

031592

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RICHARD A. & SHIRLEY A. KOUNTZ
VOL. 152 PG. 185

COUNTRYSIDE

SITUATED IN THE TOWNSHIP OF EATON, COUNTY OF LORAIN, STATE OF OHIO, AND BEING PART OF ORIGINAL LOT NUMBERS 18 & 19, CONTAINING 70.930 ACRES, AND BEING THE SAME TRACT AS CONVEYED TO HOWARD AND SYLVIA BELL, AND DESCRIBED IN DEED RECORDED IN DEED BOOK 1224, PAGE 558, RECORDERS OFFICE, LORAIN COUNTY, OHIO.

THE UNDERSIGNED HOWARD AND SYLVIA BELL HEREBY CERTIFY THAT THE ATTACHED PLAT CORRECTLY REPRESENTS THEIR "COUNTRYSIDE," A SUBDIVISION OF LOTS 1 TO 15, INCLUSIVE, AND DO HEREBY ACKNOWLEDGE THIS PLAT OF SAME TO BE THEIR FREE ACT AND DEED AND DO HEREBY GRANT EASEMENTS OVER LAND SHADED IN RED.

Howard Bell Sylvia Bell May 8, 1979
HOWARD BELL SYLVIA BELL DATE

Laurena V. Morton Linda Rolling
WITNESS WITNESS

STATE OF OHIO BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY APPEARED HOWARD AND SYLVIA BELL WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT TO BE THEIR VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN EXPRESSED.

IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THIS 8 DAY OF May, 1979
Thomas L. Rimmerman NOTARY PUBLIC

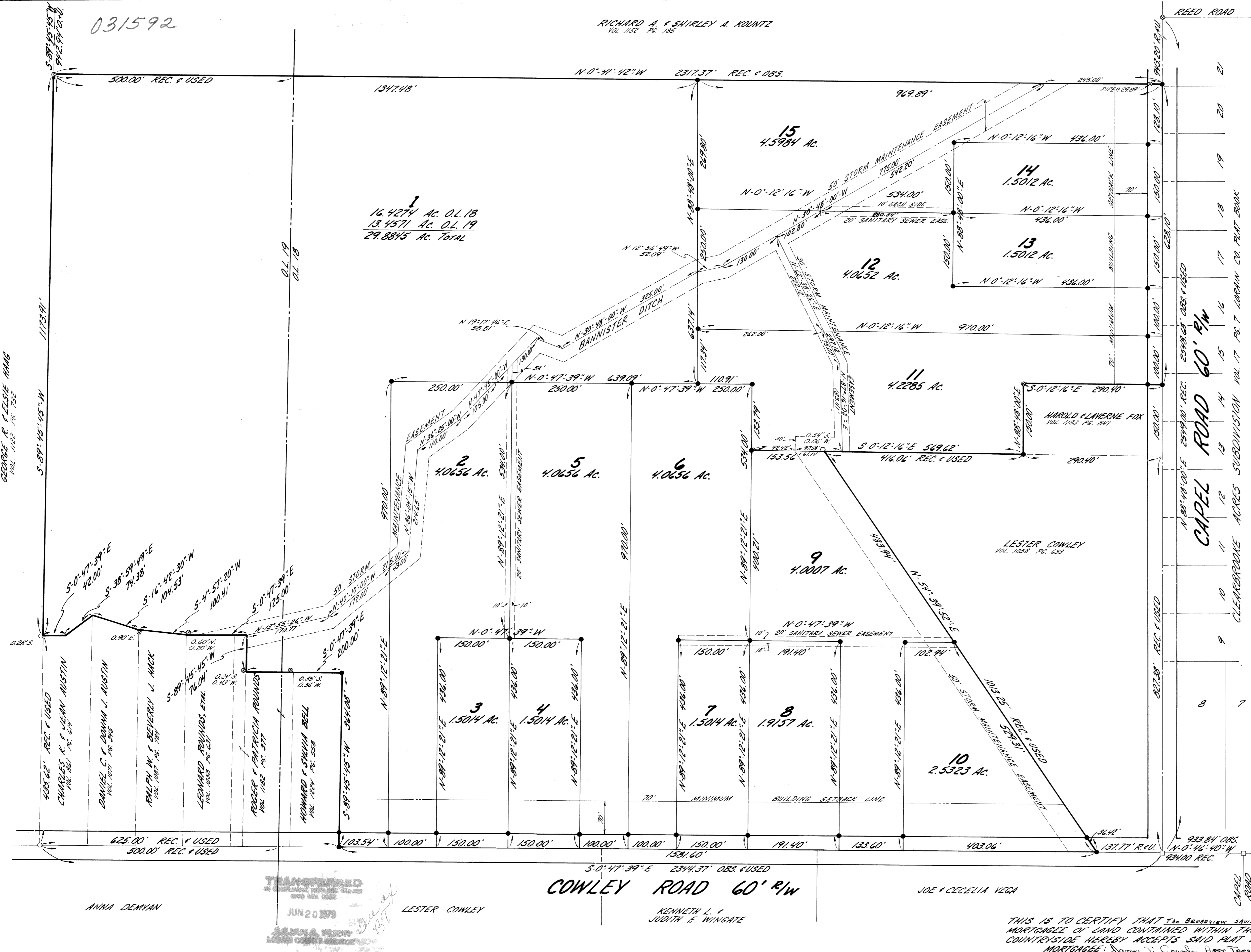
THE ABOVE SIGNED, HOWARD AND SYLVIA BELL, FURTHER AGREE THAT ANY USE OR IMPROVEMENTS MADE ON THIS LAND SHALL BE IN CONFORMITY WITH ALL EXISTING PLATTING, HEALTH OR OTHER LAWFUL RULES AND REGULATIONS INCLUDING THE APPLICABLE OFF-STREET PARKING AND LOADING REQUIREMENTS OF LORAIN COUNTY, OHIO, FOR THE BENEFIT OF THEMSELVES AND ALL OTHER SUBSEQUENT PARTIES TAKING TITLE FROM, UNDER OR THROUGH THE ABOVE SIGNED HOWARD AND SYLVIA BELL.

APPROVED THIS 1ST DAY OF JUNE, 1979, Laurena V. McElmurry LORAIN COUNTY ENGINEER
APPROVED THIS 1ST DAY OF JUNE, 1979, Laurena V. McElmurry LORAIN CO. SANITARY ENG.
APPROVED THIS 2⁵TH DAY OF MAY, 1979, Victor J. Brega LORAIN COUNTY DISTRICT BOARD OF HEALTH
APPROVED THIS 7 DAY OF JUNE, 1979, Richard W. McEwen LORAIN COUNTY REGIONAL PLANNING COMM.

TRANSFERRED THIS DAY OF OF, 1979, LORAIN COUNTY AUDITOR
FILED FOR RECORD THIS 20 DAY OF June, 1979 AT 2:39 P.M.
RECORDED THIS 20 DAY OF June, 1979. PLAT BOOK 357B.20.

LORAIN COUNTY RECORDER
ISLAND ROAD
COUNTRYSIDE
CONLEY ROAD
DORIAN PARK GOLF COURSE
STATION ROAD
EASTMAN TOWNSHIP

SCALE: 1"=100'
LEGEND
● - IRON PIPE FND. # USED
○ - NAIL FND. # USED
□ - MONUMENT BOX FND. # U.
○ - IRON PIN FND. # USED
● - IRON PIN SET



THESE DEED RESTRICTIONS IN NO WAY OIER RULE OR SUPERCEDE THE ZONING RESOLUTION OF EATON TOWNSHIP.
THE GRANTEE, ITS SUCCESSORS AND ASSIGNS, IN CONSIDERATION OF THE EXECUTION AND DELIVERY OF THIS DEED, HEREBY COVENANTS AND AGREES WITH, AND FOR THE BENEFIT OF THE GRANITOR, HIS SUCCESSORS AND ASSIGNS, TO HOLD SAID PREMISES HEREBY CONVEYED, UPON THE FOLLOWING TERMS:
1) SAID PROPERTY SHALL BE USED SOLELY AND EXCLUSIVELY FOR SINGLE FAMILY RESIDENCE PURPOSES ONLY.
2) NO TEMPORARY BUILDINGS SHALL BE ERRECTED ON THE PREMISES. ALL OUTBUILDINGS SHALL BE ERRECTED ON THE PREMISES SHALL HAVE A GABLED ROOF. SAID OUTBUILDINGS SHALL BE PLACED IN SUCH A LOCATION AS TO NOT DISTURB THE ESTHETIC VALUE OF SURROUNDING PROPERTIES. ALL SUCH BUILDINGS WHILE WAITING FOR APPROVAL OF HOWARD BELL OR HIS HEIRS AND ASSIGNS AS TO LOCATION, DESIGN, AND MATERIALS USED. ALL BUILDINGS SHALL BE FINISHED IN A NEAT AND WORKMANLIKE MANNER.
3) ALL FENCES SHALL BE INSTALLED AND MAINTAINED IN A NEAT AND WORKMANLIKE MANNER.

DEED RESTRICTIONS FOR COUNTRYSIDE
4) NO UNSIGHTLY OBJECTS SHALL BE ALLOWED TO BE PLACED OR SUFFERED TO REMAIN ANYWHERE ON SAID PREMISES. PREMISES IF NOT PASTURED, OR NOT FARMED SHALL BE MOWED TWICE A YEAR, EXCEPT FOR PARCEL NO. 1. NO OPEN DUMP OR RUBBISH PILES OR UNLAWFUL UNLICENSED PESTICIDES (JUNK CHEM, ETC.) SHALL BE PERMITTED ON THE ABOVE DESCRIBED PREMISES; NOR SHALL THE PREMISES BE USED IN ANY MANNER OR FOR ANY PURPOSE WHICH MAY ENDANGER THE HEALTH, OR UNREASONABLY DISTURB THE QUIET OF ANY ADJOINING LANDS.
5) ANY AND ALL ANIMALS EXCEPT PIGS MAY BE KEPT ON SAID PREMISES, EXCEPT HOWEVER IF HORSES OR PONIES ARE MAINTAINED TWO OR MORE ACRES ARE REQUIRED FOR THE FIRST HORSE OR PONY, AND ONE HORSE OR PONY PER ACRE AFTER THAT. ALL ANIMALS SHALL BE OWNED BY THE PROPERTY OWNER, AND NO BREEDING OF ANY ANIMALS WILL BE ALLOWED. ZONING SHALL BE LIMITED TO 3" AND WHEN MAINTAINED OUTSIDE WILL BE LOCATED SO THEY WILL NOT DISTURB THE ADJOINING PROPERTY OWNERS. ALL OTHER ANIMALS SHALL BE RESTRAINED IN SUCH A MANNER AS TO BE KEPT MAINTAINED, AND RESTRICTED TO SAID OWNER'S PROPERTY, AND SHALL AT NO TIME BECOME AN UNNECESSARY NUISANCE. NO ANIMALS SHALL BE PASTURED OR KEPT WITHIN 50 FEET OF ANY LAKE.

6) ALL GASOLINE AND OIL TANKS MAY BE INSTALLED ABOVE GROUND BUT MUST HAVE WRITTEN APPROVAL OF HOWARD BELL OR HIS HEIRS AND ASSIGNS AS TO LOCATION.
7) ALL RECREATIONAL FACILITIES, WHETHER WITH ANIMALS OR MOTOR VEHICLES SHALL BE RESTRAINED WITHIN THE LIMITS OF THE OWNER'S PREMISES UNLESS WITH THE CONSENT OF OTHER OWNERS.
8) LAND CONVEYED TO GRANTEE SHALL IN NO WAY BE SUBDIVIDED INTO SMALLER PARCELS, EXCEPT FOR PARCEL NUMBER 1.
9) THE DRAINAGE EASEMENTS ARE PLACED ON THE PROPERTY SO THE DRAINAGE SYSTEMS WILL NOT BE ALTERED, AND HEREBY GRANTS PERMISSION TO THE COUNTY ENGINEERS OFFICER TO ENTER UPON SAID EASEMENTS AT ANY TIME DEEMED NECESSARY BY THEM TO MAINTAIN SAID WATER COURSES. * OR TOWNSHIP TRUSTEES
10) THE LORAIN COUNTY HEALTH DEPARTMENT HAS THE RIGHT TO INSPECT THE SEPTIC SYSTEM ON ANY LOT FROM TIME TO TIME.
THE ABOVE COVENANTS AND RESTRICTIONS SHALL BE COVENANTS RUNNING WITH THE LAND SHALL BE BINDING UPON THE PROPERTY OWNER AND SHALL BE ENFORCEABLE BY THE OWNER OF ANY ADJOINING OR ADJACENT LANDS.

THIS IS TO CERTIFY THAT THE BEAUBIEN SAVINGS AND LOAN COMPANY, MORTGAGEE OF LAND CONTAINED WITHIN THIS PLAT OF COUNTRYSIDE HEREBY ACCEPTS SAID PLAT TO BE CORRECT MORTGAGEE: James J. Conroy, Dist. Treas. Judy Burkhead, Ass't. Sec.
I HEREBY CERTIFY THIS PLAT TO BE A CORRECT RETURN OF THE FIELD NOTES OF A SURVEY MADE IN MAY, 1979. DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. MONUMENTS WERE SET OR FOUND AT ALL POINTS INDICATED, ALL OF WHICH I CERTIFY TO BE CORRECT.
Charles A. Rolling
REGISTERED SURVEYOR #5569
ROLLING, HOCEVAR & ASSOCIATES, INC.
ENGINEERS 723-1828 SURVEYORS 44256
135 NORTH BROADWAY MEDINA, OHIO

