

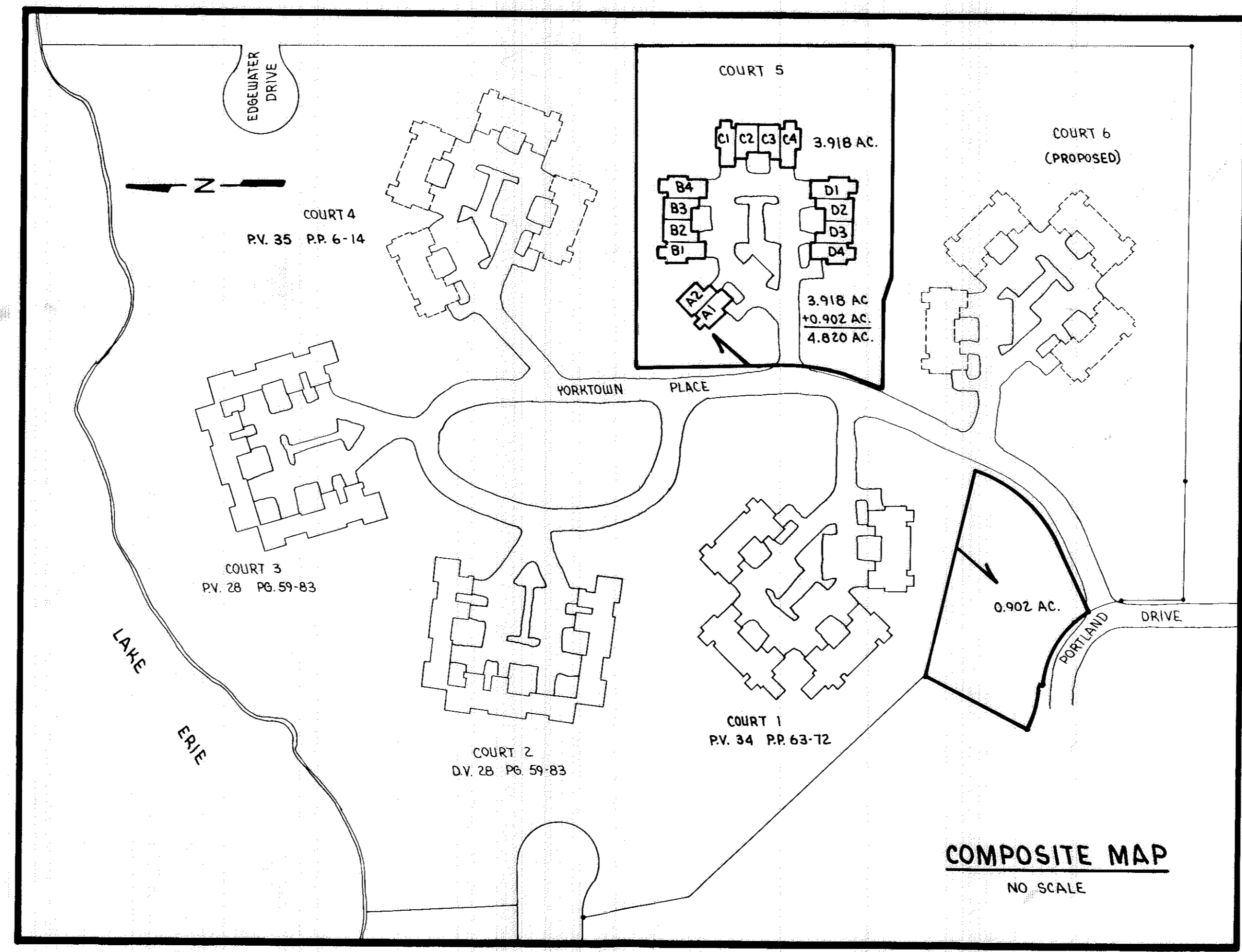
#061476

#061476

A PLAT OF COURT 5 IN CRYSTAL COVE CONDOMINIUMS

315 YORKTOWN PLACE

BROWNHELM TOWNSHIP ORIGINAL LOT 1 LORAIN COUNTY CITY OF VERMILION, OHIO

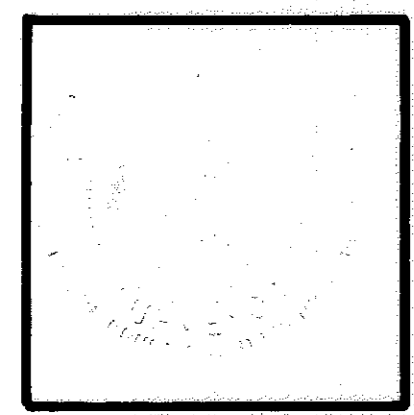


INDEX OF SHEETS

SHEET	DESCRIPTION
D0	PERCENTAGES OF OWNERSHIP
D43	TITLE, INDEX, COMPOSITE MAP
D44	SURVEY AND LOCATION MAP
D45	FOUNDATION PLAN
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D47	SECOND FLOOR PLAN, BUILDINGS B,C,D
D48	FIRST & SECOND FLOOR PLAN, BUILDING A
D49	FAMILY ROOM PLAN & ELEVATIONS
D50	FRONT & REAR ELEVATIONS, BUILDINGS B,C,D
D51	SIDE & SECTION ELEVATIONS, BUILDINGS B,C,D
D52	ELEVATIONS FOR BUILDING A

PREPARED BY:
KLEINOEDER-SCHMIDT & ASSOC.
CONSULTING ENGINEERS & SURVEYORS
424 MIDDLE AVENUE ELVIRA, OHIO 44035

STATEMENT OF CERTIFICATION



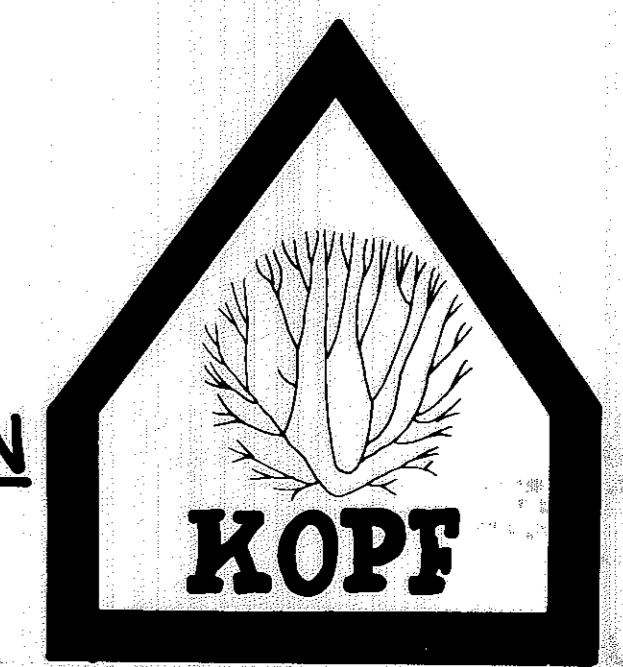
I HEREBY CERTIFY THAT THE ATTACHED DRAWING CORRECTLY INDICATES THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED, AND THAT THERE ARE NO ENCROACHMENTS ON ANY ADJUTING PREMISES.

James H. Schmidt
JAMES H. SCHMIDT, REG. SURVEYOR

*MAILED MAY 16 1980
36
36
46 in.*

*#190-08
Boyer
Lorain Co. title
(Ken Handley)*

PREPARED FOR:
KOPF CONSTRUCTION
445 AVON-BELDEN ROAD
AVON LAKE, OHIO 44012



TRANSFERRED
IN COMPLIANCE WITH SEC. 919-202
OHIO REV. CODE
MAY 16 1980
JULIAN A. PUGH
LORAIN COUNTY AUDITOR

COMPOSITE MAP
NO SCALE

061476

061476

COURT 1		
UNIT	AREA SQ. FT.	% OWNERSHIP
330 A1	1821	1.600
330 A2	1681	1.477
330 A3	1681	1.477
330 A4	1821	1.600
330 B1	1821	1.600
330 B2	1681	1.477
330 B3	1681	1.477
330 B4	2161	1.900
330 C1	2161	1.900
330 C2	1681	1.477
330 C3	1681	1.477
330 C4	1821	1.600
330 D1	1821	1.600
330 D2	1681	1.477
330 D3	1681	1.477
330 D4	1821	1.600
TOTALS	28,696	25.216

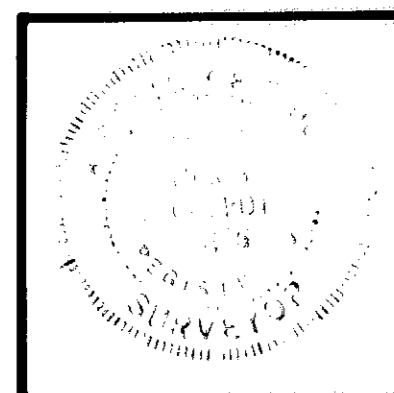
COURT 2		
UNIT	AREA SQ. FT.	% OWNERSHIP
290 A1	992	0.872
290 A2	1530	1.345
290 A3	1723	1.514
290 A4	1013	0.890
290 B1	992	0.872
290 B2	1530	1.345
290 B3	1723	1.514
290 B4	1013	0.890
290 C1	992	0.872
290 C2	1530	1.345
290 C3	1723	1.514
290 C4	1013	0.890
TOTALS	15,774	13.863

COURT 3		
UNIT	AREA SQ. FT.	% OWNERSHIP
270 A1	992	0.872
270 A2	1530	1.345
270 A3	1723	1.514
270 A4	1013	0.890
270 B1	992	0.872
270 B2	1530	1.345
270 B3	1723	1.514
270 B4	1013	0.890
270 C1	992	0.872
270 C2	1530	1.345
270 C3	1723	1.514
270 C4	1013	0.890
TOTALS	15,774	13.863

COURT 4		
UNIT	AREA, SQ. FT.	% OWNERSHIP
285 A1	1821	1.600
285 A2	1681	1.477
285 A3	1681	1.477
285 A4	1821	1.600
285 B1	2161	1.900
285 B2	1681	1.477
285 B3	1681	1.477
285 B4	2161	1.900
285 C1	1821	1.600
285 C2	1681	1.477
285 C3	1681	1.477
285 C4	1821	1.600
285 D1	1821	1.600
285 D2	1681	1.477
285 D3	1681	1.477
285 D4	1821	1.600
TOTALS	28,696	25.216

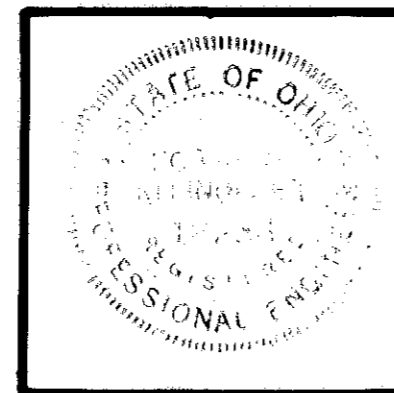
COURT 5		
UNIT	AREA, SQ. FT.	% OWNERSHIP
315 A1	1821	1.600
315 A2	1681	1.477
315 B1	1821	1.600
315 B2	1681	1.477
315 B3	1681	1.477
315 B4	1821	1.600
315 C1	1821	1.600
315 C2	1681	1.477
315 C3	1681	1.477
315 C4	1821	1.600
315 D1	1821	1.600
315 D2	1681	1.477
315 D3	1681	1.477
315 D4	2161	1.900
TOTALS	24,854	21.842

STATEMENTS OF CERTIFICATION



I HEREBY CERTIFY THAT THE ATTACHED TABLES CORRECTLY REPRESENT THE AREAS AND PERCENTAGES OF OWNERSHIP FOR THE UNITS OF COURTS 1 THRU 4 OF CRYSTAL COVE CONDOMINIUMS. AREAS FOR UNITS IN COURTS 2 AND 3 ARE AS PER PLAT RECORDED IN PLAT VOL. 28, PAGES 59 THRU 83. AREAS FOR UNITS IN COURTS 1, 4 & 5 ARE COMPUTED BASED ON DRAWINGS D-26 THRU D-52.

James H. Schmidt
JAMES H. SCHMIDT, REG. SURVEYOR



I HEREBY CERTIFY THAT THE ATTACHED TABLES CORRECTLY REPRESENT THE AREAS AND PERCENTAGES OF OWNERSHIP FOR THE UNITS OF COURTS 1 THRU 4 OF CRYSTAL COVE CONDOMINIUMS. AREAS FOR UNITS IN COURTS 2 AND 3 ARE AS PER PLAT RECORDED IN PLAT VOL. 28, PAGES 59 THRU 83. AREAS FOR UNITS IN COURTS 1, 4 & 5 ARE COMPUTED BASED ON DRAWINGS D-26 THRU D-52.

Robert E. Kleineder
ROBERT E. KLEINEDER, REG. ENGINEER

CRYSTAL COVE CONDOMINIUMS
UNIT AREAS &
PERCENTAGES OF OWNERSHIP

TRANSFERRED
IN ACCORDANCE WITH SEC. 319-202
OF THE REV. CODE
MAY 16 1988
JULIANA FLJOR
ALCOHOL COUNTY AUDITOR

DO

#061476

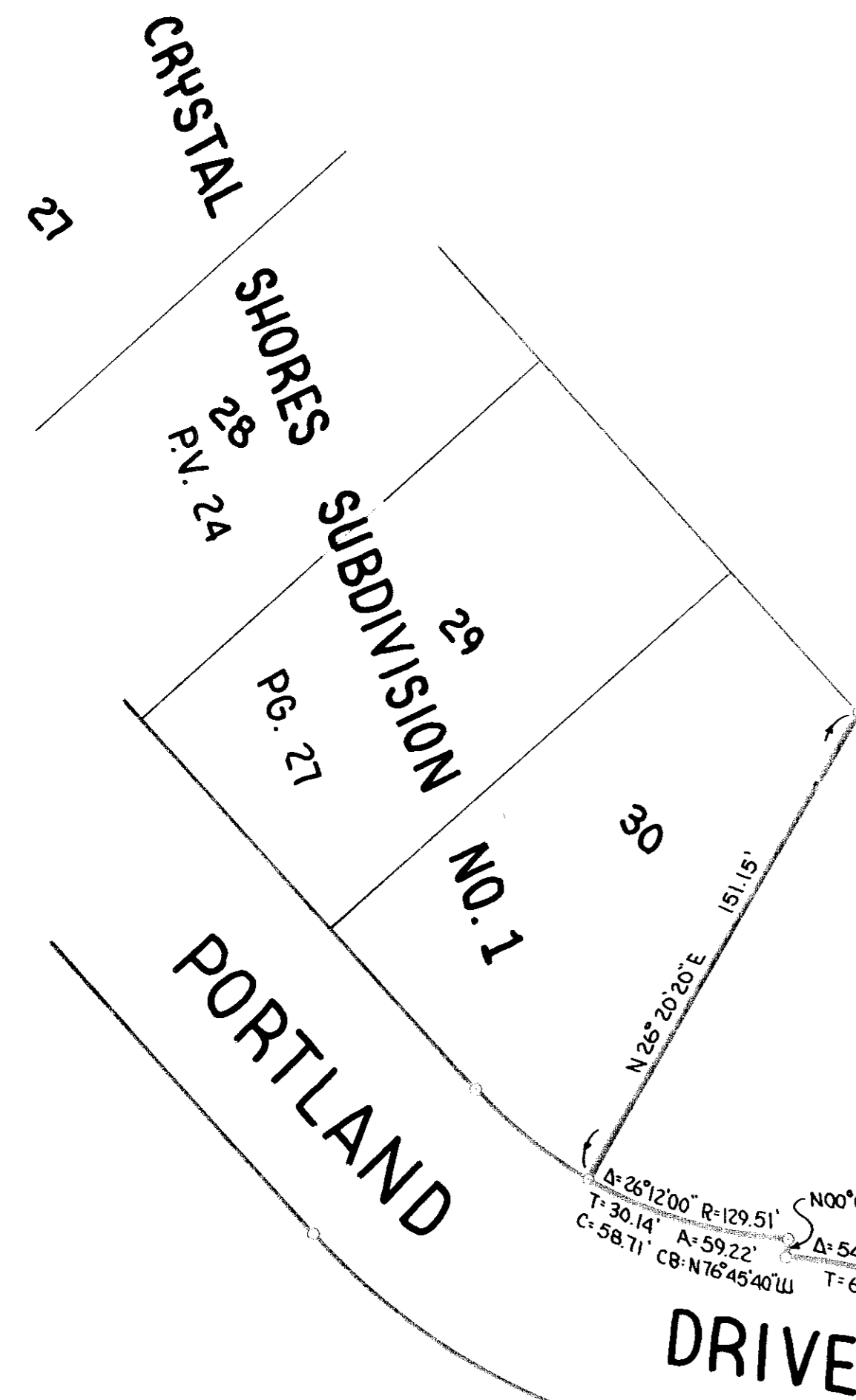
CRYSTAL COVE CONDOMINIUMS COURT 2 & 3

P.V. 28 P.P. 59-83

CRYSTAL COVE CONDOMINIUMS COURT 4

P.V. 35 P.P. 6 THRU 14

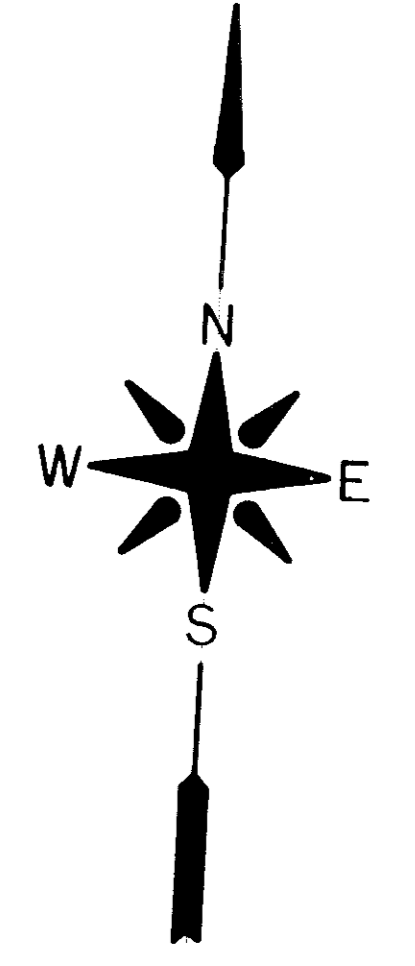
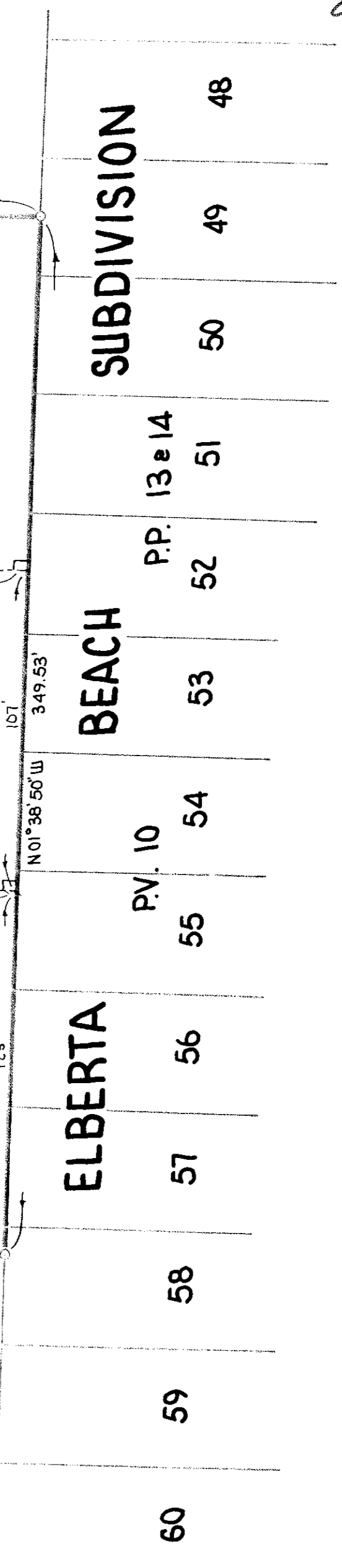
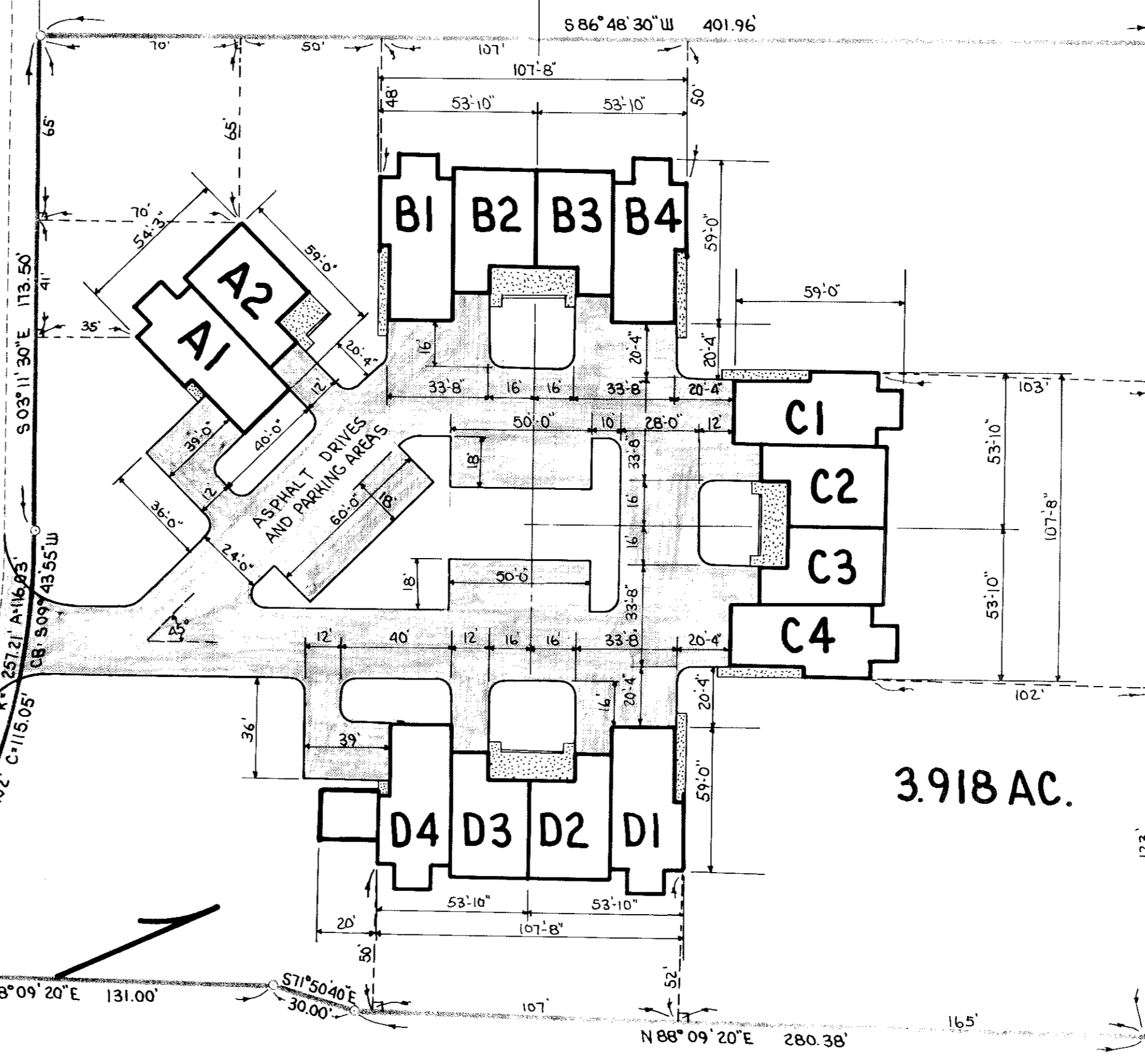
#061476



CRYSTAL COVE CONDOMINIUMS COURT 1
P.V. 34 P.P. 63 THRU 72

YORKTOWN PLACE

50' P.V. 28 P.P. 59-83

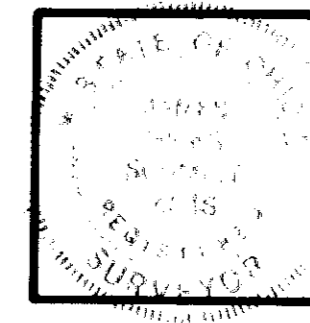


SCALE: 1"=40'

LEGEND

- ASPHALT DRIVES AND PARKING AREAS
- 4" PC. CONC. SIDEWALKS AND PATIOS
- GRASSED AREAS

STATEMENT OF CERTIFICATION



I HEREBY CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED, AND THAT THERE ARE NO ENCROACHMENTS ON ANY ABUTTING PREMISES.

James H. Schmidt
JAMES H. SCHMIDT REG. SURVEYOR

TRANSFERRED
IN COMPLIANCE WITH SEC. 810-222
GMS-REV. 0008
11-18-11
11-16-11
JAZANA RIJOR
REG. SURVEYOR

CRYSTAL COVE CONDOMINIUMS SURVEY AND LOCATION MAP

COURT 5

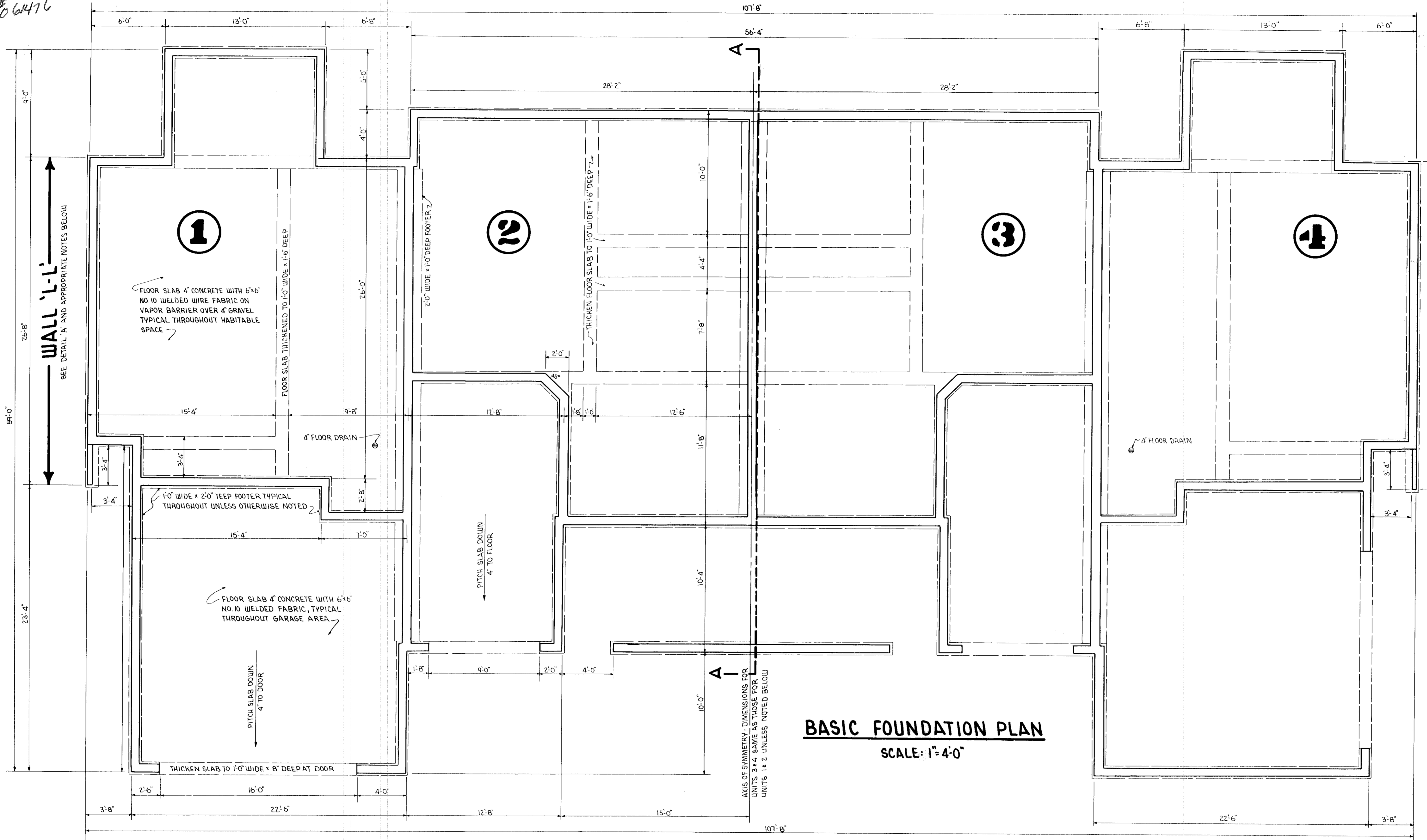


#06476

#06476

LEFT WALL

RIGHT WALL



BASIC FOUNDATION PLAN
SCALE: 1" = 4'-0"

STATEMENTS OF CERTIFICATION

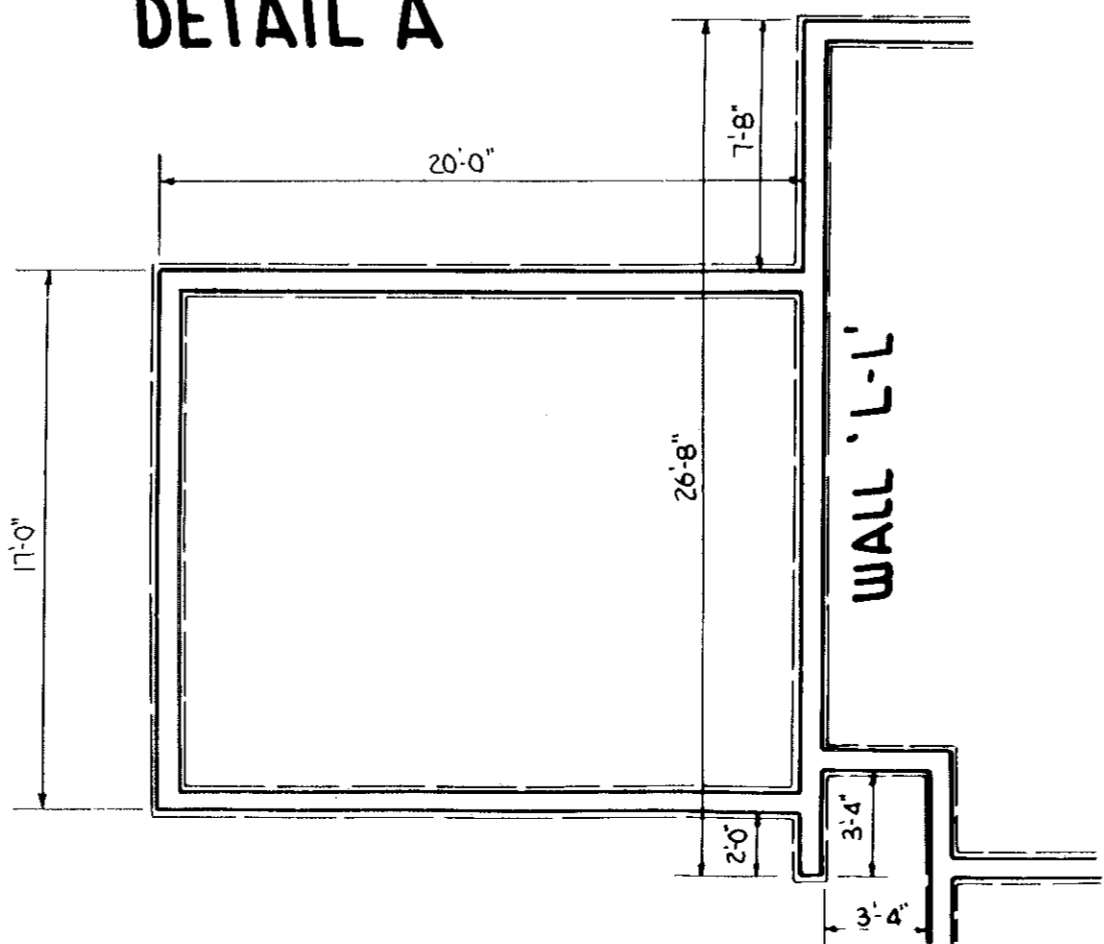
I HEREBY CERTIFY THAT THE ATTACHED DRAWING CORRECTLY REPRESENTS THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED, AND THAT THERE ARE NO ENCROACHMENTS ON ANY ADJACENT PREMISES.

James H. Schmidt
JAMES H. SCHMIDT, REG. SURVEYOR

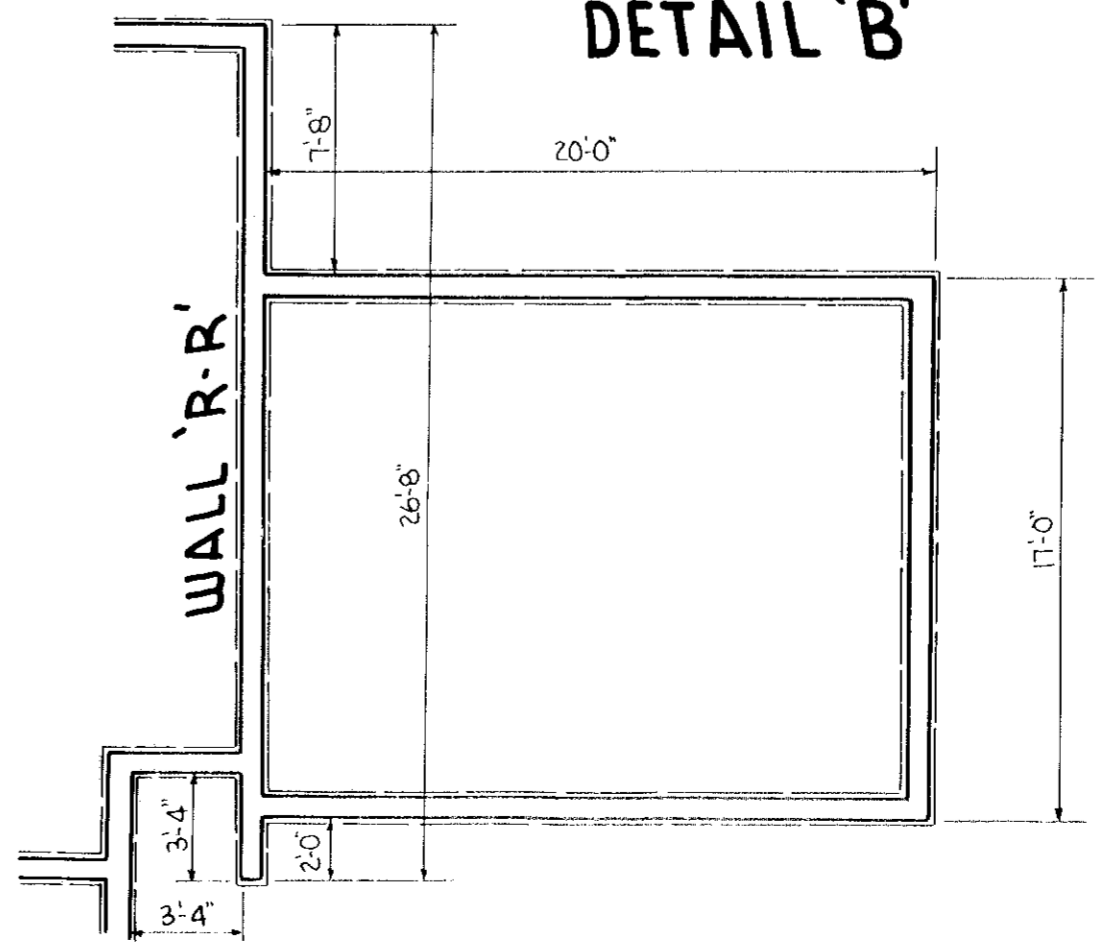
I HEREBY CERTIFY THAT THE ATTACHED DRAWING CORRECTLY REPRESENTS THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED.

Robert E. Kleingeder
ROBERT E. KLEINGEDER, REG. ENGINEER

DETAIL 'A'



DETAIL 'B'



GENERAL NOTES

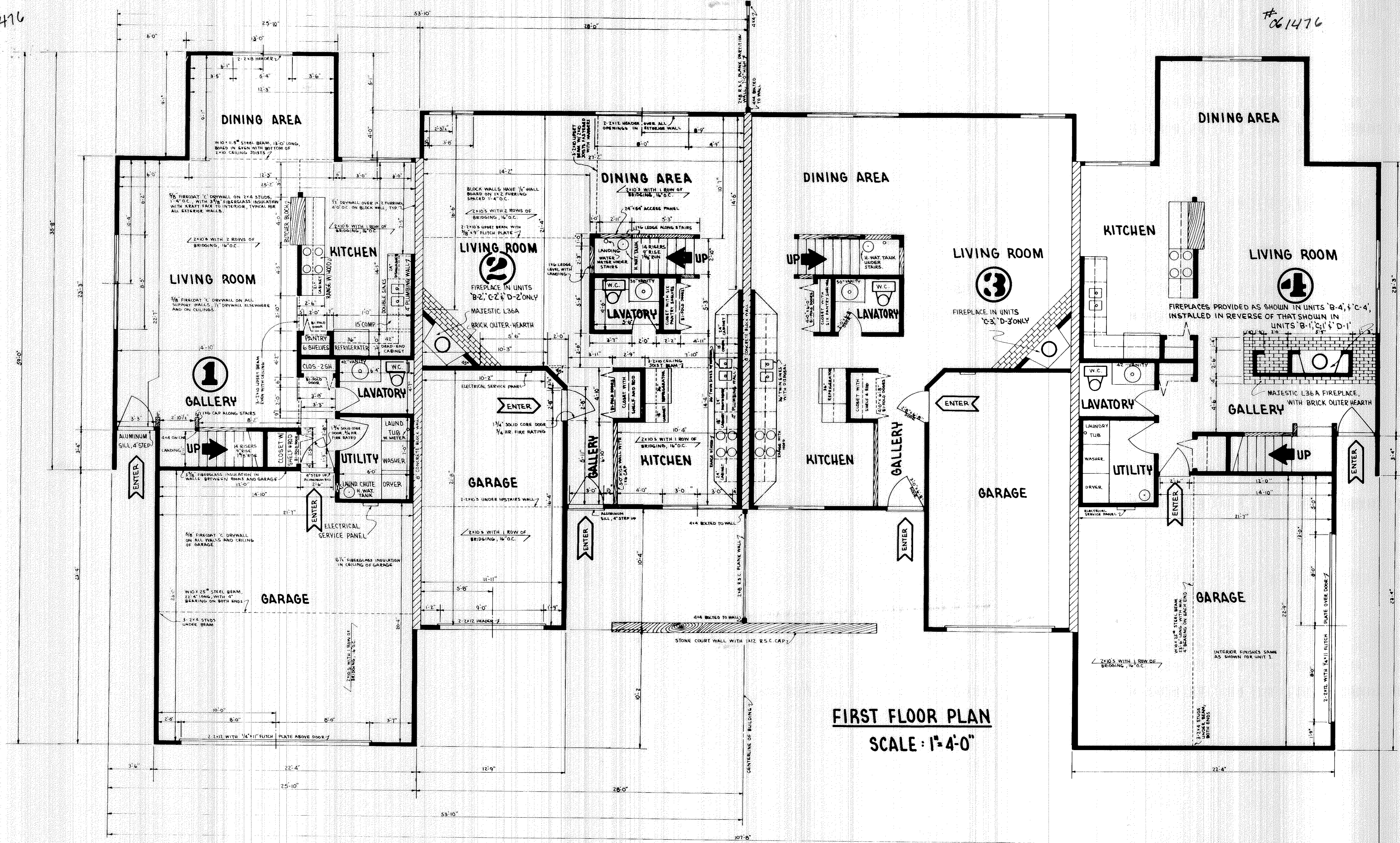
- 1) FOUNDATION PLAN SHOWN IS THAT USED FOR BUILDING 'D', WITH FAMILY ROOM ADDED TO UNIT D-4.
- 2) BUILDING 'C' FOLLOWS BASIC FOUNDATION PLAN SHOWN WITH THE FOLLOWING EXCEPTIONS:
A) UNIT 4 GARAGE FACES FRONT; DIMENSIONS ARE AS SHOWN FOR UNIT 1.
- 3) BUILDING 'B' FOLLOWS BASIC FOUNDATION PLAN AS SHOWN WITH THE FOLLOWING EXCEPTIONS:
A) UNIT 4 GARAGE FACES FRONT; DIMENSIONS ARE AS SHOWN FOR UNIT 1.
- 4) BUILDING 'A' FOUNDATION IS THAT FOR HALF OF A FULL BUILDING. SECTION LINE A-A SHOWS LINE OF CONSTRUCTION. FOUNDATION DIMENSIONS ARE AS SHOWN FOR UNITS 1 & 2, EXCEPT THAT UNIT 1 GARAGE FACES LEFT, WITH DIMENSIONS IN REVERSE OF THOSE SHOWN FOR GARAGE OF UNIT 4 ABOVE.

CRYSTAL COVE CONDOMINIUMS
FOUNDATION PLAN D-45
COURT 5

TRANSFERRED
MAY 16 2000

061476

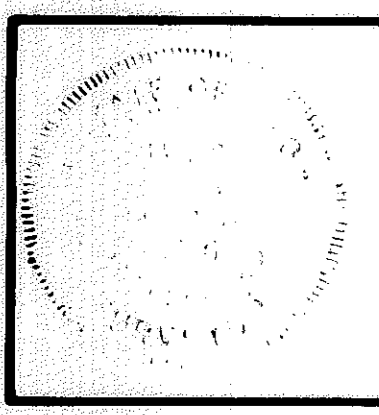
061476



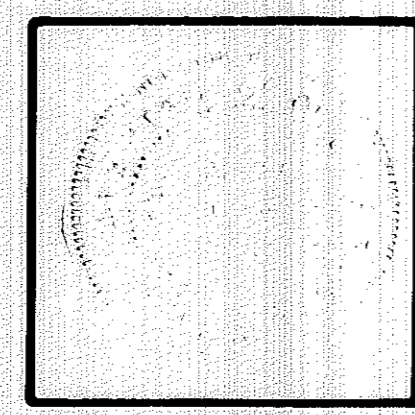
FIRST FLOOR PLAN
SCALE: 1" = 4'-0"

STATEMENTS OF CERTIFICATION

I HEREBY CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED, AND THAT THERE ARE NO ENCROACHMENTS ON ANY ADJACENT PREMISES.



James H. Schmidt
 JAMES H. SCHMIDT, REG. SURVEYOR



I HEREBY CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED.

Robert E. Kleindorfer
 ROBERT E. KLEINDORFER, REG. ENGINEER

BUILDING 'B':

- UNIT 1: CONSTRUCTED AS PLAN SHOWN ABOVE, FIREPLACE INSTALLED IN REVERSE OF THAT SHOWN FOR UNIT 4 ABOVE.
- UNIT 2: AS SHOWN ABOVE, INCLUDING FIREPLACE.
- UNIT 3: AS SHOWN ABOVE, OMIT FIREPLACE.
- UNIT 4: GARAGE FACES FRONT, DIMENSIONS AS SHOWN FOR UNIT 1 ABOVE, OTHERWISE SAME AS ABOVE, INCLUDING FIREPLACE.

VARIATIONS IN FIRST FLOOR PLAN

BUILDING 'C':

- UNIT 1: AS SHOWN ABOVE, INCLUDING FIREPLACE IN REVERSE OF THAT SHOWN FOR UNIT 4.
- UNIT 2: AS SHOWN ABOVE, INCLUDING FIREPLACE.
- UNIT 3: AS SHOWN ABOVE, INCLUDING FIREPLACE.
- UNIT 4: GARAGE FACES FRONT, DIMENSIONS AS SHOWN FOR UNIT 1 ABOVE, OTHERWISE AS SHOWN ABOVE, INCLUDING FIREPLACE.

FINISHED FLOOR ELEVATIONS

	FINISHED FLOOR ELEVATION FOR ENTIRE BUILDING EXCEPT GARAGE	FINISHED SLAB ELEVATION FOR GARAGES
BUILDING 'A'	598.42	598.92
BUILDING 'B'	598.92	598.92
BUILDING 'C'	599.60	599.10
BUILDING 'D'	599.60	599.10

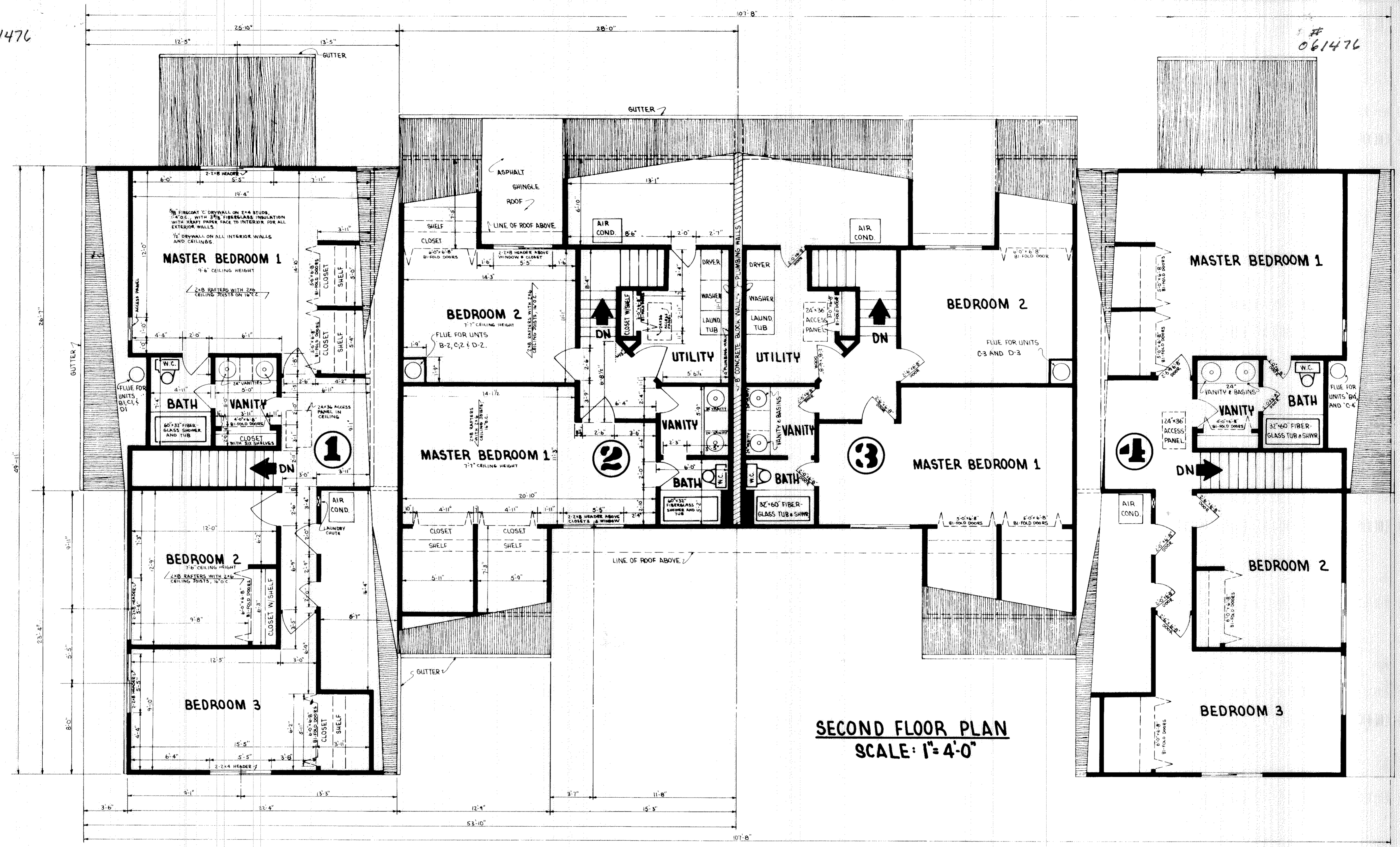
PLANS SHOWN ARE FOR BUILDINGS B, C, & D ONLY.
 SEE BUILDING 'A' PLAN SHEET D-48

CRYSTAL COVE CONDOMINIUMS
FIRST FLOOR PLAN
 COURT 5

TRANSFERRED IN COMPLIANCE WITH SEC. 319-202 CHIO. REV. CODE
 MAY 16 2000
 JULIAN A. PIJOR
 LORAIN COUNTY AUDITOR

061476

061476

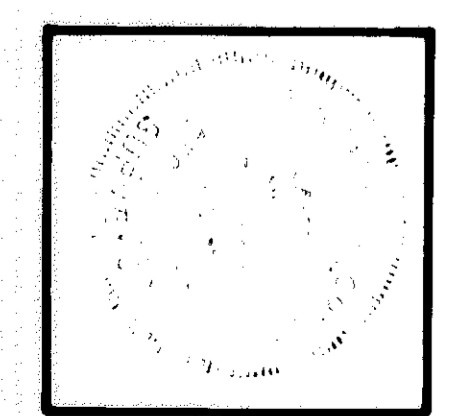


SECOND FLOOR PLAN
SCALE: 1"=4'-0"

SQUARE FOOTAGE TOTALS

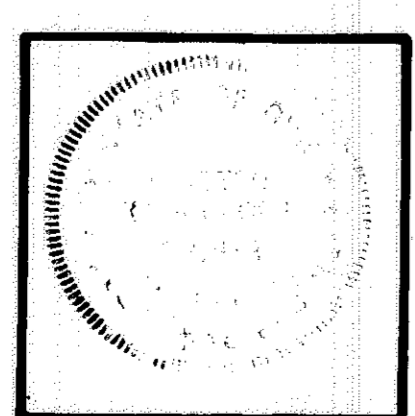
315 A1	1821 SF	315 C1	1821 SF
A2	1681 SF	C2	1681 SF
		C3	1681 SF
		C4	1821 SF
B1	1821 SF	D1	1821 SF
B2	1681 SF	D2	1681 SF
B3	1681 SF	D3	1681 SF
B4	1821 SF	D4	2161 SF

STATEMENTS OF CERTIFICATION



I HEREBY CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED, AND THAT THERE ARE NO ENCROACHMENTS ON ANY ADJUTING PREMISES.

James H. Schmidt
JAMES H. SCHMIDT, REG. SURVEYOR

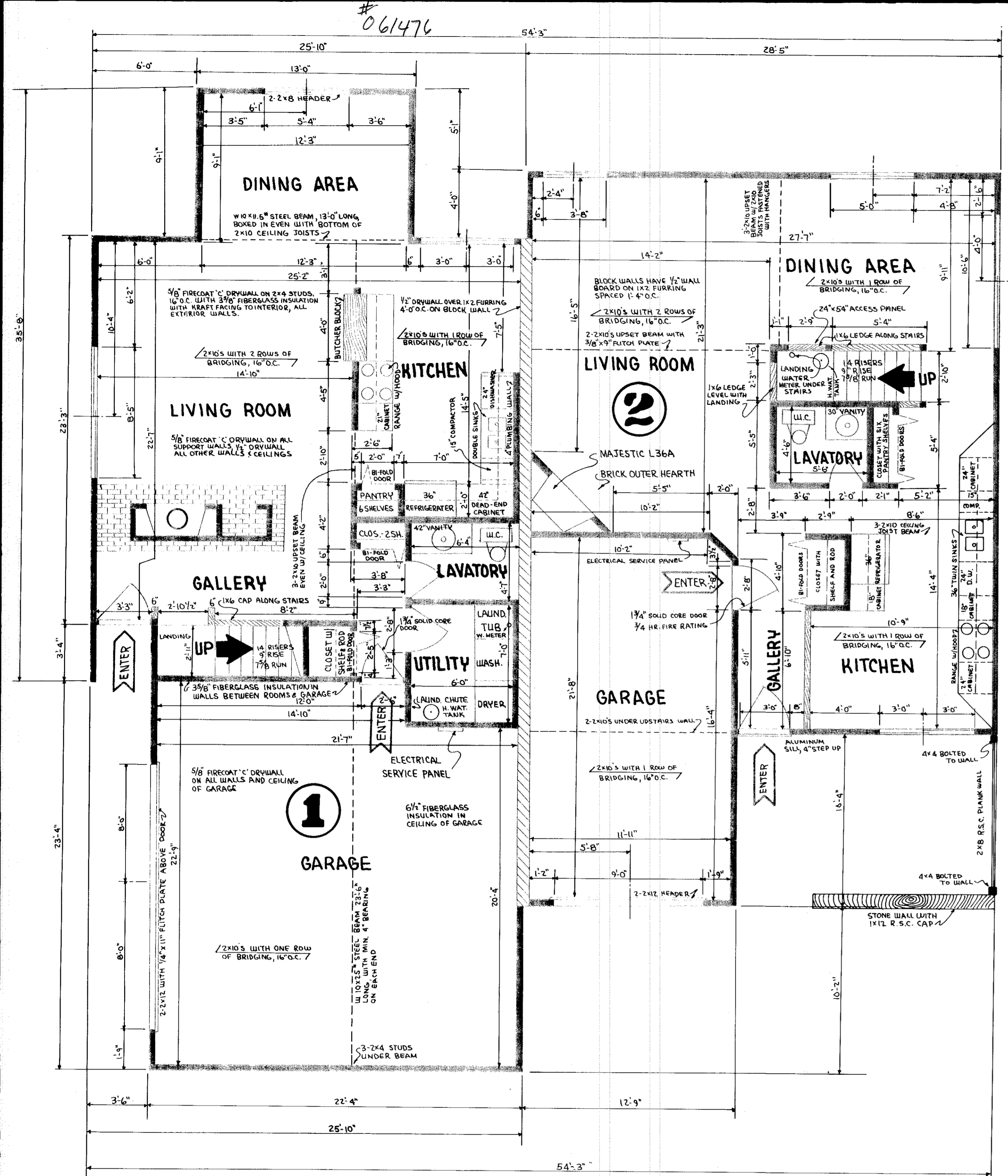


I HEREBY CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE BUILDINGS AS CONSTRUCTED.

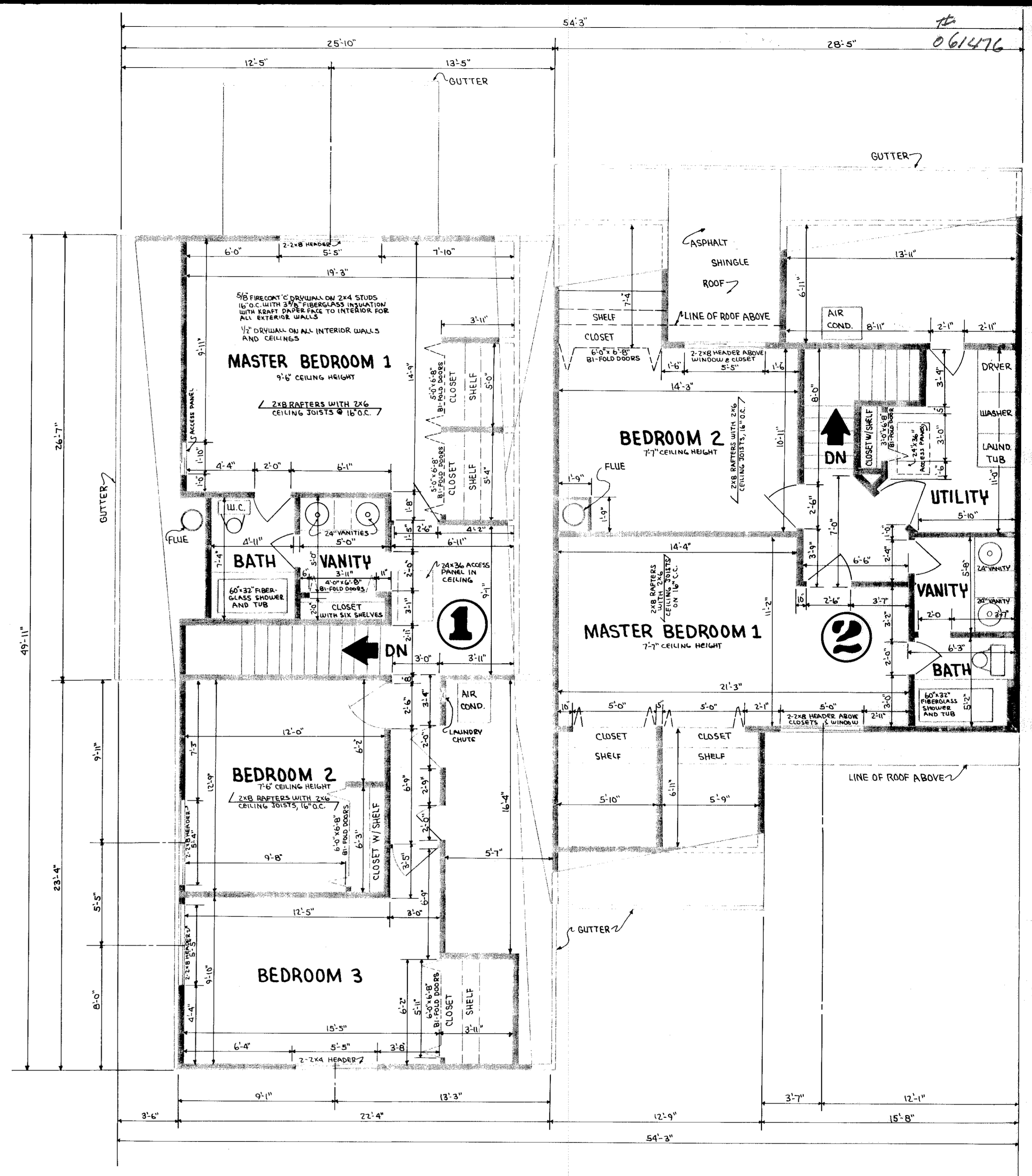
Robert E. Kleinoeder
ROBERT E. KLEINOEDER, REG. ENGINEER

CRYSTAL COVE CONDOMINIUMS
SECOND FLOOR PLAN
COURT 5

TRANSFERRED
JULIAN A. PLOJ
CRISTIAN COUNTY ARCHITECT



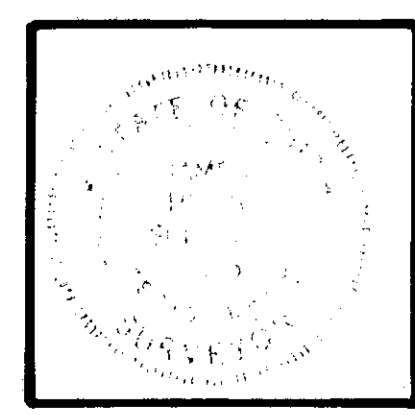
FIRST FLOOR



SECOND FLOOR

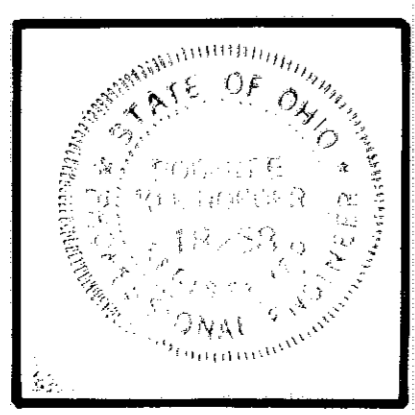
SCALE: 1/4" = 1'-0"

STATEMENTS OF CERTIFICATION



I HEREBY CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED, AND THAT THERE ARE NO ENCROACHMENTS ON ANY ADJUTING PREMISES.

James H. Schmidt
 JAMES H. SCHMIDT, REG. SURVEYOR



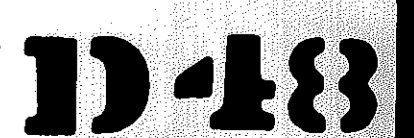
I HEREBY CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED.

Robert E. Kleindorfer
 ROBERT E. KLEINDORFER, REG. ENGINEER

TRANSFERRED
 IN COMPLIANCE WITH SEC. 319-202
 OHIO REV. CODE
 MAY 16 2004
 STATE OF OHIO
 DEPARTMENT OF REVENUE

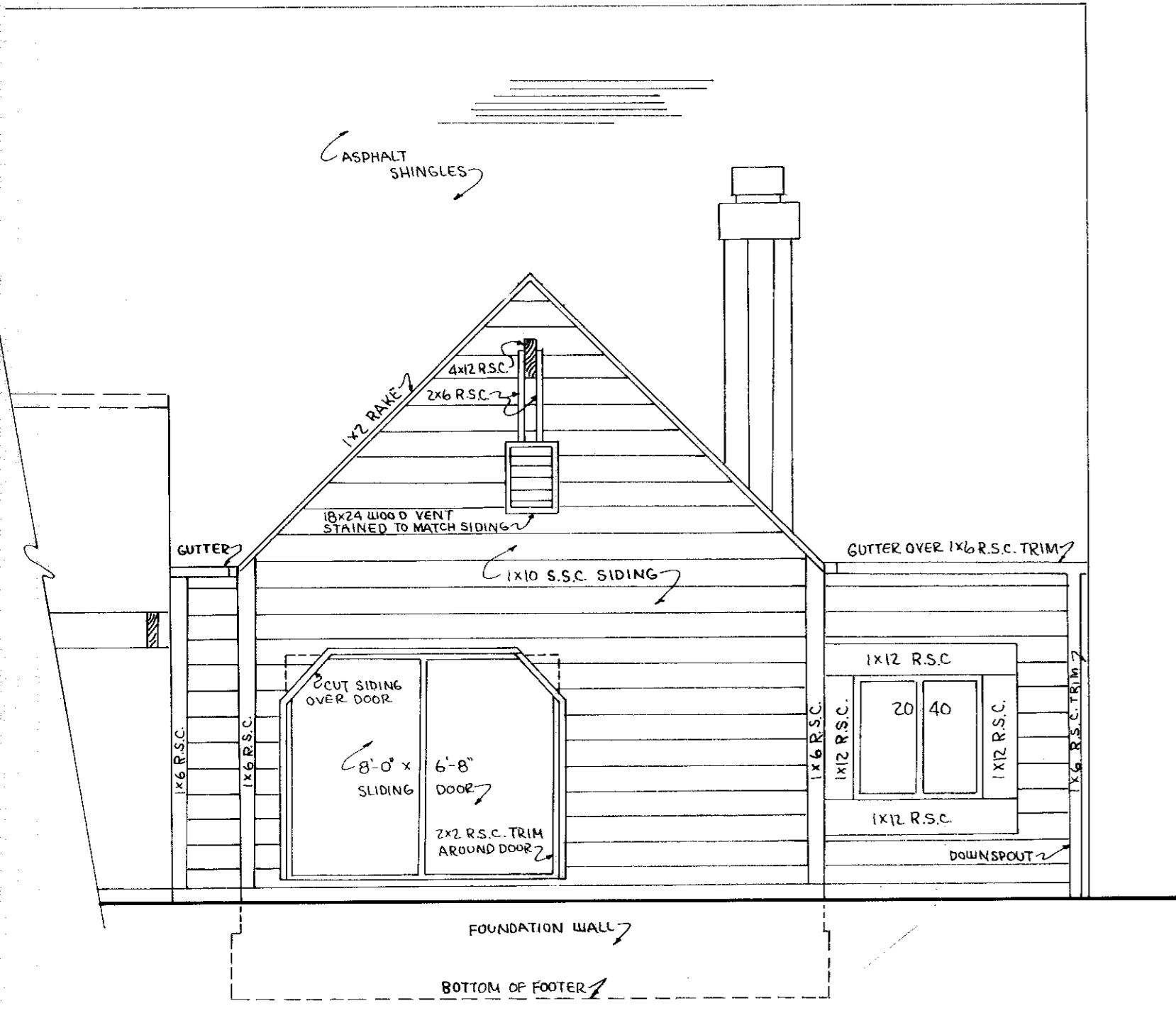
CRYSTAL COVE CONDOMINIUMS
 'A' BUILDING FLOOR PLANS

COURT 5

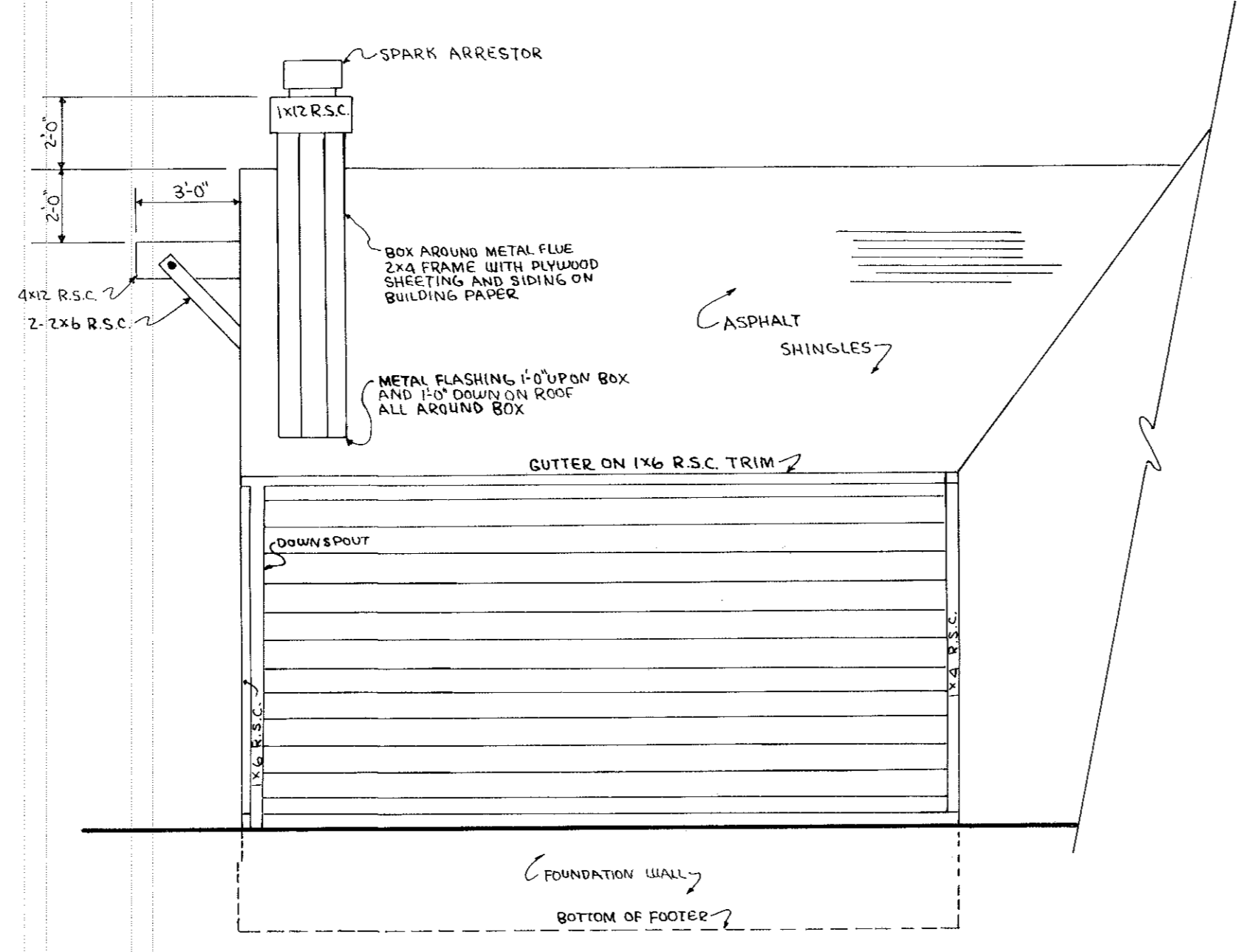


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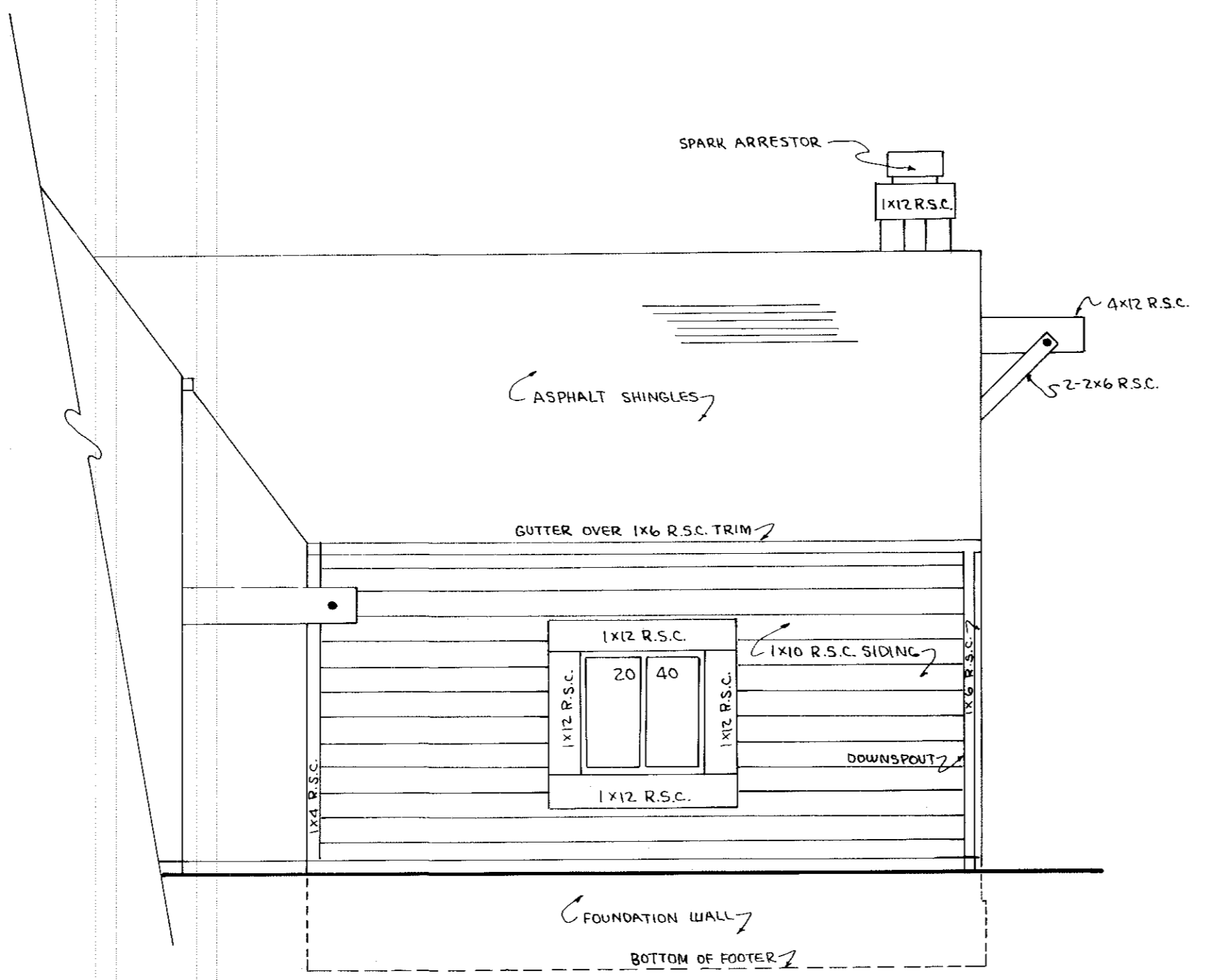
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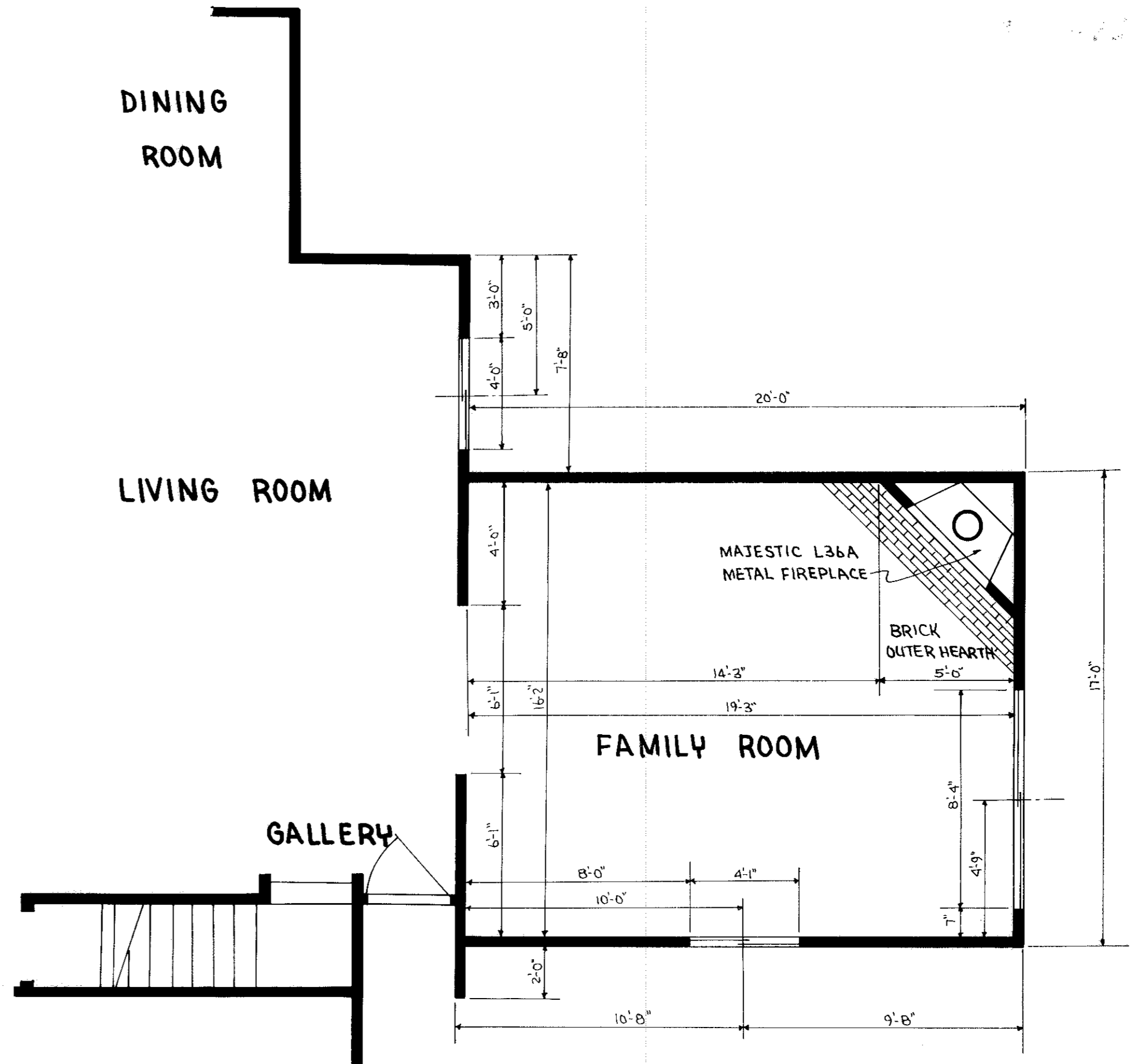
RIGHT SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION



UNIT 'D-4' FAMILY ROOM
SCALE: 1" = 4'-0"

STATEMENTS OF CERTIFICATION

I HEREBY CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED, AND THAT THERE ARE NO ENCROACHMENTS ON ANY ABUTTING PREMISES.

James H. Schmidt
JAMES H. SCHMIDT, REG. SURVEYOR

I HEREBY CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENTS THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED.

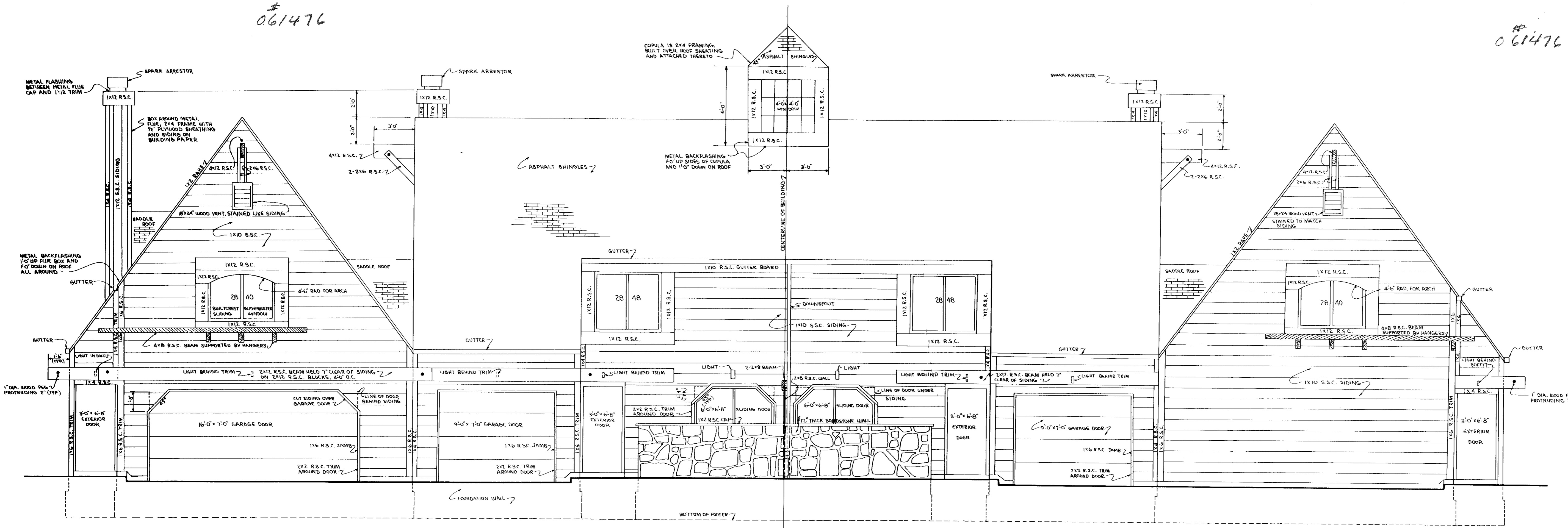
Robert E. Kleindorfer
ROBERT E. KLEINDORFER, REG. ENGINEER

TRANSFERRED
BY COMMISSIONER OF REVENUE
1990 REV. CODE
MAY 16 1990
SARAH A. PETERSON
SARAH COUNTY AUDITOR

CRYSTAL COVE CONDOMINIUMS
FAMILY ROOM DETAILS
COURT 5

TRANSFERRED
BY COMMISSIONER OF REVENUE
1990 REV. CODE
MAY 16 1990
SARAH A. PETERSON
SARAH COUNTY AUDITOR

10-19



FRONT ELEVATION

SCALE: 1" = 4'-0"

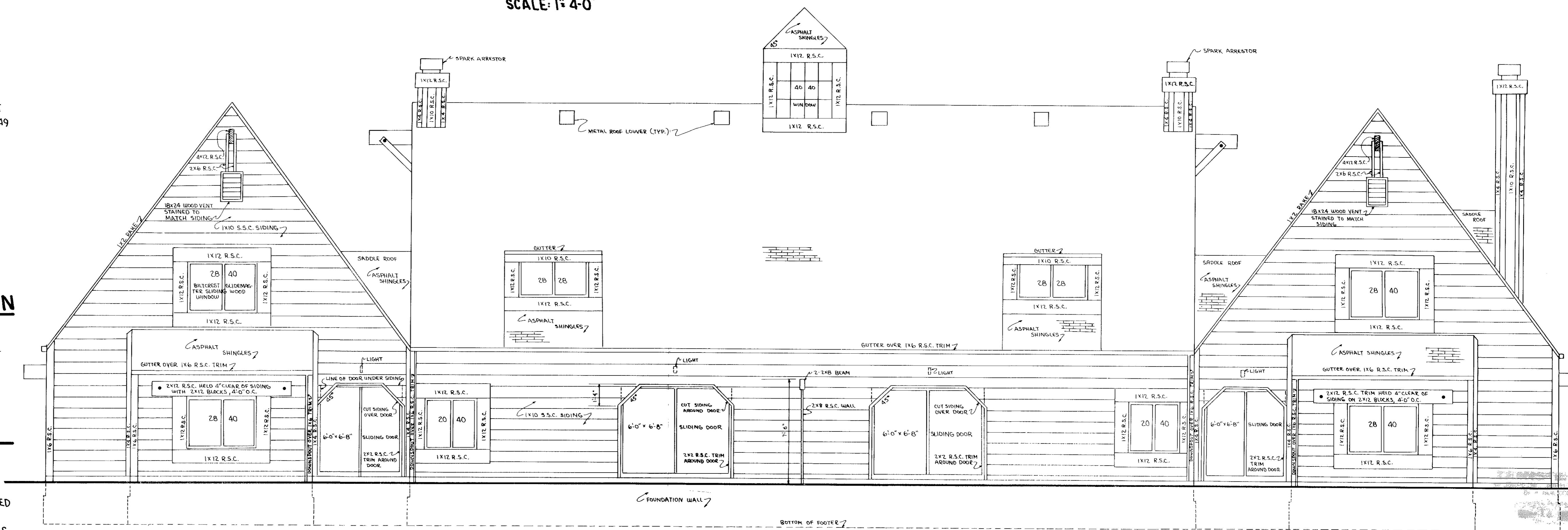
NOTE FOR VARIATIONS:

VARIATIONS TO THE VIEWS SHOWN HEREON ARE INDICATED BELOW. UNITS WITH GARAGES FACING FRONT HAVE FRONT ELEVATIONS AS SHOWN FOR LEFT UNIT ABOVE.

BUILDING 'B': RIGHT GARAGE FACES FRONT.

BUILDING 'C': RIGHT GARAGE FACES FRONT.

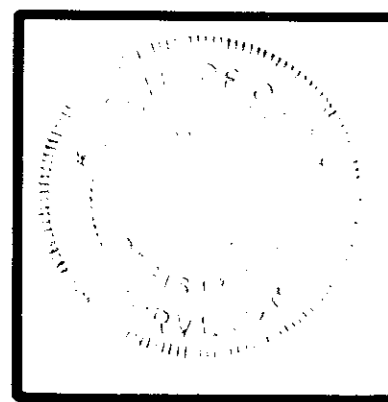
BUILDING 'D': ADD FAMILY ROOM TO RIGHT UNIT AS PER DETAILS ON SHEET D-49



REAR ELEVATION

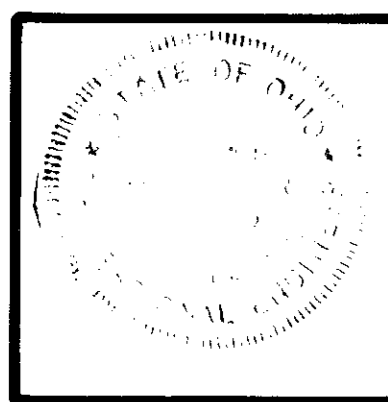
SCALE: 1" = 4'-0"

STATEMENTS OF CERTIFICATION



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James H. Schmidt
JAMES H. SCHMIDT, REG. SURVEYOR



I HEREBY CERTIFY THAT THE ATTACHED DRAWING CORRECTLY REPRESENTS THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED.

Robert E. Kleinoeder
ROBERT E. KLEINOEDER, REG. ENGINEER

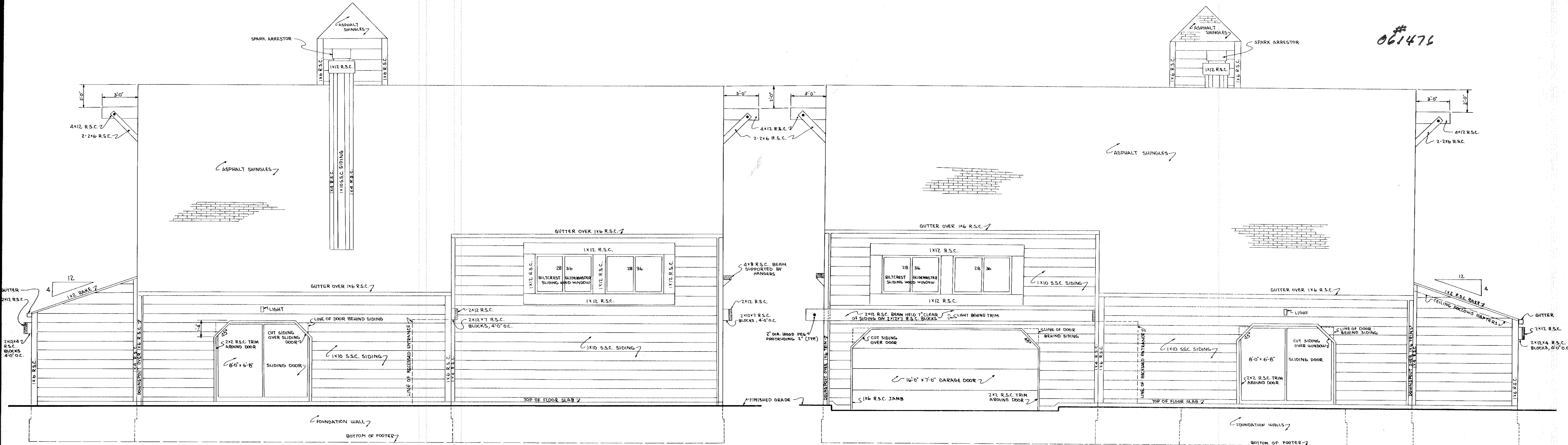
TRANSFERRED
IN COMPLIANCE WITH SEC. 329-202
OHIO REV. CODE
MAY 16 2007
JULIAN A. P...
LORAIN COUNTY, OHIO

ELEVATIONS SHOWN ARE FOR BUILDINGS B, C & D ONLY. SEE BUILDING A ELEVATIONS ON SHEET D-52.

CRYSTAL COVE CONDOMINIUMS
BUILDING ELEVATIONS
COURT 5

#061476

36/45



LEFT SIDE ELEVATION

RIGHT SIDE ELEVATION

SCALE: 1" = 4'-0"

VARIATIONS TO LEFT SIDE

- BUILDING 'B': LEFT ELEVATION IS AS SHOWN ABOVE
- BUILDING 'C': LEFT ELEVATION IS AS SHOWN ABOVE
- BUILDING 'D': LEFT ELEVATION IS AS SHOWN ABOVE

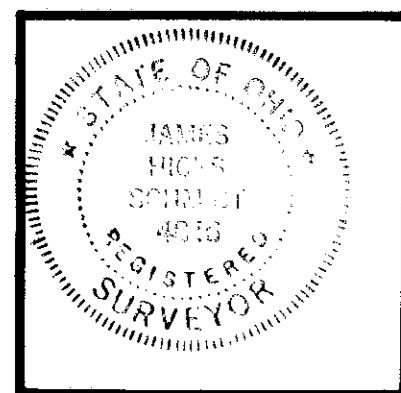
VARIATIONS TO RIGHT SIDE

- BUILDING 'B': GARAGE FACES FRONT. RIGHT ELEVATION IS REVERSE OF THAT SHOWN FOR LEFT SIDE.
- BUILDING 'C': GARAGE FACES FRONT. RIGHT ELEVATION IS REVERSE OF THAT SHOWN FOR LEFT SIDE.
- BUILDING 'D': RIGHT ELEVATION AS SHOWN ABOVE, EXCEPT ADD FAMILY ROOM AS PER DETAILS SHEET D-49

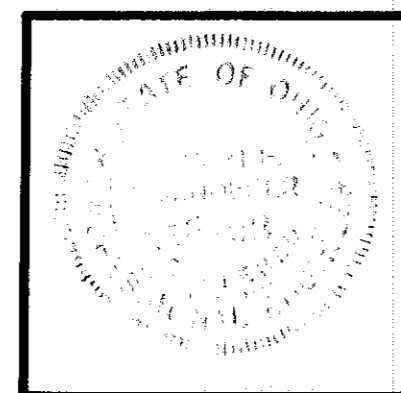
STATEMENTS OF CERTIFICATION

I HEREBY CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED, AND THAT THERE ARE NO ENCROACHMENTS ON ANY ABUTTING PREMISES.

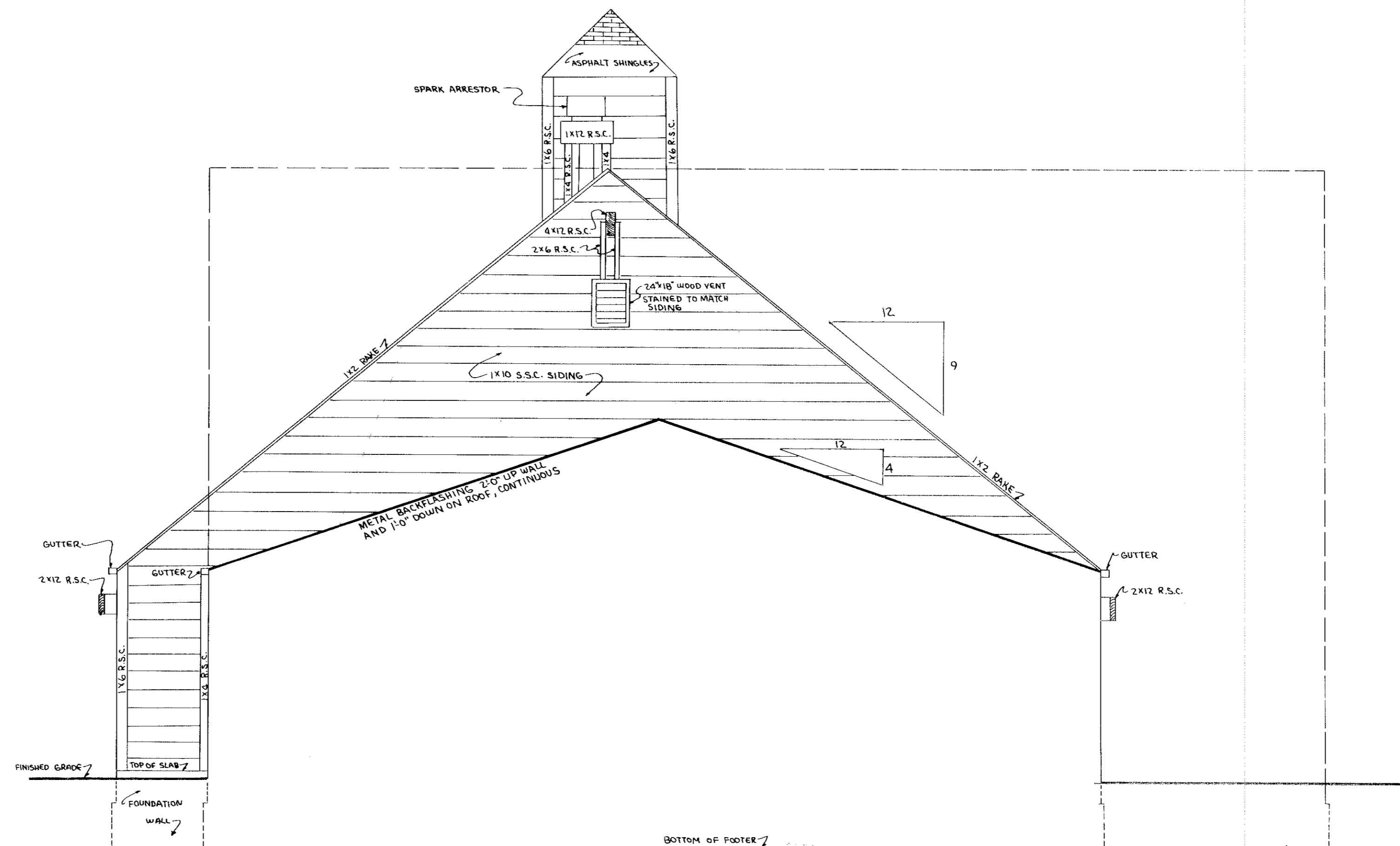
I HEREBY CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED.



James H. Schmidt, REG. SURVEYOR



Robert E. Kleinbender, REGISTERED PROFESSIONAL ENGINEER



WALL BETWEEN UNITS

ELEVATIONS SHOWN ARE FOR BUILDINGS B, C, & D ONLY. SEE BUILDING A ELEVATIONS ON SHEET D-52.

TRANSFERRED IN COMPLIANCE WITH SEC. 319.212 OHIO REV. CODE

MAY 16 2000

CRISTINA D. ...

CRYSTAL COVE CONDOMINIUMS
BUILDING ELEVATIONS
COURT 5

1051

36/45

STATEMENTS OF CERTIFICATION



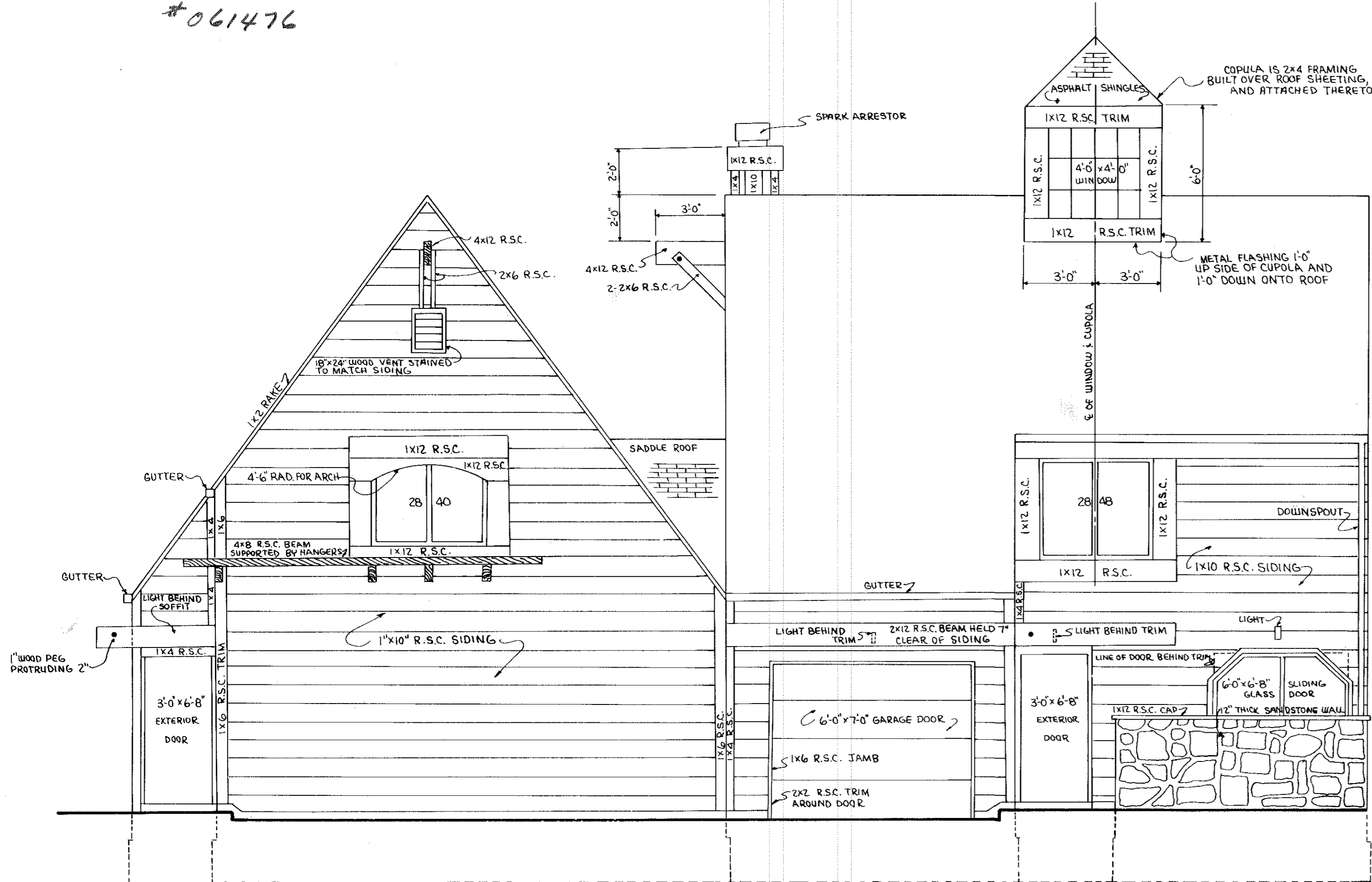
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James H. Schmidt
JAMES H. SCHMIDT, REG. SURVEYOR

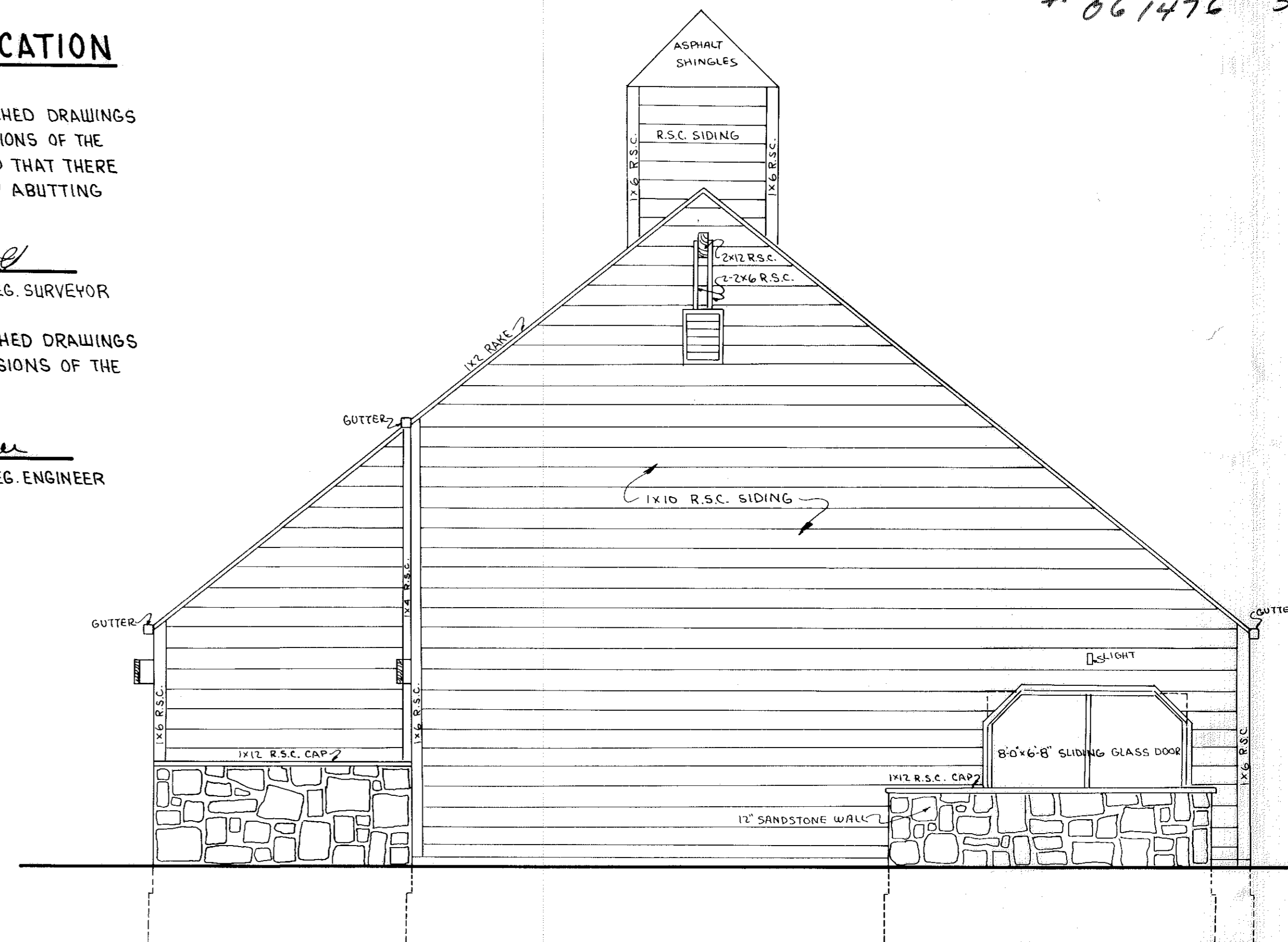


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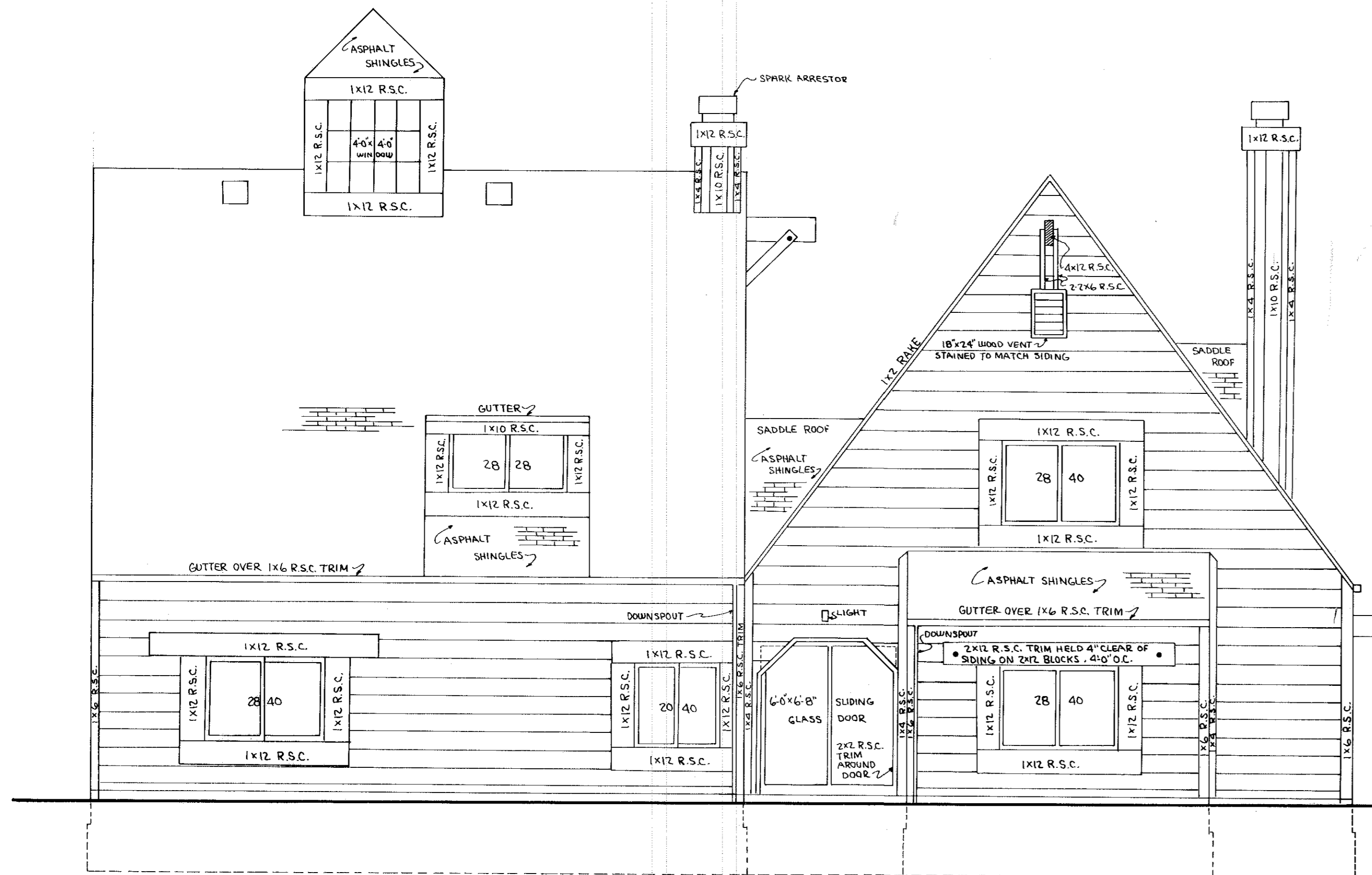
Robert E. Klempfner
ROBERT E. KLEMPFNER, REG. ENGINEER



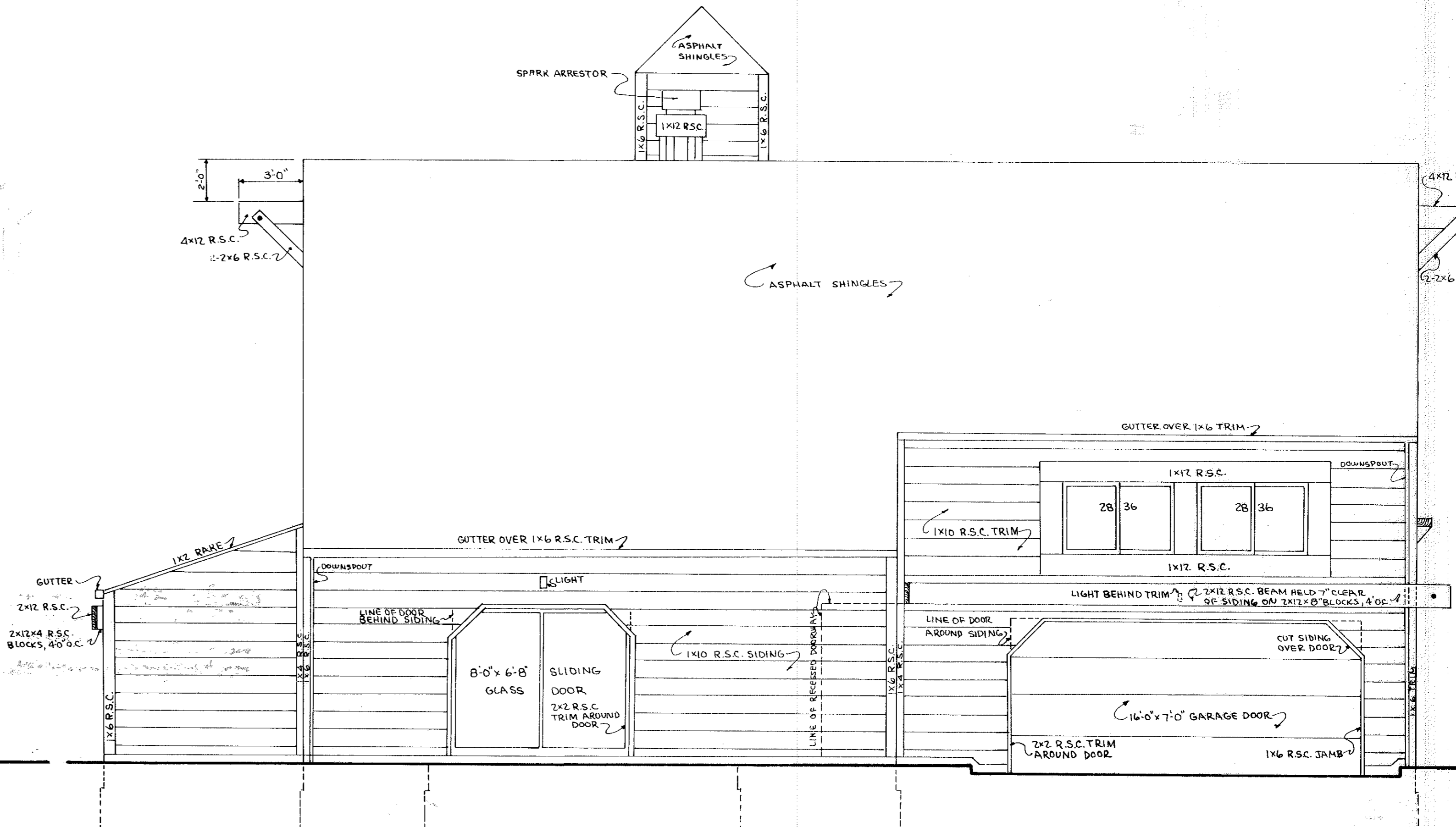
FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION

CRYSTAL COVE CONDOMINIUMS
ELEVATION VIEWS OF BUILDING 'A'

COURT 5

TRANSFERRED
IN COMPLIANCE WITH SEC. 519-202
OHIO REV. CODE
MAY 16 2016
JULIANA FLIPPER
SARAIN COUNTY AUDITOR

D 52