

A PLAT OF

# 34650

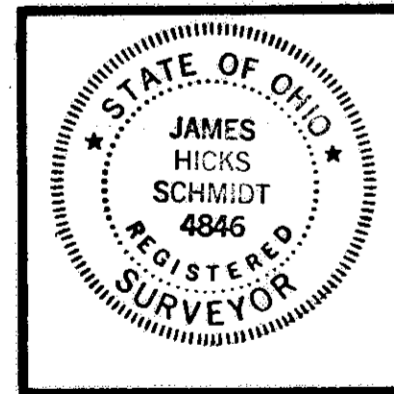
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# THE MEADOWS OF ELYRIA CONDOMINIUM

MATHESON  
CONSTRUCTION & DEVELOPMENT  
COMPANY  
ELYRIA, OHIO

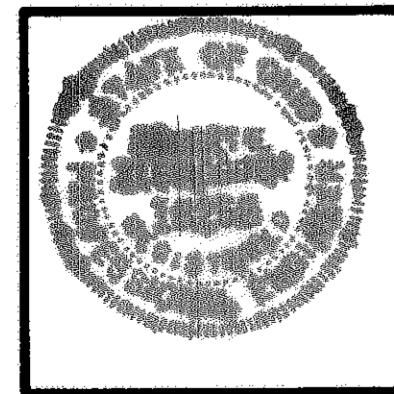
ON BRUNSWICK DRIVE  
COUNTY OF LORAIN, STATE OF OHIO  
ORIGINAL ELYRIA TOWNSHIP LOT 3  
CITY OF ELYRIA, OHIO

### STATEMENT OF CERTIFICATION



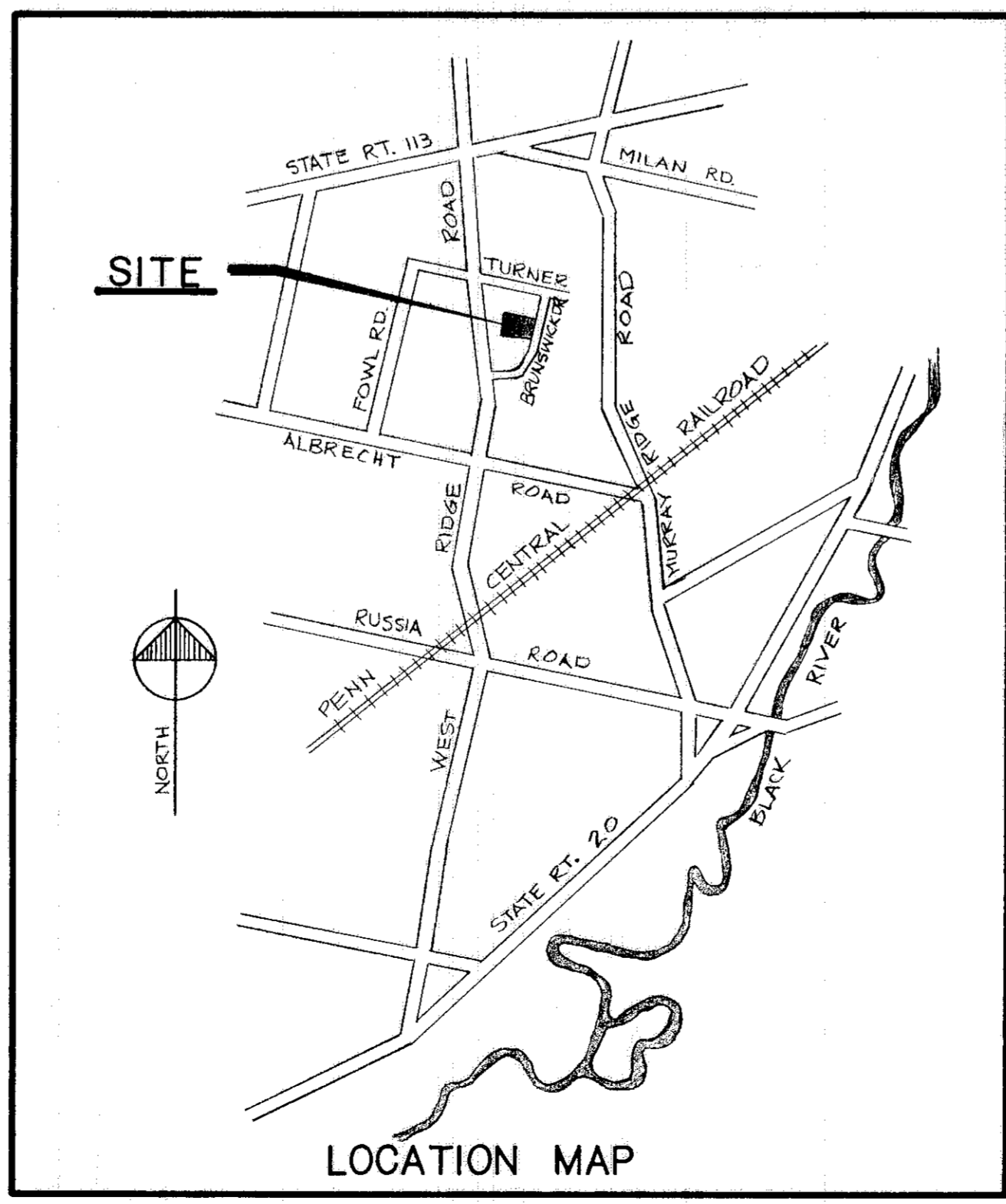
I HEREBY CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED, AND THAT THERE ARE NO ENCROACHMENTS ON ANY ADJUTING PREMISES.

*James H. Schmidt*  
JAMES H. SCHMIDT, REG. SURVEYOR #4846



I HEREBY CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE DIMENSIONS OF THE BUILDINGS AS CONSTRUCTED.

*Robert E. Kleinoeder*  
ROBERT E. KLEINOEDER, REG. ENGINEER



### LIST OF DRAWINGS

- 1 TITLE, LOCATION MAP
- S2 ENGINEERING SITE PLAN
- S3 BUILDING PARCELS, RECREATION/UTILITY EASEMENT SITE PLAN
- A5 BLDGS. #222 & 230 FLOOR PLAN, 1<sup>ST</sup> FLOOR LEFT SIDE
- A6 BLDGS. #222 & 230 FLOOR PLAN, 1<sup>ST</sup> FLOOR RIGHT SIDE
- A7 BLDGS. #222 & 230 FLOOR PLAN, 2<sup>ND</sup> & 3<sup>RD</sup> FLOOR LEFT SIDE
- A8 BLDGS. #222 & 230 FLOOR PLAN, 2<sup>ND</sup> & 3<sup>RD</sup> FLOOR RIGHT SIDE
- A11 BLDGS. #222 & 230 BUILDING ELEVATIONS
- A16 BLDG. #226 FLOOR PLAN
- A19 BLDG. #226 BUILDING ELEVATIONS
- A32 BLDG. #234 FLOOR PLAN, 1<sup>ST</sup> FLOOR LEFT SIDE
- A33 BLDG. #234 FLOOR PLAN, 1<sup>ST</sup> FLOOR RIGHT SIDE
- A34 BLDG. #234 FLOOR PLAN, 2<sup>ND</sup> & 3<sup>RD</sup> FLOOR LEFT SIDE
- A35 BLDG. #234 FLOOR PLAN, 2<sup>ND</sup> & 3<sup>RD</sup> FLOOR RIGHT SIDE
- A36 BLDG. #234 BUILDING ELEVATIONS

Received for Record JUL 18 1979  
9:58 a.m. in Plat RECORD  
VOL. 35 Dorothy L. Esser  
PAGE 28 Lorain County Recorder  
Sheet 37

TRANSFERRED  
IN COMPLIANCE WITH SEC. 319-202  
OHIO REV. CODE  
JUL 17 1979  
JULIAN A. PIJOR  
LORAIN COUNTY AUDITOR

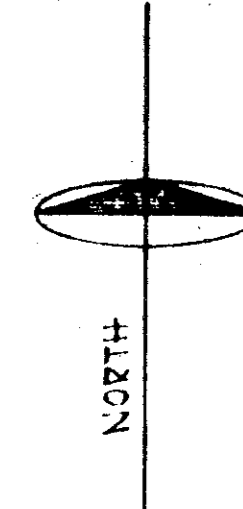
259.20  
By Lorain Co Title  
(Ken Handley)

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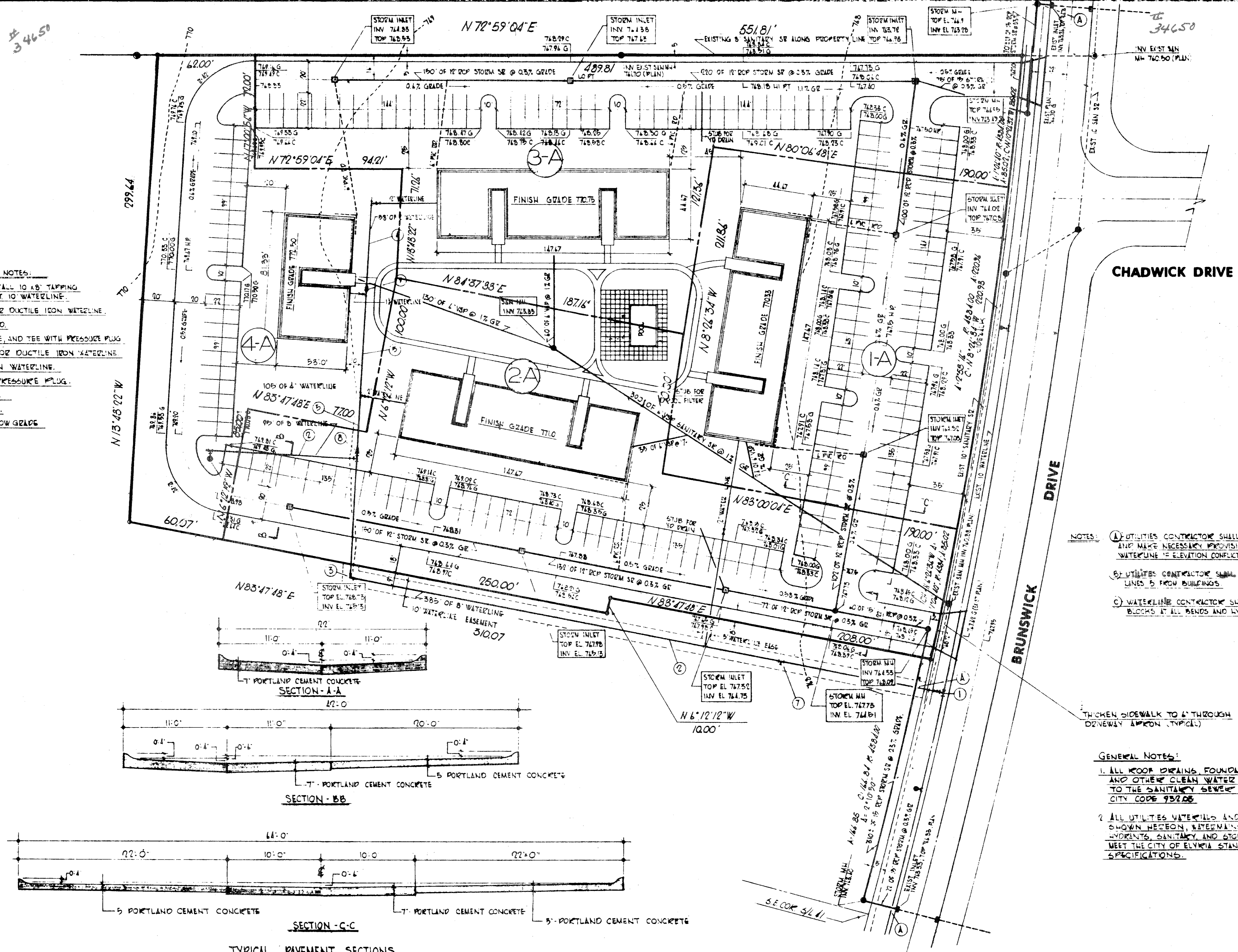
  

PROJECT No.	
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TITLE, LOCATION MAP	
DATE	DRAWN
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# 34650



- WATERLINE CONSTRUCTION NOTES:**
1. BEGIN CONSTRUCTION, INSTALL 10 LB TAPPING SLEEVE AND VALVE, TAP EXIST 10" WATERLINE.
  2. INSTALL NEW 8" CAST IRON OR DUCTILE IRON WATERLINE.
  3. INSTALL NEW 8" 90° M.I. BEND.
  4. INSTALL NEW HYDRANT, VALVE, AND TEE WITH PRESSURE PLUG.
  5. INSTALL NEW 1" CAST IRON OR DUCTILE IRON WATERLINE.
  6. INSTALL NEW 2" DUCTILE IRON WATERLINE.
  7. INSTALL NEW 8" TEE WITH PRESSURE PLUG.
  8. INSTALL NEW 8"x4" REDUCER.
  9. INSTALL NEW 4"x2" REDUCER.
  10. PLACE WATERLINE MIN 5' BELOW GRADE.



**CHADWICK DRIVE**

**BRUNSWICK DRIVE**

- NOTES:**
- A) UTILITIES CONTRACTOR SHALL CONTACT CITY WATER DEPT. AND MAKE NECESSARY PROVISIONS FOR LOWERING EXISTING WATERLINE IF ELEVATION CONFLICT EXISTS WITH NEW STORM SEWER.
  - B) UTILITIES CONTRACTOR SHALL TERMINATE ALL UTILITIES SERVICE LINES 5' FROM BUILDINGS.
  - C) WATERLINE CONTRACTOR SHALL PROVIDE NECESSARY THROST BLOCKS AT ALL BENDS AND HYDRANTS.

THICKEN SIDEWALK TO 6" THROUGH DRIVEWAY (TYPICAL)

- GENERAL NOTES:**
1. ALL ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED CITY CODE 932.06.
  2. ALL UTILITIES WATERLINES AND INSTALLATION SHOWN HEREON, INTERMEDIARY BLOCKING, FIRE HYDRANTS, SANITARY AND STORM SEWERS SHALL MEET THE CITY OF ELYRIA STANDARDS AND SPECIFICATIONS.

TRANSFERRED  
 COMPLIANCE WITH SEC 317-209  
 OHIO REV. CODE  
 JUL 17 1979  
 JULIAN A. PIJOR  
 LORAIN COUNTY AUDITOR

REVISED 11-25-77  
 REVISED 10-21-77  
 REVISED 10-4-77

THE MATHESON COMPANY

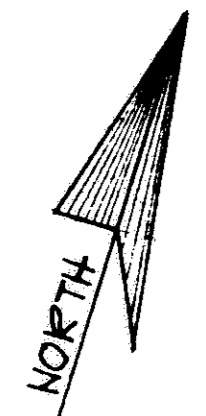
PROPOSED BRUNSWICK MEADOWS

ELYRIA OHIO - SEPTEMBER 1977 - SCALE 1" = 30'

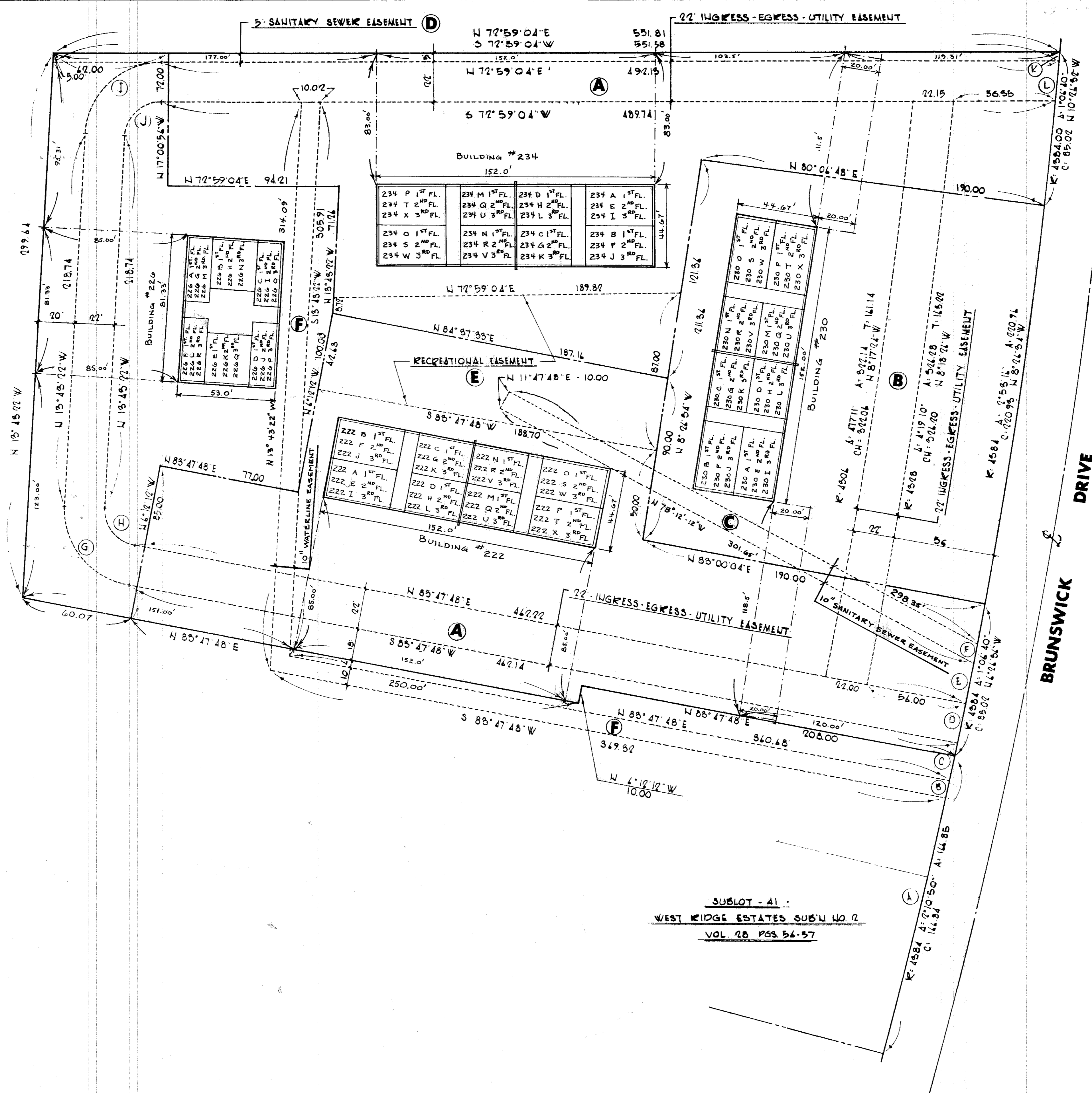
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MK	RADIUS	DELTA	ARC	CHORD	CHORD BEG
A	488.4	1°32'01"	142.85	142.84	N 4°30'37"W
B	488.4	0°07'50"	10.00	10.00	N 5°30'28"W
C	488.4	0°17'15"	22.00	22.00	N 5°45'01"W
D	488.4	0°17'15"	22.00	22.00	N 6°00'16"W
E	488.4	0°16'34"	21.15	21.15	N 6°16'42"W
F	488.4	0°08'15"	10.53	10.53	N 6°29'45"W
G	42.00	82°28'50"	60.46	59.37	S 62°57'47"E
H	20.00	82°28'50"	20.79	20.67	S 62°57'47"E
I	42.00	84°42'24"	65.56	57.67	N 29°57'21"E
J	20.00	84°42'24"	20.27	27.46	N 29°57'21"E
K	488.4	0°01'34"	5.00	5.00	S 10°59'05"E
L	488.4	0°17'21"	22.15	22.15	S 10°49'38"E



SUBLOT - 41  
WEST RIDGE ESTATES SUB'L NO. 2  
VOL. 26 PAGES 54-57

THE MATHESON COMPANY

BRUNSWICK MEADOWS

BUILDING PARCELS  
RECREATIONAL AND UTILITY EASEMENTS

SCALE: 1"=30'  
SEPTEMBER 1978

S3

# 34650

# 34650

MATHESON  
CONSTRUCTION & DEVELOPMENT  
COMPANY  
ELYRIA, OHIO

THE MEADOWS OF ELYRIA  
CONDOMINIUM  
BRUNSWICK DRIVE, ELYRIA, OHIO

**CONSTRUCTION NOTES**

**FRAMING**

1. THE INSIDE FACE OF ALL MASONRY OR POURED CONCRETE FOUNDATION WALLS SHALL BE FURRED WITH 1x3 16" O.C.
2. ALL EXTERIOR FRAME WALLS SHALL HAVE METAL LET-IN CORNER BRACING IN ALL CORNER AND END WALLS
3. ALL 8" FRAME PARTY WALLS SHALL BE TWO (2) 2x4" STUD WALLS WITH A 1" CENTER SPACE
4. ALL JOIST LAYOUT IS SET UP FOR BEGINNING AT OUTSIDE CORNERS.
5. ALL HEADERS TO HAVE SOLID 3/8" PLYWOOD FLITCH PLATES.

**INSULATION**

1. THE OUTSIDE FACE OF ALL MASONRY OR POURED CONCRETE FOUNDATION WALLS SHALL BE SHEETED WITH 1" RIGID FOAM INSULATION BOARD GLUED TO THE WALL
2. ALL OUTSIDE FRAME WALLS SHALL BE SHEETED WITH A 2x5 RIDGED FOAM INSULATION BOARD AND HAVE 3/2" R-11 BATT INSULATION BETWEEN STUDS
3. ALL 8" FRAME PARTY WALLS SHALL HAVE 3/2" SOUND BATTS IN BOTH STUD WALLS AND 1/2" SOUND BOARD NAILED TO THE SUITE SIDE OF THE WALL
4. ALL COMMON AREA HALLWAY WALLS SHALL HAVE 3/2" SOUND BATTS BETWEEN STUDS AND 1/2" SOUND BOARD NAILED TO THE OUTSIDE OF WALL
5. ALL FIRST AND SECOND FLOOR SUITE AND HALLWAY CEILING SHALL HAVE 3/2" SOUND BATTS BETWEEN ALL JOISTS.
6. ALL THIRD FLOOR SUITE AND HALLWAY CEILING SHALL HAVE 9" R-30 KRAFT FACED BATTS BETWEEN ALL JOISTS.
7. ALL FIRST, SECOND AND THIRD FLOOR OUTSIDE WALLS SHALL HAVE A 4 MIL POLYURETHANE VAPOR BARRIER INSTALLED OVER STUDS AFTER ALL BATTS HAVE BEEN INSTALLED.

**DRYWALL**

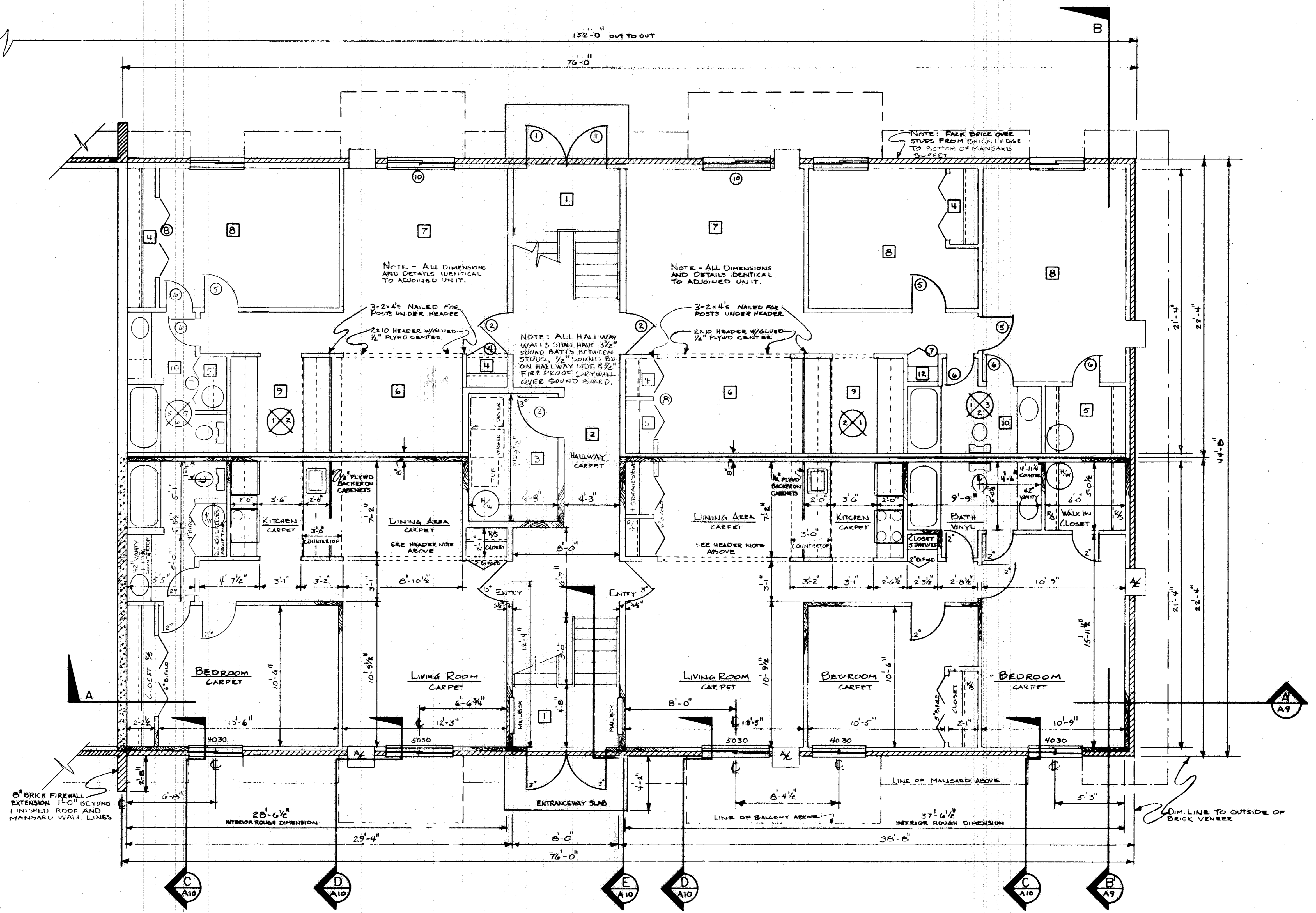
1. ALL DWELLING UNIT AND HALLWAY WALLS EXCEPT FOR BATHUB ENCLOSURES SHALL 1/2" FIREPROOF GYPSUM BOARD WITH A CERTIFIED FIRE RATING IN ACCORDANCE WITH SECTION 701.1.2-5-20, O.B.C.
2. ALL BATHUB ENCLOSURES SHALL 1/2" WATERPROOF TYPE GYPSUM BOARD.
3. ALL FIRST AND SECOND FLOOR SUITE CEILING SHALL HAVE RESILIENT SOUND CHANNEL INSTALLED

**ELECTRICAL AND HEATING**

1. ALL MATERIALS, WORKMANSHIP AND EQUIPMENT MUST MEET OR EXCEED THE PROVISIONS SET FORTH IN THE NATIONAL ELECTRICAL CODE, IN A MINIMUM PROPERTY STANDARD CURRENT EDITION, AND THE OHIO BUILDING CODE AND COMPLY WITH ALL OTHER APPLICABLE FEDERAL STATE AND LOCAL CODES.
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6. SMOKE DETECTION DEVICES SHALL BE ELECTRICAL TYPE AND BE INSTALLED IN AND BY STRICT ACCORDANCE WITH ALL STATE AND LOCAL CODES.

**GENERAL**

1. ALL WORKMANSHIP SHALL BE PERFORMED IN A FIRST CLASS MANNER AS IS CURRENTLY ACCEPTED WITHIN THE INDUSTRY.
2. ALL MATERIAL TO BE INSTALLED SHALL DONE SO IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATION.
3. ALL SUBCONTRACTORS SHALL MAINTAIN THEIR WORK AREAS IN A CLEAN AND ORDERLY MANNER WHILE ON THE JOB SITE ON A DAILY BASIS.
4. ALL FIRE EXTINGUISHERS SHALL BE A DRYCHEMICAL TYPE WITH A MINIMUM CLASSIFICATION RATING OF 2A-10-BC OR AS APPROVED BY THE LOCAL FIRE DEPARTMENT.



FIRST FLOOR PLAN: RIGHT SIDE

SCALE: 1/4" = 1'-0" ALL DIMENSIONS GIVEN AS ROUGH FRAMING DIMENSIONS

REVISIONS	
1	5-31-79
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PROJECT No.	
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MATHESON  
CONSTRUCTION & DEVELOPMENT  
COMPANY  
ELYRIA, OHIO

THE MEADOWS OF ELYRIA  
CONDOMINIUM  
BRUNSWICK DRIVE, ELYRIA, OHIO

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**DRYWALL**

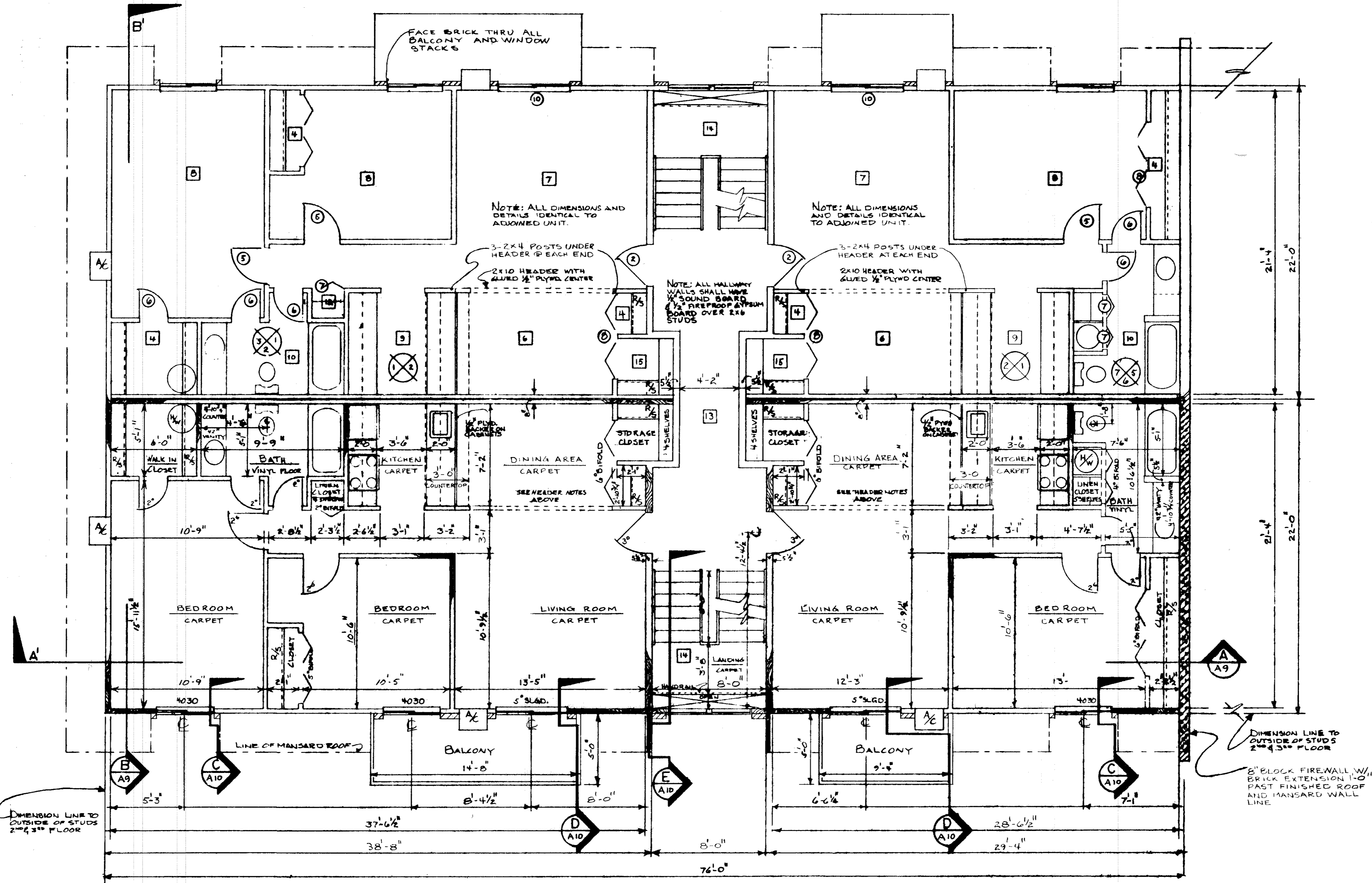
1. ALL DWELLING UNIT AND HALLWAY WALLS EXCEPT FOR BATHUB ENCLOSURES SHALL 1/2" FIREPROOF GYPSUM BOARD WITH A CERTIFIED FIRE RATING IN ACCORDANCE WITH SECTION 4101:2-5-20, O.B.C.
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TYPICAL 2<sup>ND</sup> & 3<sup>RD</sup> FLOOR PLAN: LEFT SIDE  
SCALE: 1/4" = 1'-0" ALL DIMENSIONS GIVEN AS ROUGH FRAMING DIMENSIONS

REVISIONS	
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BLDG. #222 & 230	FLOOR PLAN
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MATHESON CONSTRUCTION & DEVELOPMENT COMPANY  
ELYRIA, OHIO

THE MEADOWS OF ELYRIA  
CONDOMINIUM  
BRUNSWICK DRIVE, ELYRIA, OHIO

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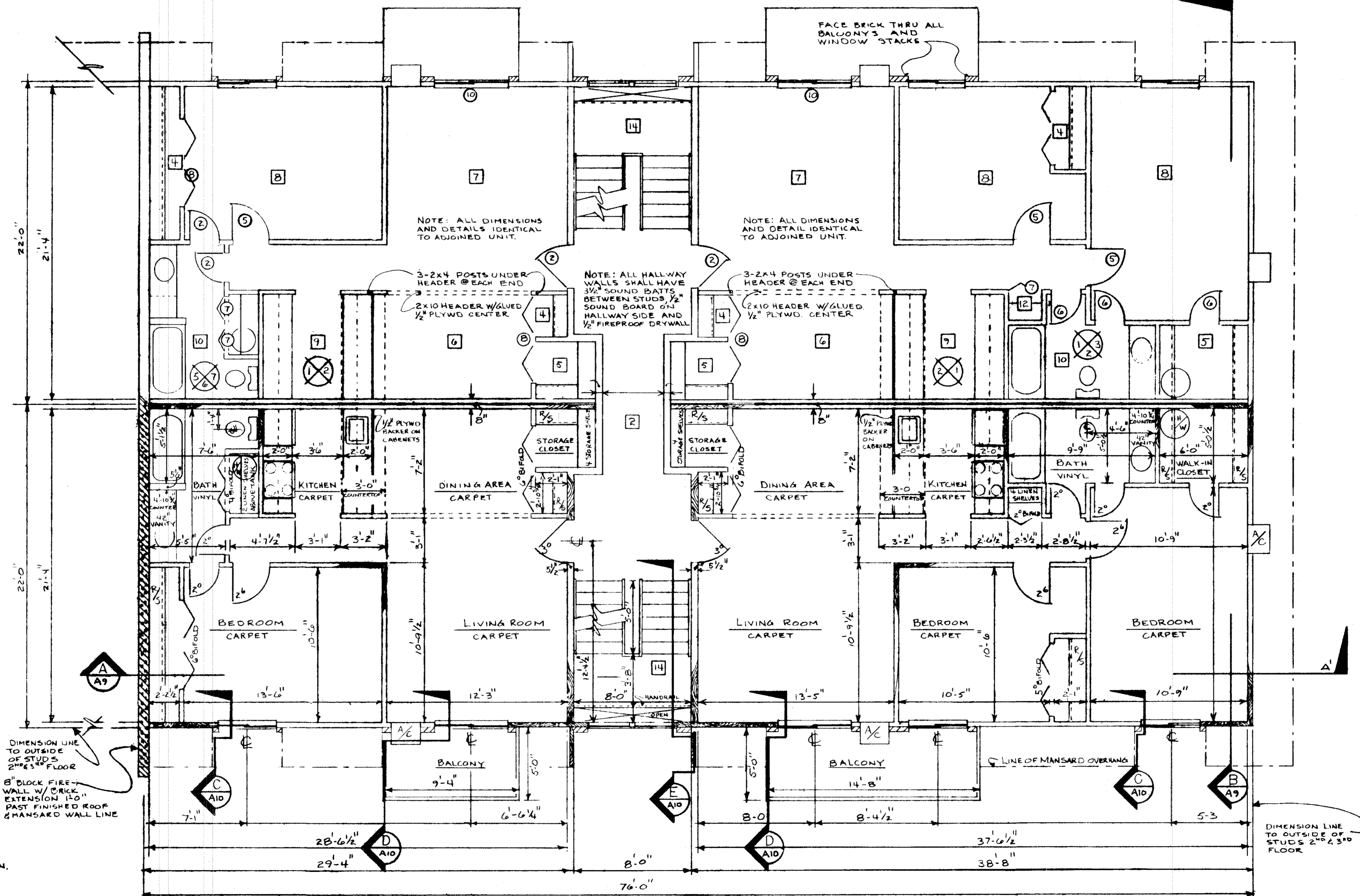
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TYPICAL 2<sup>ND</sup> E3<sup>RD</sup> FLOOR PLAN: RIGHT SIDE

SCALE: 1/4" = 1'-0" ALL DIMENSION GIVEN AS ROUGH FRAMING DIMENSIONS

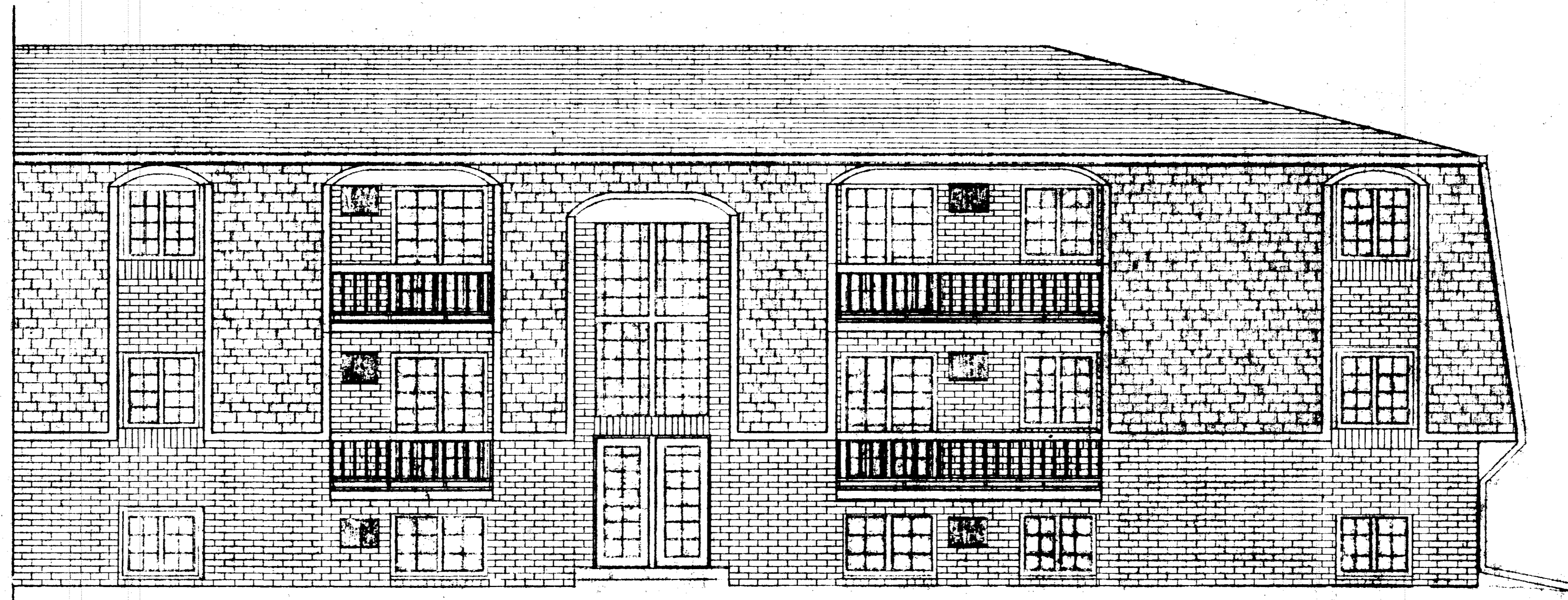
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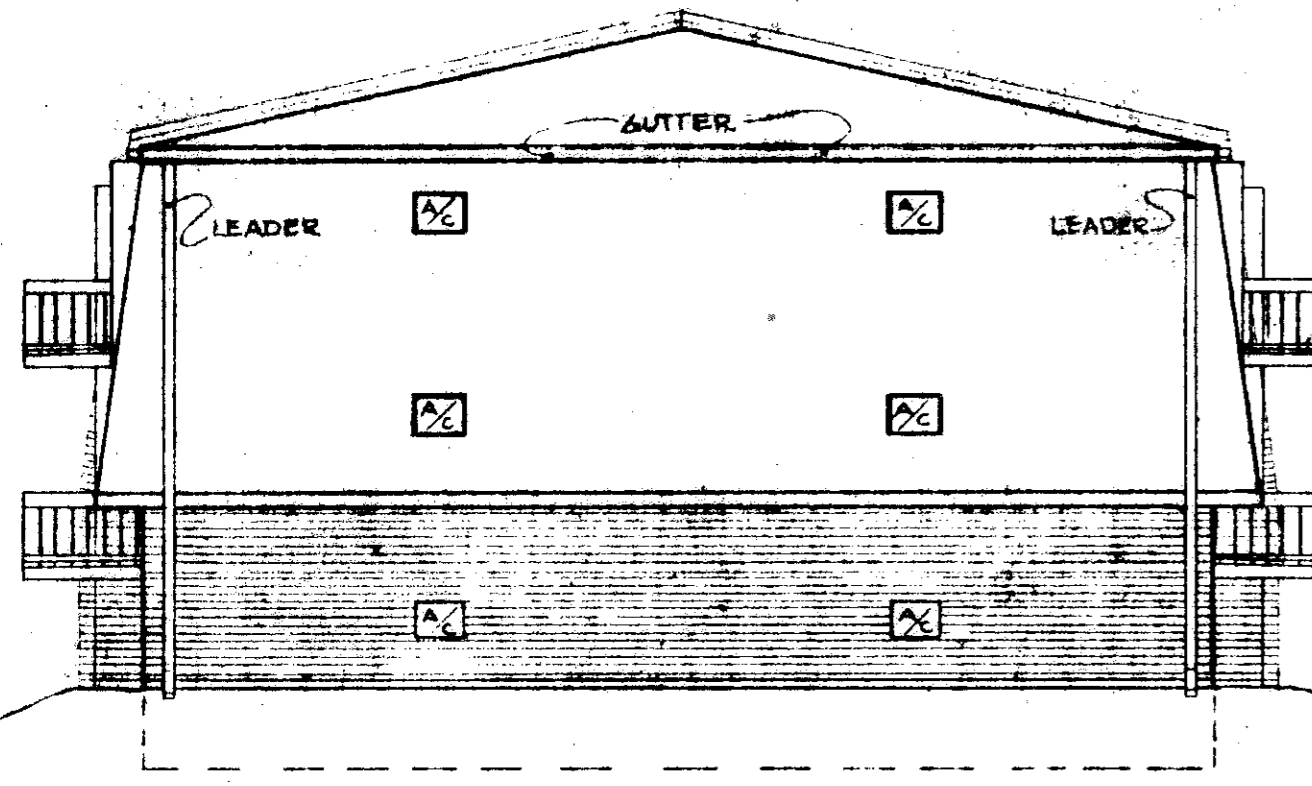
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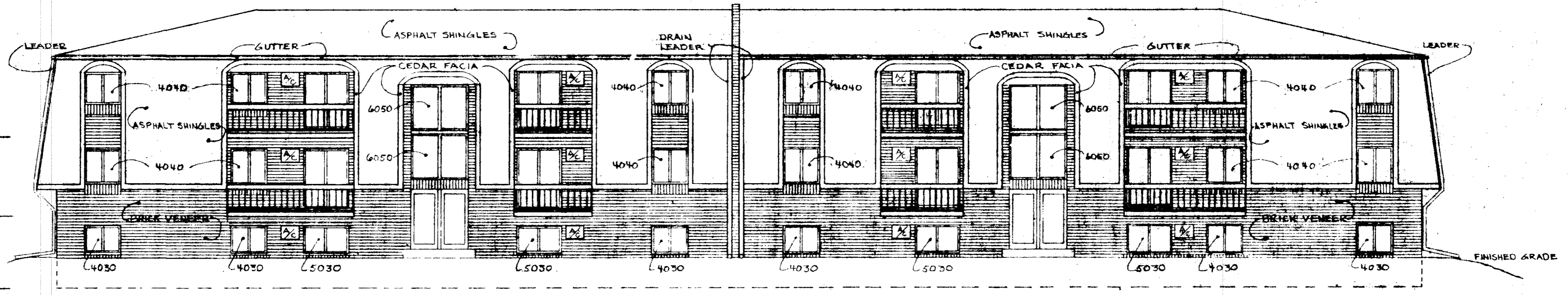
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DETAILED ELEVATION - RIGHT SIDE  
SCALE: 1/4" = 1'-0"



SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



FRONT-REAR ELEVATION  
SCALE: 1/8" = 1'-0"

MATHESON  
CONSTRUCTION & DEVELOPMENT  
COMPANY  
ELYRIA, OHIO

THE MEADOWS OF ELYRIA  
CONDOMINIUM  
BRUNSWICK DRIVE, ELYRIA, OHIO

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**CONSTRUCTION NOTES**

**FRAMING**

1. THE INSIDE FACE OF ALL MASONRY OR POURED CONCRETE FOUNDATION WALLS SHALL BE FURRED WITH 1x3 @ 16" O.C.
2. ALL EXTERIOR FRAME WALLS SHALL HAVE METAL LEST-IN CORNER BRACING IN ALL CORNER AND END WALLS
3. 7" x 8" FRAME PARTY WALLS SHALL BE TWO (2) 2x4 STUDWALLS WITH A 1" CENTER SPACE
4. ALL JOIST LAYOUT IS SET UP FOR BEGINNING AT OUTSIDE CORNERS
5. ALL HEADERS TO HAVE SOLID 3/8" PLYWOOD FLITCH PLATES

**INSULATION**

1. THE OUTSIDE FACE OF ALL MASONRY OR POURED CONCRETE FOUNDATION WALLS SHALL BE SHEETED WITH 1" RIGID FOAM INSULATION BOARD GLUED TO THE WALL
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3. ALL 8" FRAME PARTY WALLS SHALL HAVE 3/2" SOUND BATT IN BOTH STUD WALLS AND 1/2" SOUND BOARD NAIL TO THE SUITE SIDE OF THE WALL
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7. ALL FIRST SECOND AND THIRD FLOOR OUTSIDE WALLS SHALL HAVE A 3/4" MIL POLYURETHANE VAPOR BARRIER INSTALLED OVER STUDS AFTER ALL BATT HAVE BEEN INSTALLED

**DRYWALL**

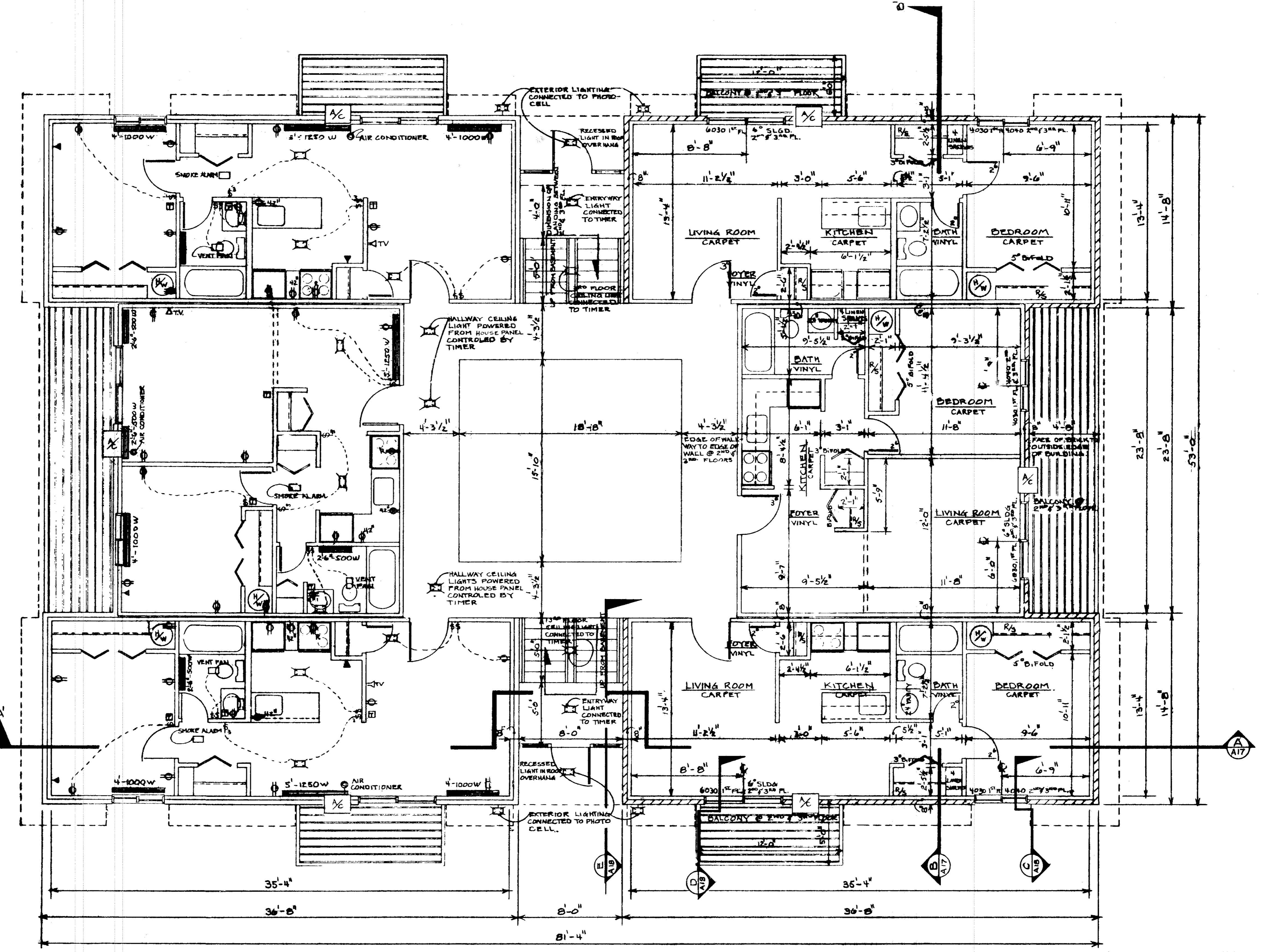
1. ALL DWELLING UNIT AND HALLWAY WALLS EXCEPT FOR BATHUB ENCLOSURES SHALL 1/2" FIREPROOF GYPSUM BOARD WITH A CERTIFIED FIRE RATING IN ACCORDANCE WITH SECTION 4101: 2-5-20, O.B.C.
2. ALL BATHUB ENCLOSURES SHALL 1/2" WATERPROOF TYPE GYPSUM BOARD
3. ALL FIRST AND SECOND FLOOR SUITE CEILING SHALL HAVE RESILIENT SOUND CHANNEL INSTALLED

**ELECTRICAL AND HEATING**

1. ALL MATERIALS, WORKMANSHIP AND EQUIPMENT MUST MEET OR EXCEED THE PROVISIONS SET FORTH IN THE NATIONAL ELECTRICAL CODE, F.H.A. MINIMUM PROPERTY STANDARD CURRENT EDITION, AND THE OHIO BUILDING CODE AND COMPLY WITH ALL OTHER APPLICABLE FEDERAL STATE AND LOCAL CODES.
2. ALL UNITS TO HAVE BATHROOM FANS DUCTED TO THE OUTSIDE
3. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL SERVICE AND CONNECTIONS TO GARBAGE DISPOSALS RANGE HOODS, RANGES, AIR CONDITIONERS AND HOT WATER TANKS WHICH WILL BE PROVIDED BY GENERAL CONTRACTOR
4. ALL FIXTURES AND THEIR CONNECTIONS SHALL BE PROVIDED AND MADE BY ELECTRICAL CONTRACTOR
5. ALL RADIANT ELECTRIC BASEBOARD HEAT UNITS SHALL BE CHROMALUX OR AN APPROVED EQUAL AND BE FURNISHED BY ELECTRICAL CONTRACTOR
6. SMOKE DETECTION DEVICES SHALL BE ELECTRICAL TYPE AND BE INSTALLED IN AND BY STRICT ACCORDANCE WITH ALL STATE AND LOCAL CODES.

**GENERAL**

1. ALL WORKMANSHIP SHALL BE PERFORMED IN A FIRST CLASS MANNER AS IS CURRENTLY ACCEPTED WITHIN THE INDUSTRY.
2. ALL MATERIAL TO BE INSTALLED SHALL DONE SO IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATION.
3. ALL SUBCONTRACTORS SHALL MAINTAIN THEIR WORK AREAS IN A CLEAN AND ORDERLY MANNER WHILE ON THE JOB SITE ON A DAILY BASIS.
4. ALL FIRE EXTINGUISHERS SHALL BE A DRYCHEMICAL TYPE WITH A MINIMUM CLASSIFICATION RATING OF 2A-10-BC OR AS APPROVED BY THE LOCAL FIRE DEPARTMENT.



ELECTRICAL PLAN - LEFT SIDE  
RIGHT SIDE, REVERSE SCALE: 1/4" = 1'-0"

TYPICAL FLOOR PLAN - RIGHT SIDE  
LEFT SIDE, REVERSE SCALE: 1/4" = 1'-0"

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**MATHESON  
CONSTRUCTION & DEVELOPMENT  
COMPANY**  
ELYRIA, OHIO

**THE MEADOWS OF ELYRIA  
CONDOMINIUM**  
BRUNSWICK DRIVE  
ELYRIA, OHIO

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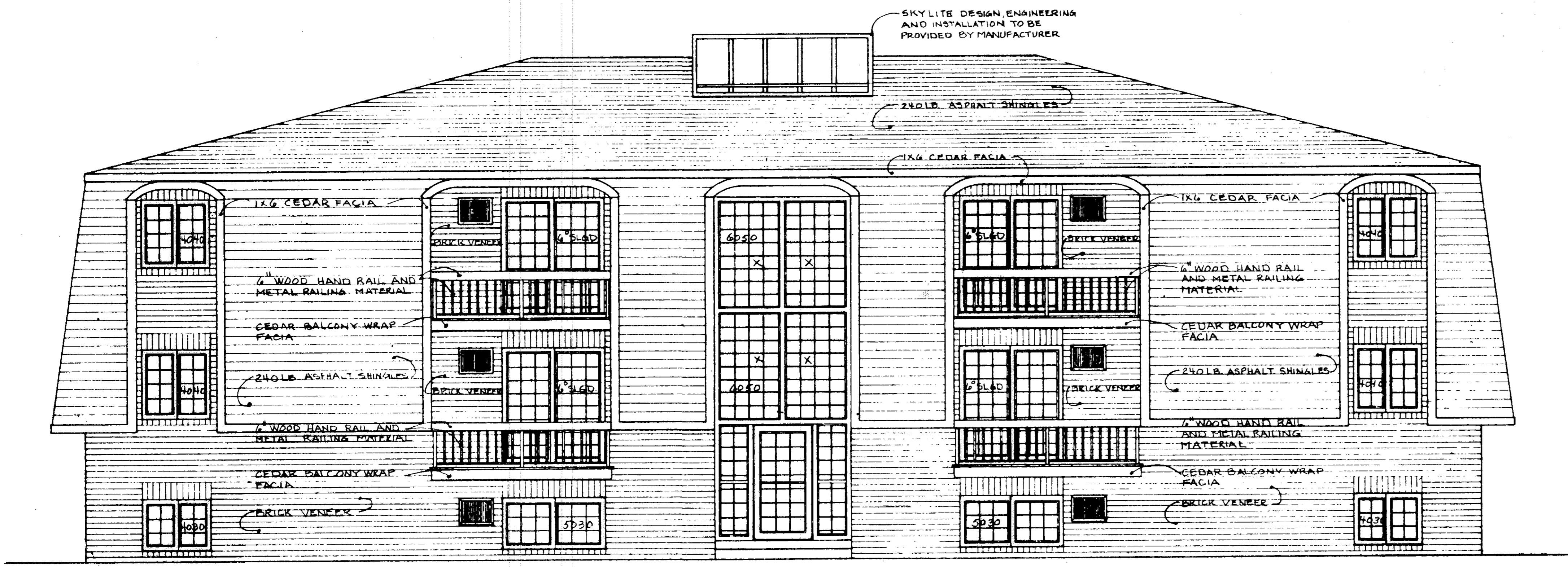
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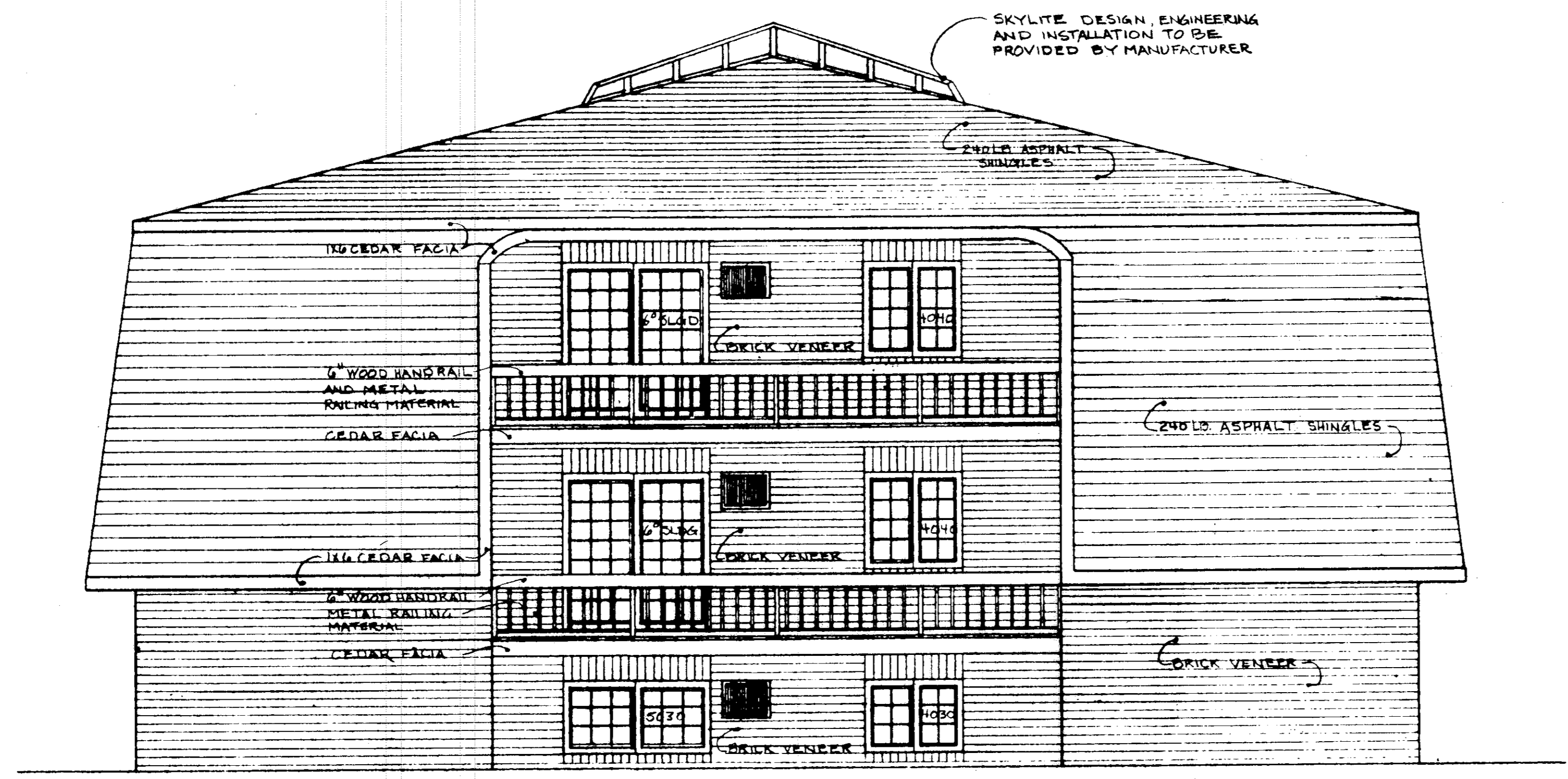


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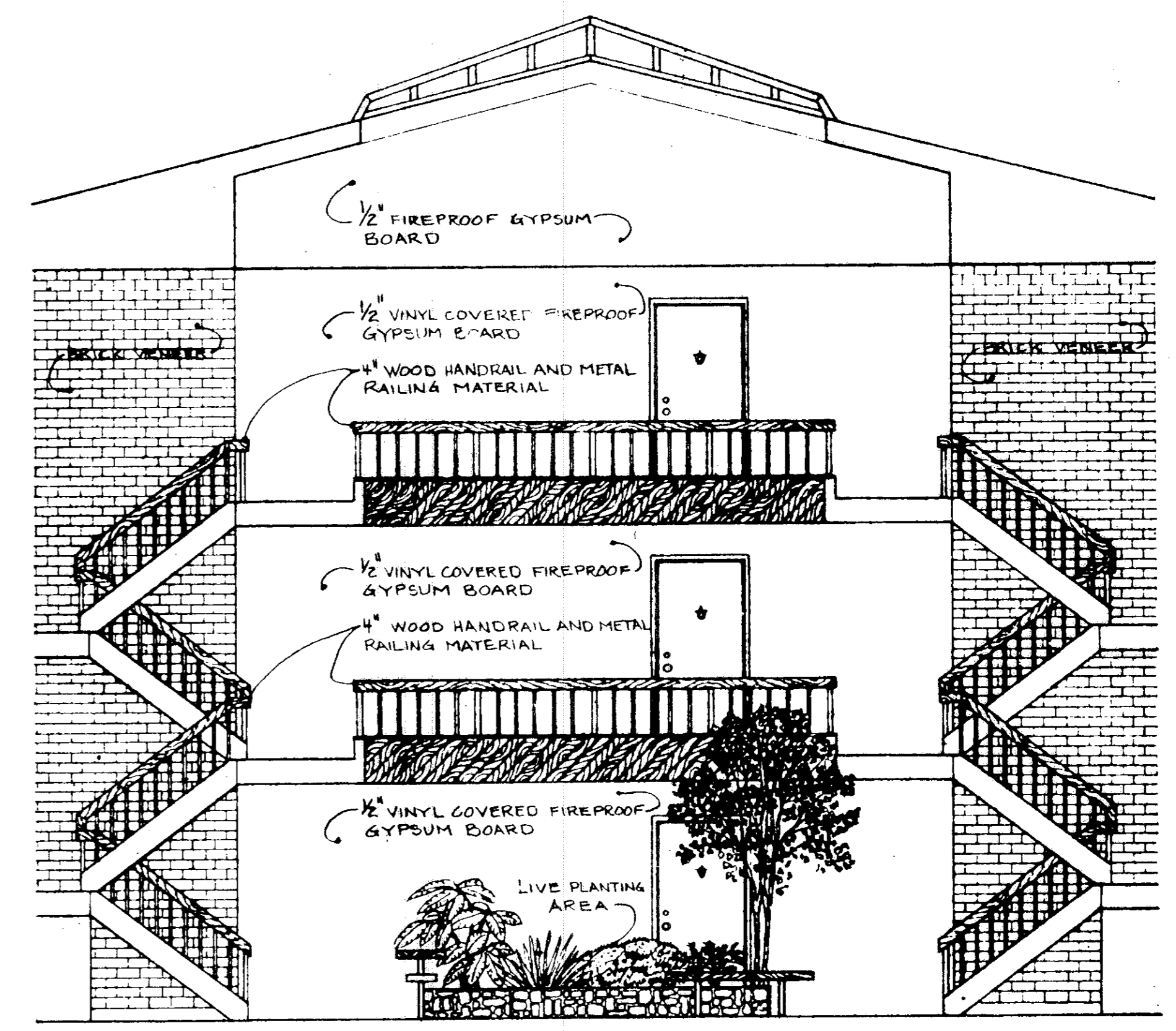
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FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



COURTYARD ELEVATION  
SCALE: 1/4" = 1'-0"

MATHESON  
CONSTRUCTION & DEVELOPMENT  
COMPANY  
ELYRIA, OHIO

THE MEADOWS OF ELYRIA  
CONDOMINIUM  
BRUNSWICK DRIVE, ELYRIA, OHIO

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MATHESON  
CONSTRUCTION & DEVELOPMENT  
COMPANY  
ELYRIA, OHIO

THE MEADOWS OF ELYRIA  
CONDOMINIUM  
BRUNSWICK DRIVE, ELYRIA, OHIO

**CONSTRUCTION NOTES**

**FRAMING**

1. THE INSIDE FACE OF ALL MASONRY OR POURED CONCRETE FOUNDATION WALLS SHALL BE FURRED WITH 1" X 3" 16" O.C.
2. ALL EXTERIOR FRAME WALLS SHALL HAVE METAL LET-IN CORNER BRACING IN ALL CORNER AND END WALLS
3. ALL 8" FRAME PARTY WALLS SHALL BE TWO (2) 2" X 4" STUD WALLS WITH A 1" CENTER SPACE
4. ALL JOIST LAYOUT IS SET UP FOR BEGINNING AT OUTSIDE CORNERS.
5. ALL HEADERS TO HAVE SOLID 3/8" PLYWOOD FLITCH PLATES.

**INSULATION**

1. THE OUTSIDE FACE OF ALL MASONRY OR POURED CONCRETE FOUNDATION WALLS SHALL BE SHEETED WITH 1" RIGID FOAM INSULATION BOARD GLUED TO THE WALL
2. ALL OUTSIDE FRAME WALLS SHALL BE SHEETED WITH A R-2 RIGID 3/4" INSULATION BOARD AND HAVE 3/2" R-11 BATT INSULATION BETWEEN STUDS
3. ALL 8" FRAME PARTY WALLS SHALL HAVE 3/2" SOUND BATT IN BOTH STUD WALLS AND 1/2" SOUND BOARD NAILED TO THE SUITE SIDE OF THE WALL
4. ALL COMMON AREA HALLWAY WALLS SHALL HAVE 3/2" SOUND BATT BETWEEN STUDS AND 1/2" SOUND BOARD NAILED TO THE OUTSIDE OF WALL
5. ALL FIRST AND SECOND FLOOR SUITE AND HALLWAY CEILING SHALL HAVE 3/2" SOUND BATT BETWEEN ALL JOISTS.
6. ALL THIRD FLOOR SUITE AND HALLWAY CEILING SHALL HAVE 9" R-30 KRAFT FACED BATT BETWEEN ALL JOISTS.
7. ALL FIRST, SECOND AND THIRD FLOOR OUTSIDE WALLS SHALL HAVE A 2 MIL POLYURETHANE VAPOR BARRIER INSTALLED OVER STUDS AFTER ALL BATT HAVE BEEN INSTALLED.

**DRYWALL**

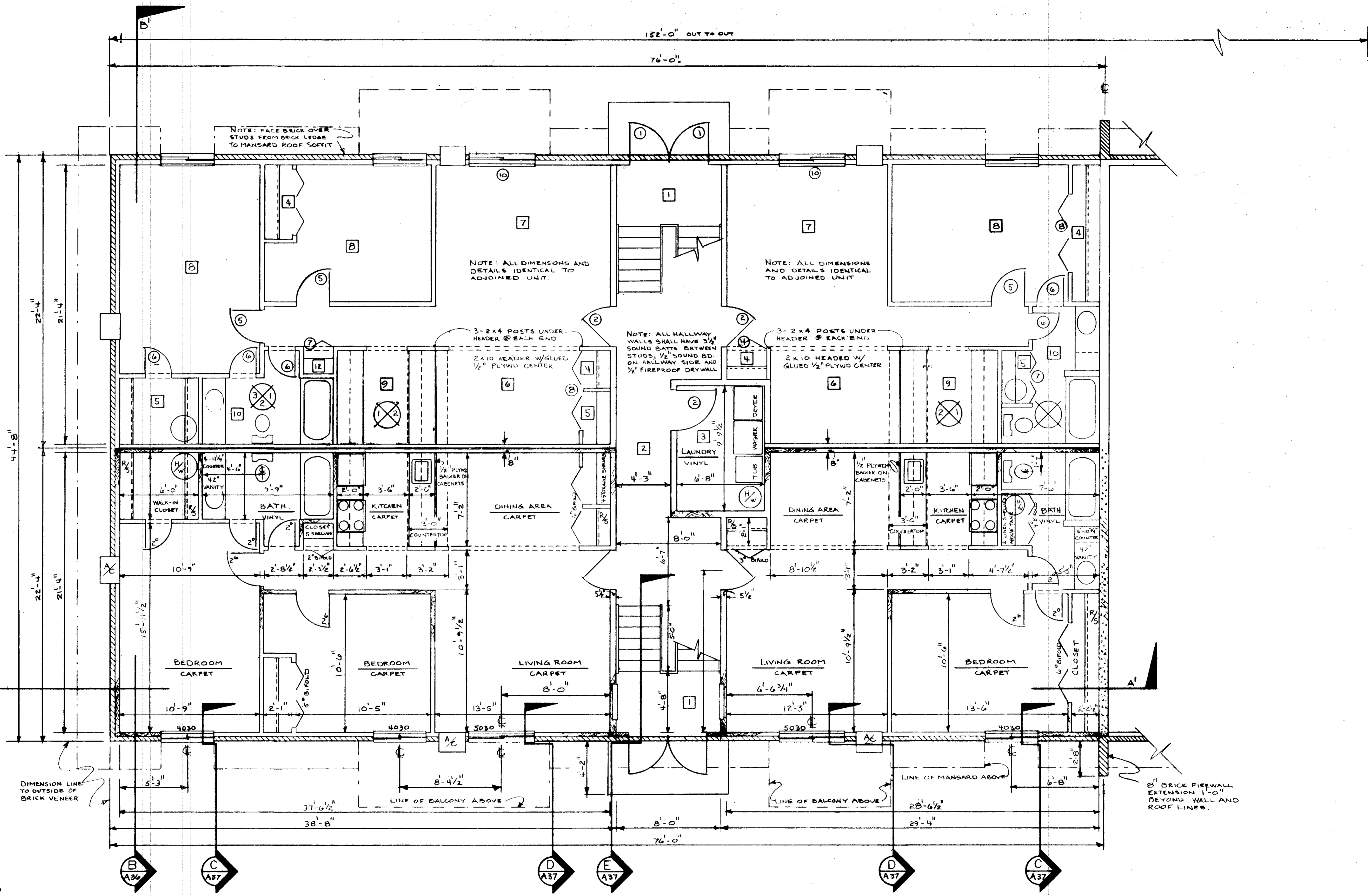
1. ALL DWELLING UNIT AND HALLWAY WALLS EXCEPT FOR BATHS ENCLOSURES SHALL 1/2" FIREPROOF GYPSUM BOARD WITH A CERTIFIED FIRE RATING IN ACCORDANCE WITH SECTION 4101:2-5-20, O. B. C.
2. ALL BATHS ENCLOSURES SHALL 1/2" WATERPROOF TYPE GYPSUM BOARD.
3. ALL FIRST AND SECOND FLOOR SUITE CEILING SHALL HAVE RESILIENT SOUND CHANNEL INSTALLED

**ELECTRICAL AND HEATING**

1. ALL MATERIALS, WORKMANSHIP AND EQUIPMENT MUST MEET OR EXCEED THE PROVISIONS SET FORTH IN THE NATIONAL ELECTRICAL CODE, #1 A MINIMUM PROPERTY STANDARD CURRENT EDITION, AND THE OHIO BUILDING CODE AND COMPLY WITH ALL OTHER APPLICABLE FEDERAL STATE AND LOCAL CODES.
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FIRST FLOOR PLAN: LEFT SIDE  
SCALE: 1/4" = 1'-0" ALL DIMENSIONS GIVEN AS ROUGH FRAMING DIMENSIONS.

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CONSTRUCTION NOTES

FRAMING

1. THE INSIDE FACE OF ALL MASONRY OR POURED CONCRETE FOUNDATION WALLS SHALL BE FURRED WITH 1x3 @ 16" O.C.
2. ALL EXTERIOR FRAME WALLS SHALL HAVE METAL LST-IN CORNER BRACING IN ALL CORNER AND END WALLS.
3. ALL 8" FRAME PARTY WALLS SHALL BE TWO (2) 2x4 STUD WALLS WITH A 1" CENTER SPACE.
4. ALL JOIST LAYOUT IS SET UP FOR BEGINNING AT OUTSIDE CORNERS.
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INSULATION

1. THE OUTSIDE FACE OF ALL MASONRY OR POURED CONCRETE FOUNDATION WALLS SHALL BE SHEETED WITH 1" RIGID FOAM INSULATION BOARD GLUED TO THE WALL.
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DRYWALL

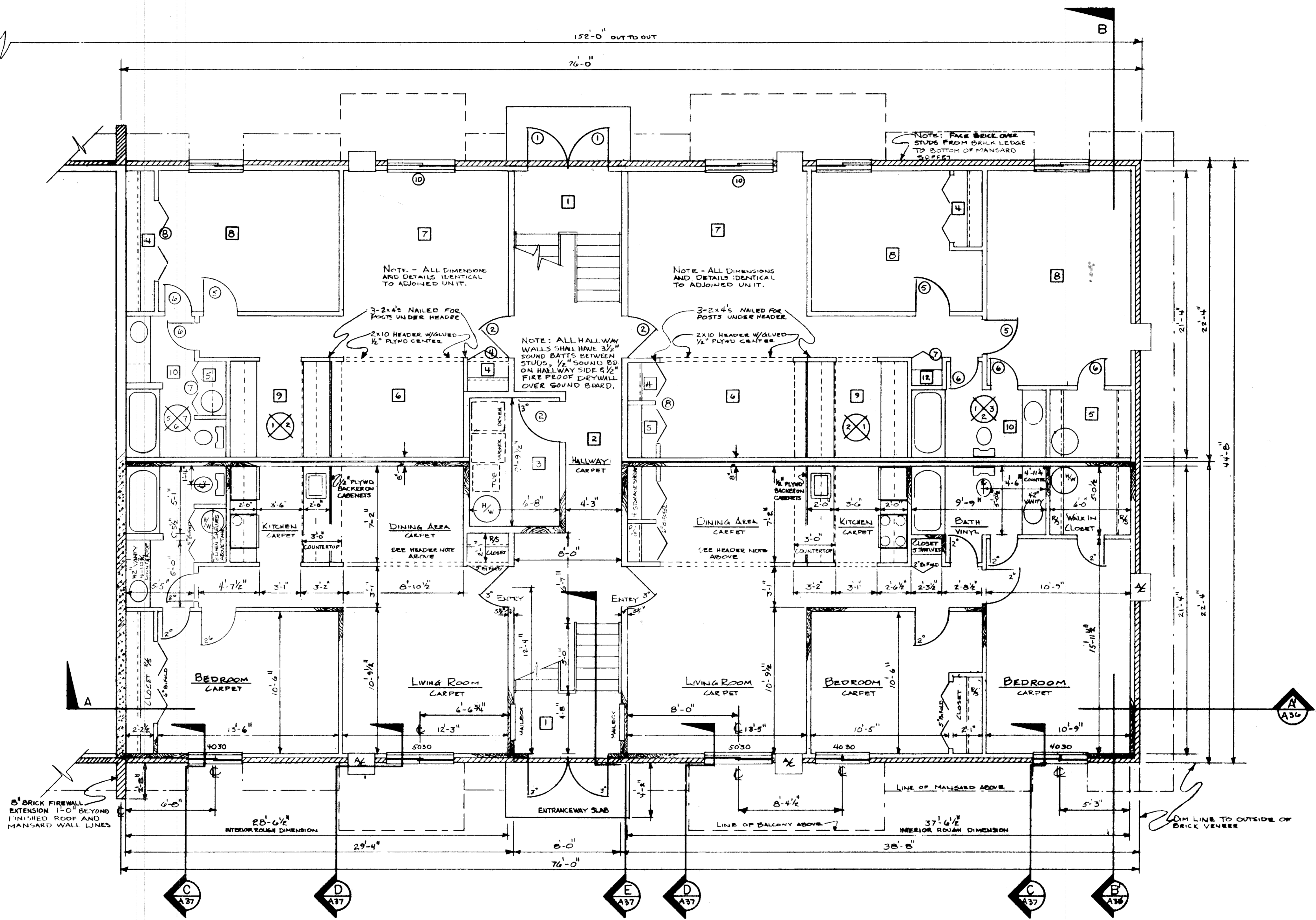
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FIRST FLOOR PLAN: RIGHT SIDE

SCALE: 1/4" = 1'-0" ALL DIMENSIONS GIVEN AS KEYED FRAMING DIMENSIONS

MATHESON CONSTRUCTION & DEVELOPMENT COMPANY ELYRIA, OHIO

THE MEADOWS OF ELYRIA CONDOMINIUM BRUNSWICK DRIVE ELYRIA, OHIO

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MATHESON  
CONSTRUCTION & DEVELOPMENT  
COMPANY  
ELYRIA, OHIO

THE MEADOWS OF ELYRIA  
CONDOMINIUM  
BRUNSWICK DRIVE, ELYRIA, OHIO

**CONSTRUCTION NOTES**

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**DRYWALL**

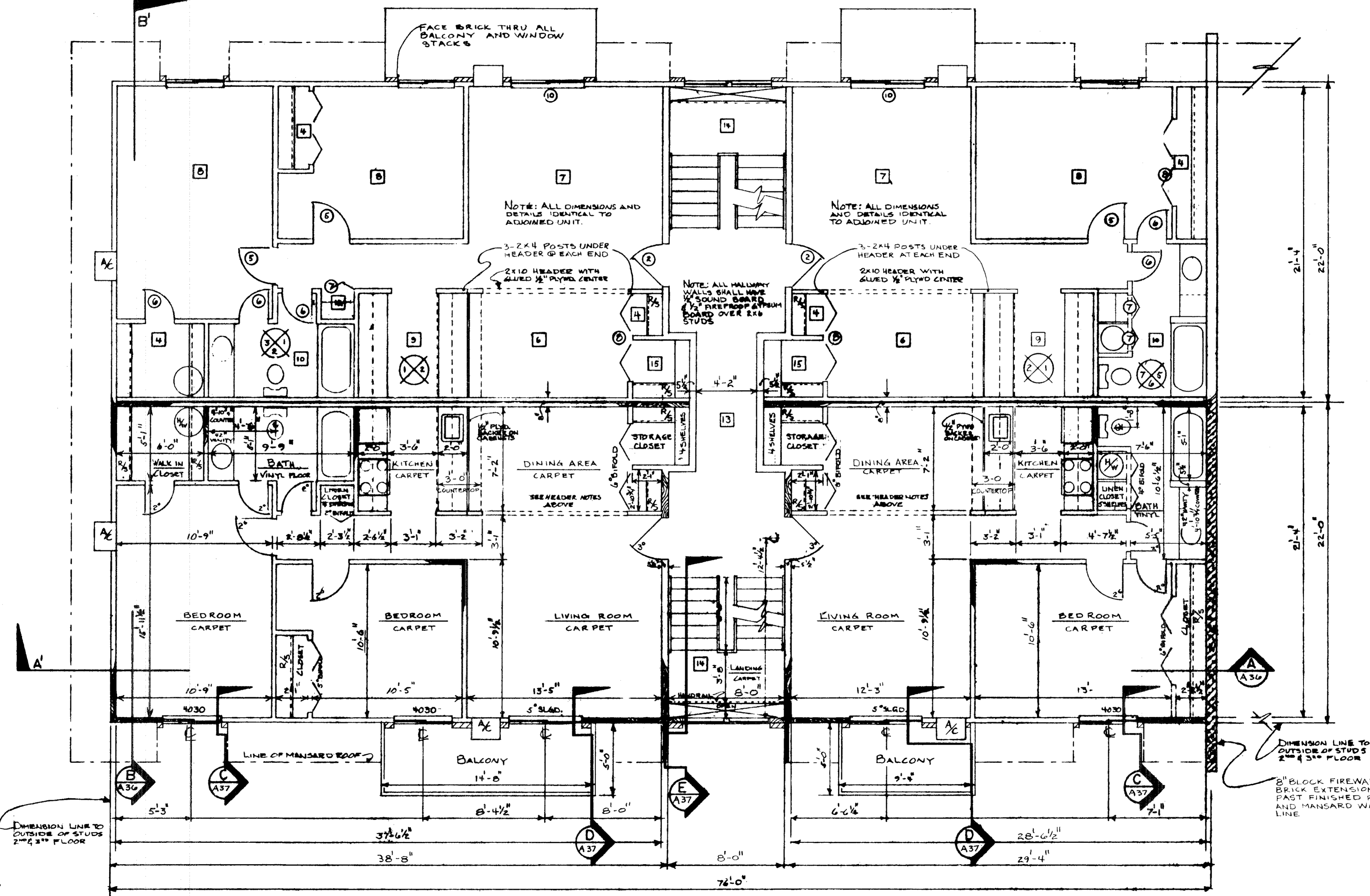
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TYPICAL 2<sup>ND</sup> & 3<sup>RD</sup> FLOOR PLAN: LEFT SIDE  
SCALE: 1/4" = 1'-0" ALL DIMENSIONS GIVEN AS ROUGH FRAMING DIMENSIONS

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**CONSTRUCTION NOTES**

**FRAMING**

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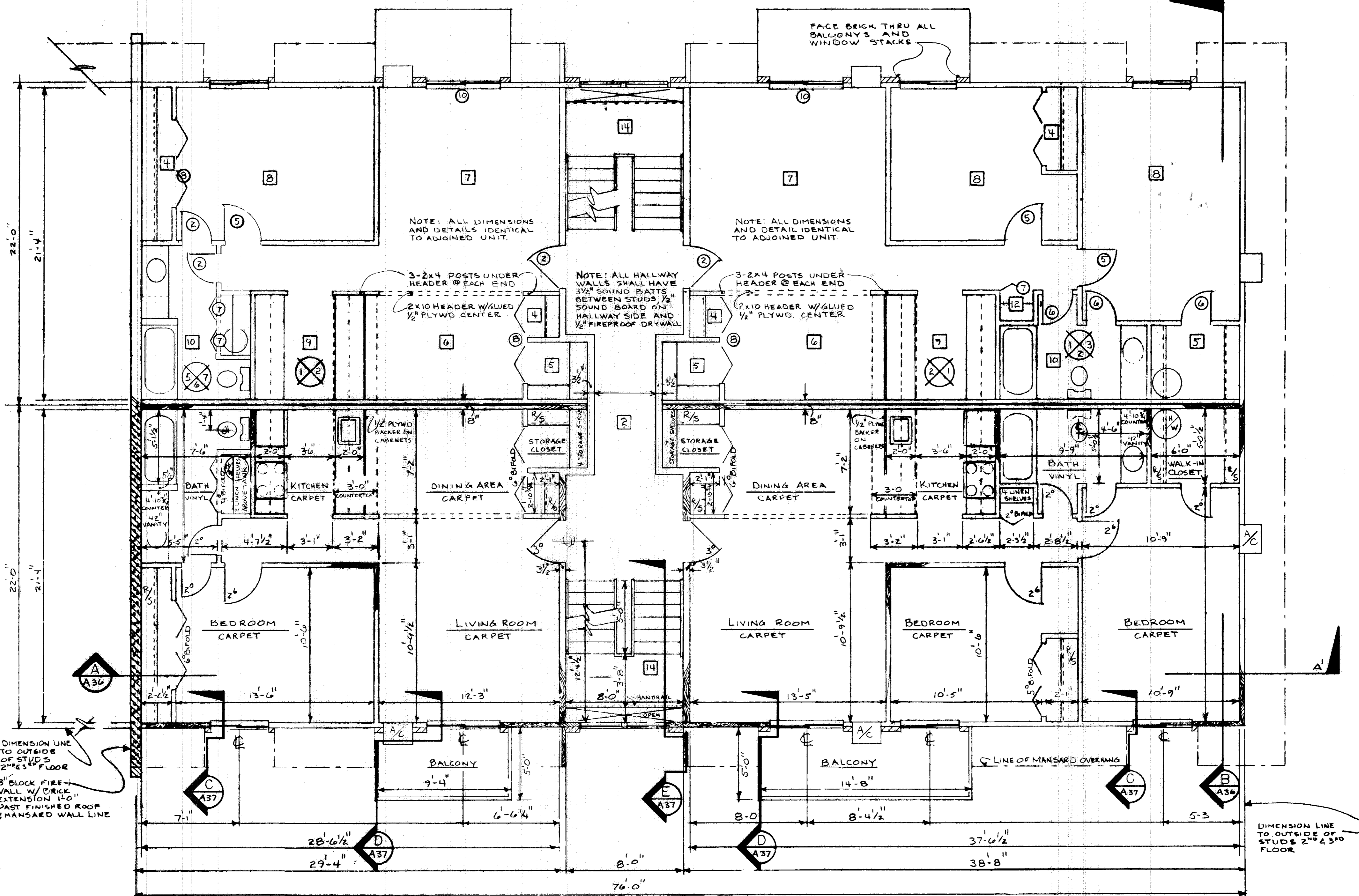
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TYPICAL 2<sup>ND</sup> FLOOR PLAN: RIGHT SIDE  
SCALE: 1/4" = 1'-0" ALL DIMENSION GIVEN AS ROUGH FRAMING DIMENSIONS

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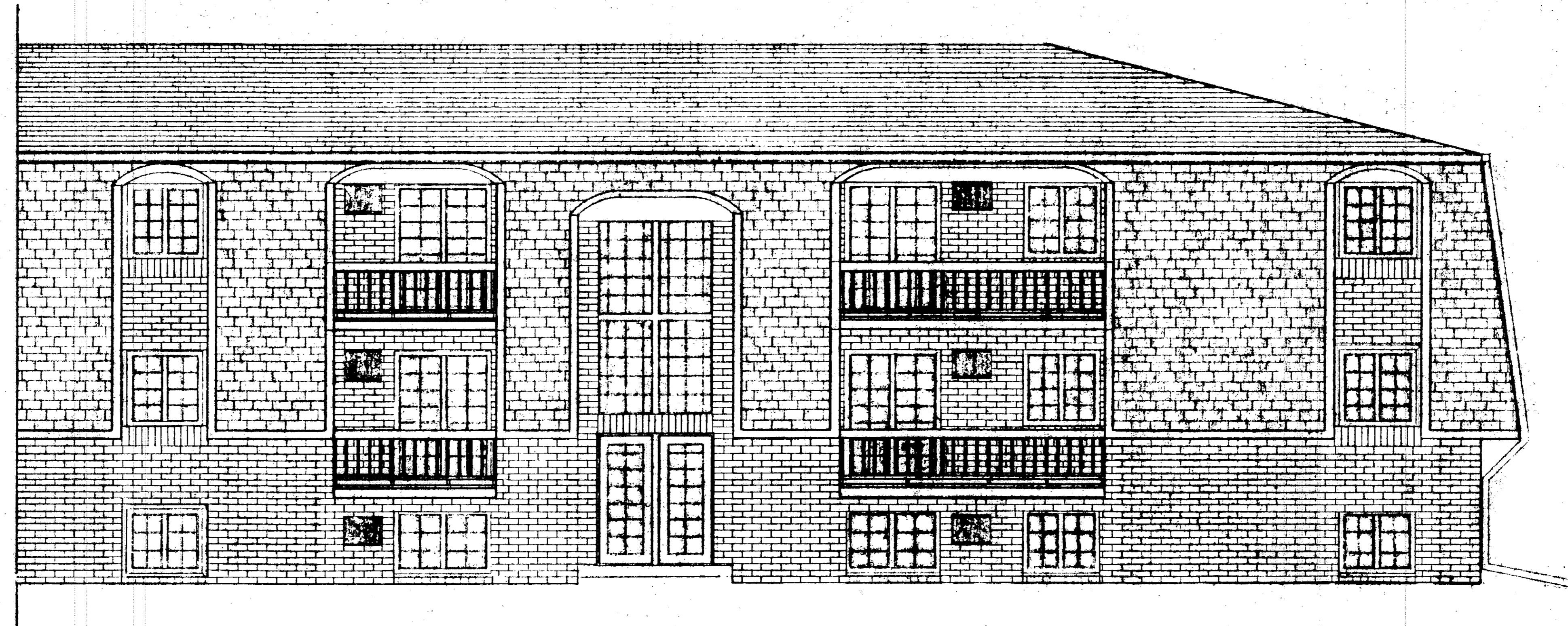
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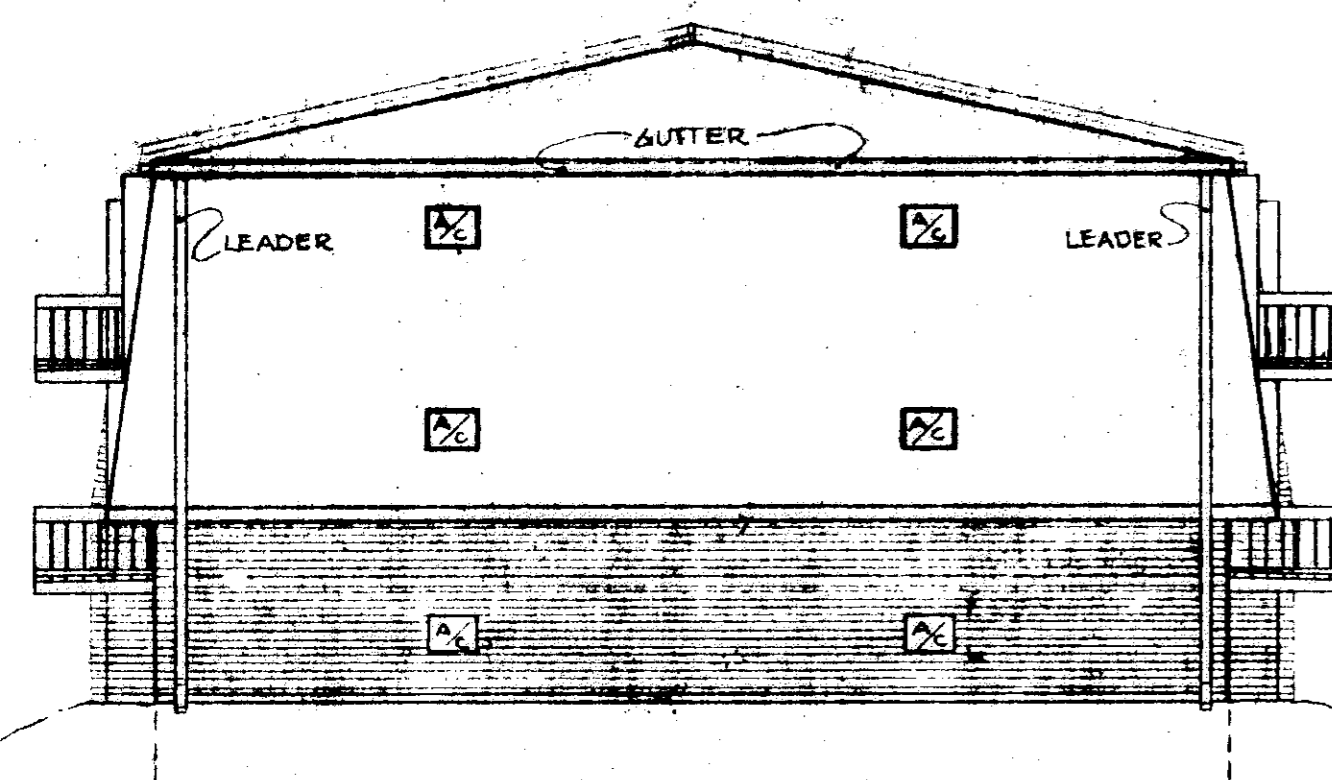
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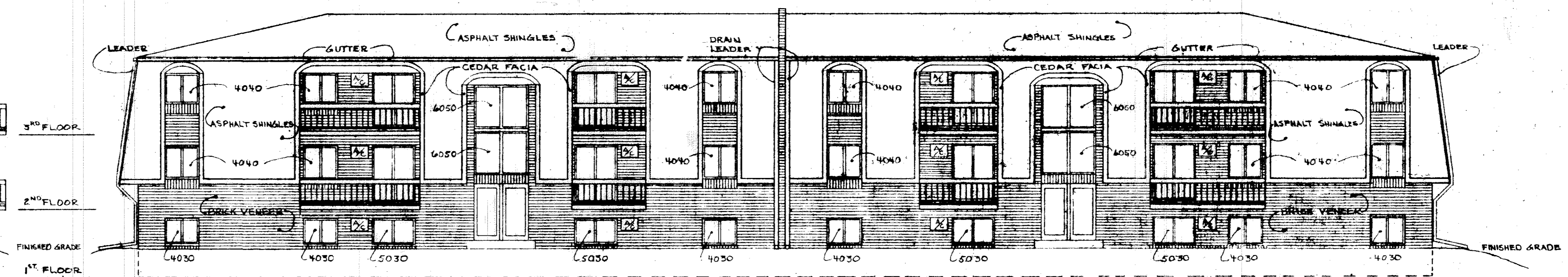
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DETAILED ELEVATION - RIGHT SIDE  
SCALE: 1/4" = 1'-0"



SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



FRONT-REAR ELEVATION  
SCALE: 1/8" = 1'-0"

MATHESON  
CONSTRUCTION & DEVELOPMENT  
COMPANY  
ELYRIA, OHIO

THE MEADOWS OF ELYRIA  
CONDOMINIUM  
BRUNSWICK DRIVE, ELYRIA, OHIO

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