19
 INSULATION
 1/2" DRYWALL CEILING

NOTE: ATTIC TO BE FIRESTOPPED
 @ 3000 S.F. INTERVALS MAX. WITH
 1/2" DRYWALL FROM CEILING TO
 UNDERSIDE SHEATHING

FIRESTOP @ TRUSSES
 2 LAYERS 1/2" TYPE "X"
 DRYWALL CONT. @
 CEILING (12" DEPTH)

(1"x3 1/2" FIN.) BLOCKING
 CONT. @ MIDPOINT (TYP.)
 WITH 2-10# NAILS @
 EACH STUD (SIDE OPP
 SOUND BOARD)

FIRESTOP @ UNIT/UNIT
 (TYP.) 2 LAYERS 1/2"
 TYPE "X" DRYWALL CONT.
 BETWEEN FLOOR TRUSSES
 (24" DEPTH)

DBL. PLATE @ 1ST & 2ND FLOOR LVL.

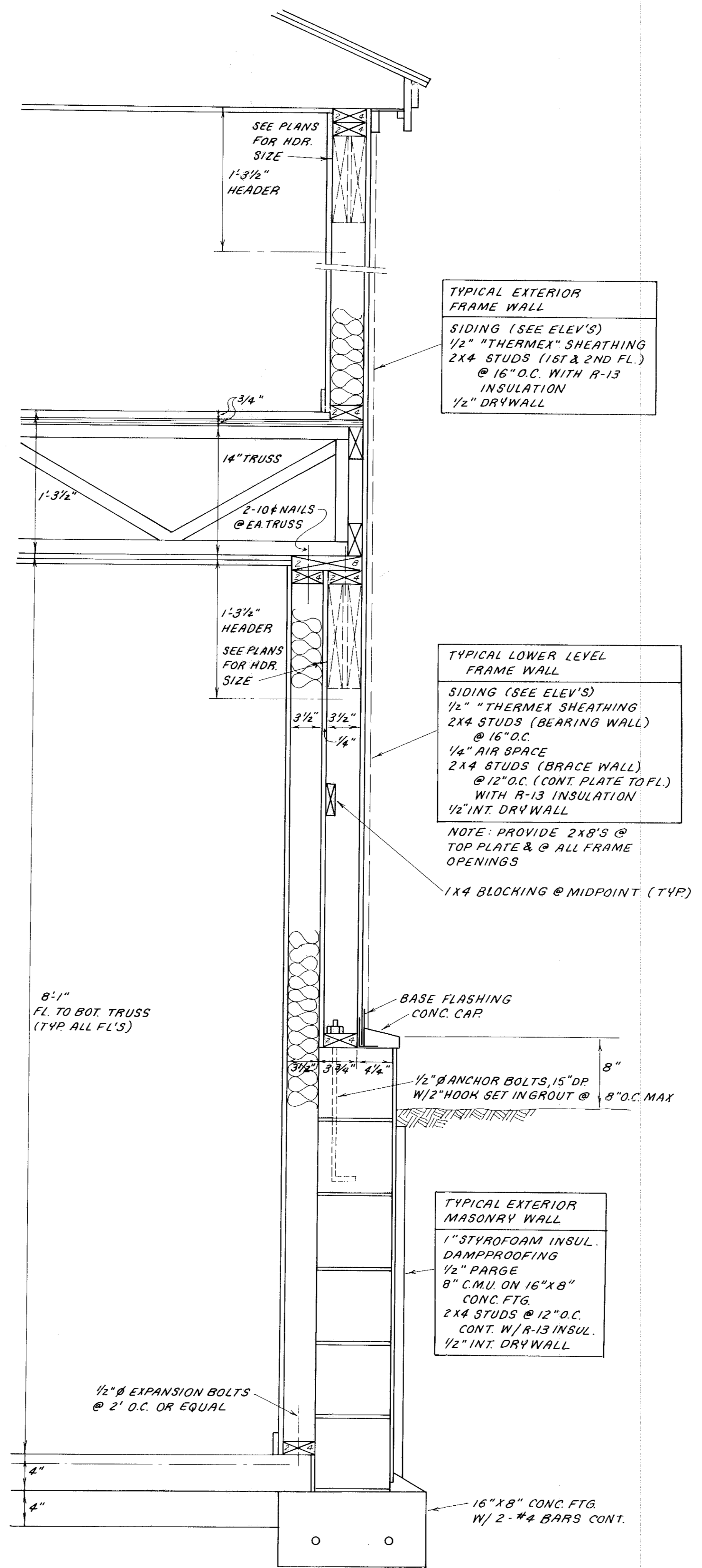
TYPICAL UNIT/UNIT FLOOR SEPARATION
 3/4" GYPCRETE
 3/4" PLYWOOD SUBFLOOR
 14" FL. TRUSSES @ 24" O.C.
 (DESIGN BY MANUF.)
 WITH R-15 BATT INSUL.
 RESILIENT CHANNELS @
 24" O.C.
 1/2" TYPE "X" DRYWALL
 CEILING

TYPICAL UNIT/UNIT SEPARATION WALL
 5/8" TYPE "X" DRYWALL
 2X4 STUDS @ 16" O.C.
 1" AIR SPACE WITH
 1/2" SOUND BOARD
 2X4 STUDS @ 16" O.C.
 WITH R-13 FIBERGLS.
 INSUL.
 5/8" TYPE "X" DRYWALL

TYPICAL LOWER LEVEL CONCRETE SLAB
 4" CONC. SLAB WITH
 5X6 10/10 W.W.M.
 6 MIL VAPOR BARRIER
 4" GRAVEL BASE

22 X 12 CONC. HAUNCH
 W/ 2-#4 BARS CONT.

TYPICAL DWELLING UNIT SEPARATION WALL



SEE PLANS FOR HDR.
 SIZE
 1-3 1/2" HEADER

TYPICAL EXTERIOR FRAME WALL
 SIDING (SEE ELEV'S)
 1/2" "THERMEX" SHEATHING
 2X4 STUDS (1ST & 2ND FL.)
 @ 16" O.C. WITH R-13
 INSULATION
 1/2" DRYWALL

TYPICAL LOWER LEVEL FRAME WALL
 SIDING (SEE ELEV'S)
 1/2" "THERMEX" SHEATHING
 2X4 STUDS (BEARING WALL)
 @ 16" O.C.
 1/4" AIR SPACE
 2X4 STUDS (BRACE WALL)
 @ 12" O.C. (CONT. PLATE TO FL.)
 WITH R-13 INSULATION
 1/2" INT. DRYWALL

NOTE: PROVIDE 2X8'S @
 TOP PLATE & @ ALL FRAME
 OPENINGS

1X4 BLOCKING @ MIDPOINT (TYP.)

8'-1" FL. TO BOT. TRUSS
 (TYP. ALL FL'S)

BASE FLASHING
 CONC. CURB

1/2" Ø ANCHOR BOLTS, 15" DP
 W/ 2" HOOK SET IN GROUT @ 8" O.C. MAX

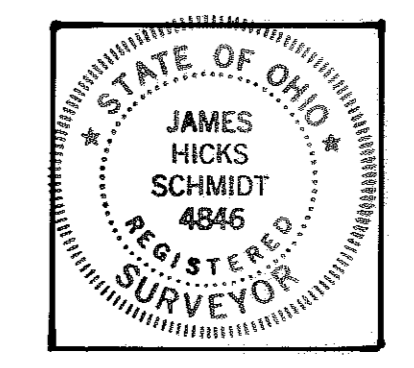
TYPICAL EXTERIOR MASONRY WALL
 1" STYROFOAM INSUL.
 DAMPPROOFING
 1/2" PARGE
 8" C.M.U. ON 16" X 8"
 CONC. FTG.
 2X4 STUDS @ 12" O.C.
 CONT. W/ R-13 INSUL.
 1/2" INT. DRYWALL

1/2" Ø EXPANSION BOLTS
 @ 2' O.C. OR EQUAL

16" X 8" CONC. FTG.
 W/ 2-#4 BARS CONT.

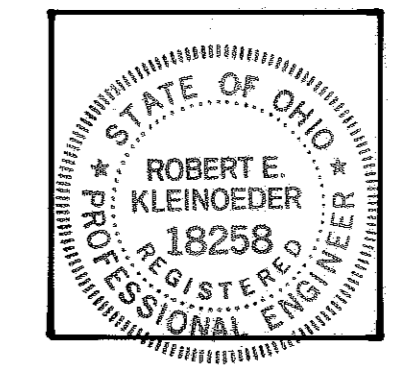
TYPICAL EXTERIOR WALL

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ROBERT E. KLEINODER, P.E.

CHERRY RIDGE CONDOMINIUMS

WALL SECTIONS

SCALE: 1.5" = 1'