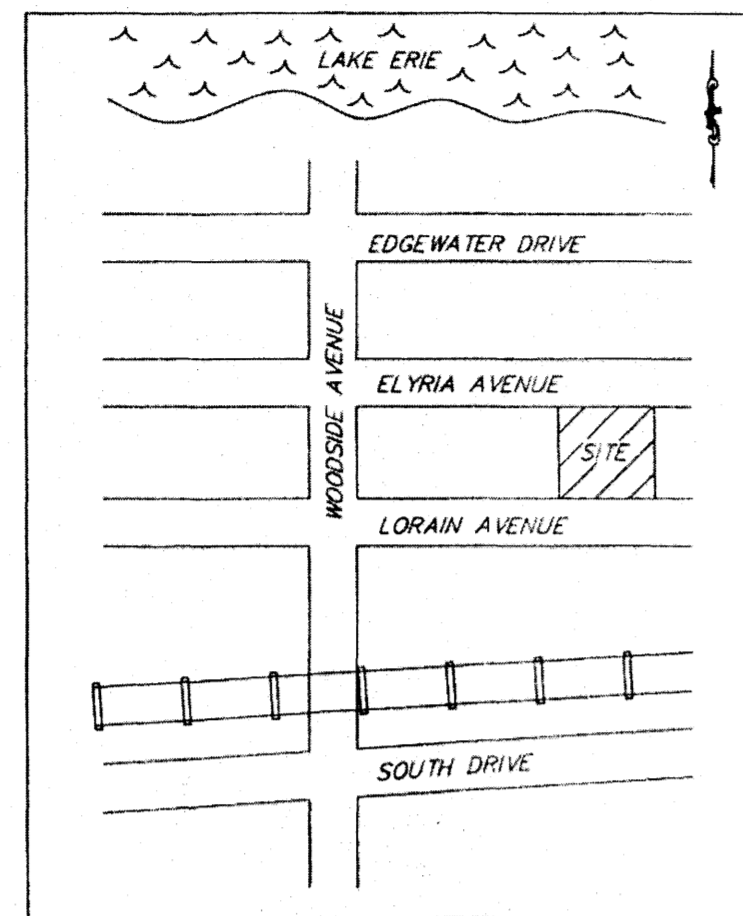


SUNNYSIDE SHORES SUBDIVISION

PART OF ORIGINAL BROWNHELM TOWNSHIP LOT NO. 4

SITUATED IN THE CITY OF VERMILION
COUNTY OF LORAIN, STATE OF OHIO



VICINITY MAP
NOT TO SCALE

2024-0007425
PLAT Fee: \$176.90 Page 1 of 4
Recorded: 3/20/2024 at 03:19 PM
Receipt: T20240005330
Lorain County Recorder Mike Doran

Plot vol 115
Pages 58, 59
re-record of
2023-0903411

OWNER'S CERTIFICATE

THE UNDERSIGNED PATRICK & MARY CAROL FORBUS HEREBY CERTIFIES THAT THE ATTACHED PLAT CORRECTLY REPRESENTS SUNNYSIDE SHORES SUBDIVISION, A SUBDIVISION OF 8 LOTS, INCLUSIVE, DOES HEREBY ACCEPT THIS PLAT OF SAME TO BE CORRECT.

Patrick Forbus
PATRICK FORBUS
Mary Carol Forbus
MARY CAROL FORBUS

NOTARY CERTIFICATE

STATE OF OHIO } I, BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE SIGNED, WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT AND THE SAME TO BE HIS FREE ACT AND DEED.
IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND OFFICIAL SEAL THIS 14th DAY OF October, 2024.

Kelley Aritz
NOTARY PUBLIC
MY COMMISSION EXPIRES _____



PATRICK FORBUS
503 WINE ST
VERMILION, OH 44089

Doc ID: 033797140002 Type: OFF
PLAT
Recorded: 01/13/2023 at 03:00:00 PM
Fee Amt: \$86.40 Page 1 of 2
Lorain County, Ohio
Mike Doran County Recorder
File: 2023-0903411

Plot vol. 113
Pgs. 15

MORTGAGEE'S CERTIFICATE

THIS IS TO CERTIFY THAT I, MORTGAGEE OF THE LANDS CONTAINED WITHIN THIS FOREGOING PLAT OF SUNNYSIDE SHORES SUBDIVISION, DO HEREBY ACCEPT THE SAME TO BE CORRECT.

MORTGAGEE
BY: _____
BY: _____

NOTARY CERTIFICATE

STATE OF OHIO } I, BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE SIGNED, WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT AND THE SAME TO BE HIS FREE ACT AND DEED.
IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

NOTARY PUBLIC

NOTARY PUBLIC

APPROVAL SIGNATURES

CITY ENGINEER

APPROVED BY THE ENGINEER FOR THE CITY OF VERMILION, OHIO FOR RECORDING PURPOSES ONLY ON THIS 13th DAY OF DECEMBER, 2022.

Christopher Howard
CHRISTOPHER HOWARD, P.E.
CITY ENGINEER

PLANNING COMMISSION

APPROVED BY THE PLANNING COMMISSION FOR THE CITY OF VERMILION, OHIO FOR RECORDING PURPOSES ONLY ON THIS 13th DAY OF DECEMBER, 2022.

James W. Crippen
SECRETARY

James W. Crippen
CHAIRMAN

CITY COUNCIL

THIS IS TO CERTIFY THAT THIS PLAT OF SUNNYSIDE SHORES SUBDIVISION WAS APPROVED AND ACCEPTED BY THE CITY COUNCIL OF VERMILION, OHIO FOR RECORDING PURPOSES ONLY ON THIS 13th DAY OF DECEMBER, 2022.

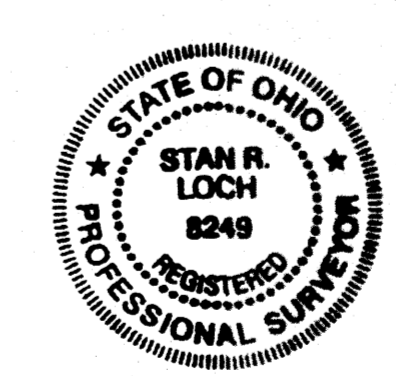
Chen Fisher
MAYOR
CHEN FISHER
CLERK OF COURTS

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT AT THE REQUEST OF THE OWNERS I HAVE SURVEYED AND PLATED "SUNNYSIDE SHORES SUBDIVISION" AS SHOWN HEREON AND CONTAINING 0.8124 ACRES OF LAND IN ORIGINAL BROWNHELM TOWNSHIP LOT NO. 4 IN THE CITY OF VERMILION, LORAIN COUNTY, OHIO, AT ALL POINTS THUSLY INDICATED - (1) IRON PIPE MONUMENTS WERE FOUND AND AT ALL POINTS THUSLY INDICATED - (2) IRON PIN MONUMENTS WERE SET. DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. BEARINGS SHOWN ARE TO AN ASSUMED MERIDIAN. THIS PLAT REPRESENTS A SURVEY WHICH THE TRAVERSE OF THE EXTERIOR BOUNDARIES MEASUREMENTS OF THE GROUND CLOSED WITHIN A LIMIT OF ERROR OF ONE (1) FOOT TO TEN THOUSAND (10,000) FEET TO THE PERIMETER BEFORE BALANCING THE SURVEY. THE SURVEY MEETS THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS AS SET FORTH IN CHAPTER 4731-37 OF THE OHIO ADMINISTRATIVE CODE. ALL OF WHICH I CERTIFY TO BE CORRECT.

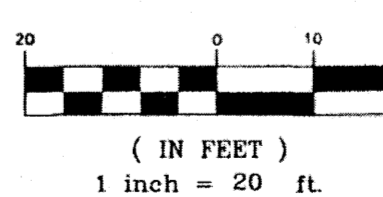
STAN LOCH
REGISTERED SURVEYOR #249

10-13-2022
DATE



TRANSFERRED
IN COMPLIANCE WITH SEC. 319-02
OHIO REV. CODE
JAN 13 2023
J. GRANG SHODGRASS, CPA, CGFM
LORAIN COUNTY AUDITOR

GRAPHIC SCALE



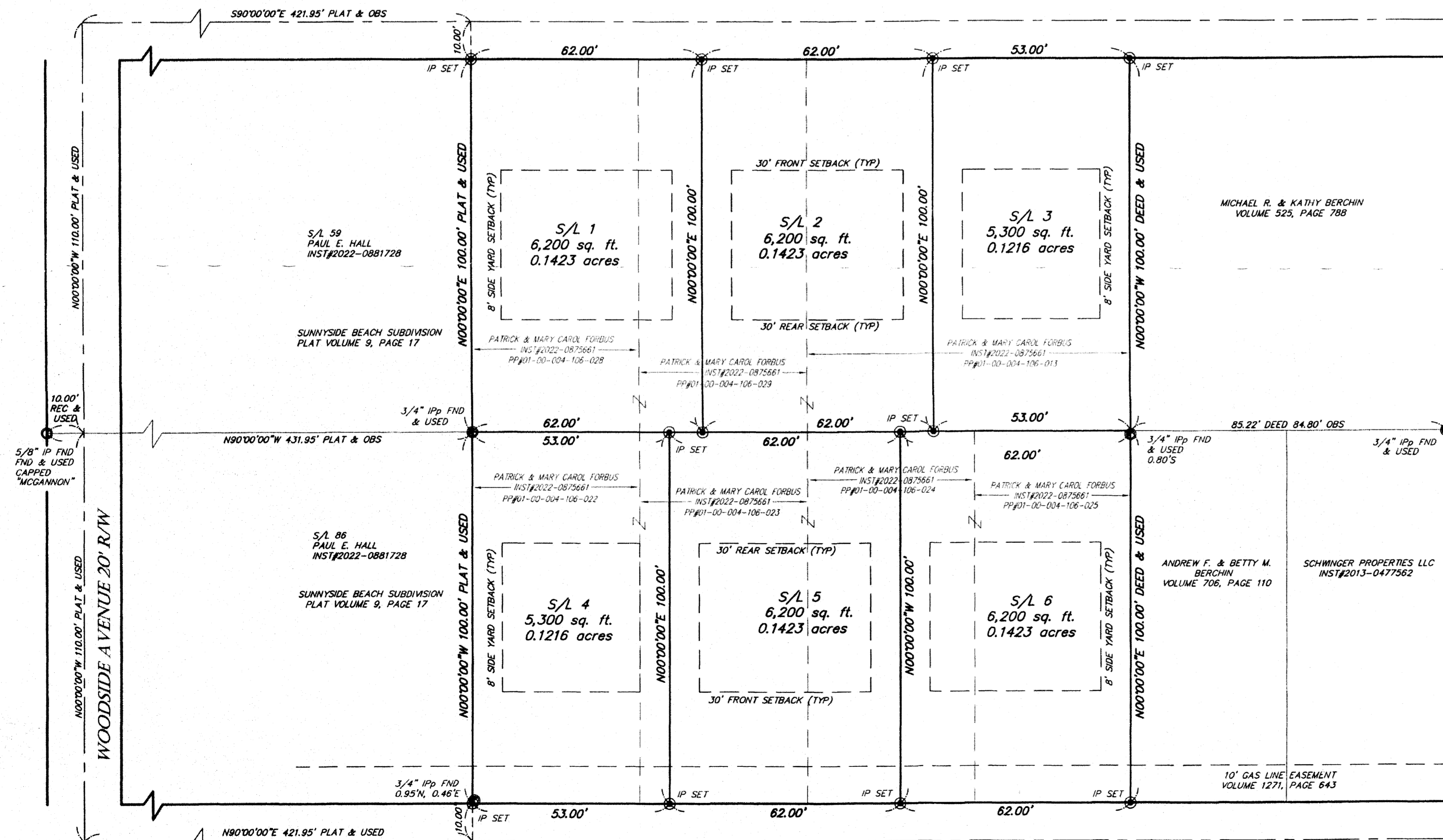
LEGEND
● = IRON PIN FND
○ = IRON PIPE FND
⊙ = IRON PIN SET
5/8" X 30" REBAR
CAPPED "AZTECH 9249"

BEARINGS ARE TO AN ASSUMED MERIDIAN AND ARE USED TO DENOTE ANGLES ONLY.

- REFERENCES:
- SUNNYSIDE BEACH SUBDIVISION PLAT VOLUME 9, PAGE 17
 - LOT SPLIT SURVEY BY EARL HUNTER, P.S. 7537 DATED: 10/13/94 SURVEY: 21068
 - LOT SPLIT SURVEY BY EARL HUNTER, P.S. 7537 DATED: 5/19/95 SURVEY: 21333
 - BOUNDARY SURVEY BY M.G. HURA, P.S. 4712 DATED: 11/9/99 SURVEY: 00321
 - BOUNDARY SURVEY DATED: 9/25/79 SURVEY: 13088
 - VERMILION SHORES CONDOMINIUMS II - PH.1 BY BRENT ANDERSON, P.S. 8538 DATED: 11/16/15 PLAT FILE #2015-0568004

SETBACKS:
FRONT SETBACK: 30'
REAR SETBACK: 30'
SIDE YARD SETBACK: MINIMUM 8', TOTAL 16'

ELYRIA DRIVE 20' R/W



LORAIN DRIVE 20' R/W

(**ADDED**)

PLAT NOTE

THIS PLAT HAS BEEN REVISED DUE TO THE FOLLOWING EASEMENTS ADDED:

- DRAINAGE EASEMENTS

- UNDERGROUND ELECTRIC & CABLE EASEMENT

(SEE PAGE 2)

5425 WARNER ROAD - SUITE 12
VALLEY VIEW, OHIO 44125
440-602-9071



ENGINEERING and SURVEYING

Civil Engineering · Land Surveying

SHEET CONTENT

RE-RECORD PLAT

SUNNYSIDE SHORES
SUBDIVISION

- ADDED DRAINAGE, ELECTRIC & CABLE EASEMENTS -

PART OF ORIGINAL
BROWNHELM TOWNSHIP
LOT NO. 4

SITUATED IN THE CITY OF VERMILION
COUNTY OF LORAIN
STATE OF OHIO

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	3/18/2024	ADDED EASEMENT - SEE PG 2	CL

HORIZ. SCALE	VERT. SCALE
1" = 20'	
DRAWN BY	DATE
CL	10/17/2022
CHECKED BY	DRAWING NO.
SRL	SURVEY
JOB NO.	SHEET
2022.3818	1 OF 4

ELECTRIC EASEMENT

KNOW ALL MEN BY THESE PRESENTS, That, Patrick & Mary Carol Forbus, with a mailing address of 3177 Elyria Drive, Vermilion, Ohio 44089, collectively and individually, hereinafter referred to as the "Grantor", claiming title by virtue of instrument recorded in Deed Instrument No. 2022-0875661 of the Lorain County Records, for and in consideration of the sum of One Dollar (\$1.00) and other valuable considerations received to its full satisfaction of OHIO EDISON COMPANY, an Ohio corporation, having its principal place of business at 76 South Main Street, Akron, Ohio, 44308, hereinafter referred to as the "Grantee", does hereby grant unto Grantee, its successors and assigns, an easement and right-of-way, together with the rights and privileges hereinafter set forth, for lines for the distribution of electric current, including communication facilities, in, under and across the following described premises:

Situated in the City of Vermilion, County of Lorain, State of Ohio, further described as Permanent Parcel Nos. 01-00-004-106-038 thru -043 ("Premises").

The easement area, which is under and across the above-described premises, is described as follows:

A strip of land being ten (10) feet wide, lying five (5) feet on each side of the centerline of electric facilities and as further shown hereto and made part hereof.

In addition to said easement and right-of-way, the following rights are hereby granted to Grantee:

- (1) To install, construct, inspect, operate, replace, repair, patrol, maintain and remove in, under and along said easement area across Premises such cables, wires, pipes, conduits, service pedestals, above-surface and sub-surface transformers, transformer pads, service hand-holes and other usual fixtures and appurtenances as may by Grantee be deemed necessary or become necessary for or in connection with the underground distribution of electric current, including communication facilities;
- (2) To enter and pass on, over and across any part of Premises when reasonably necessary for access to and from said easement area, and to use the portion of Premises that is parallel to and adjoining the boundaries of the easement area for piling dirt and for the operation of apparatus, appliances and equipment in exercising any of its rights enumerated herein;
- (3) To trim, cut, remove or control by any means at any and all times any trees, limbs, roots, underbrush or other obstructions within or near said easement area which may in the judgment of the Grantee interfere with, limit access to or endanger transformers, service pedestals, cables or their appurtenances, or their efficient operation;
- (4) To install, construct, inspect, operate, replace, repair, patrol, maintain and remove in, under and along said easement area and within the street limits cables, wires, pipes, conduits, street light standards and other usual fixtures and appurtenances as may by Grantee be deemed necessary or become necessary for or in connection with the operation of streetlights.

At Grantor's sole risk, Grantor reserves the right to use the right of way area, but only for the purpose of installing pavement and parking areas, planting grass, flowers, and ornamental shrubbery and subject to Grantee's rights enumerated herein. In the event Grantee digs up the right of way area or a portion thereof or otherwise uses the easement area for any of the purposes herein enumerated, which requires the removal of said flowers or shrubbery, Grantee shall exercise ordinary care in removing and replanting them but will not assure the continued life of the flowers or shrubbery so removed and replanted. Any repair or replacement of any pavement, parking area, grass, flowers, and/or ornamental shrubbery dug up by Grantee for any purposes herein shall be at Grantor's cost.

TO HAVE AND TO HOLD the said easement, rights and right-of-way and its appurtenances unto said Grantee, its successors, and assigns, forever; and the Grantor represents that it is the owner of the Premises shown.

IN WITNESS WHEREOF, the Grantor(s) hereunto set their hand this 30 day of March, 2024

GRANTOR: Patrick Forbus Mary Carol Forbus
 PATRICK FORBUS MARY CAROL FORBUS

STATE OF OHIO §
 COUNTY OF LORAIN

On this, the 30 day of March, 2024 before me, a Notary Public, the undersigned, personally appeared Patrick & Mary Carol Forbus, known to me (or satisfactorily proven) to be the person(s) whose name(s) is/are subscribed to the within instrument, and acknowledged that he/she/they executed the same for the purposes therein contained.

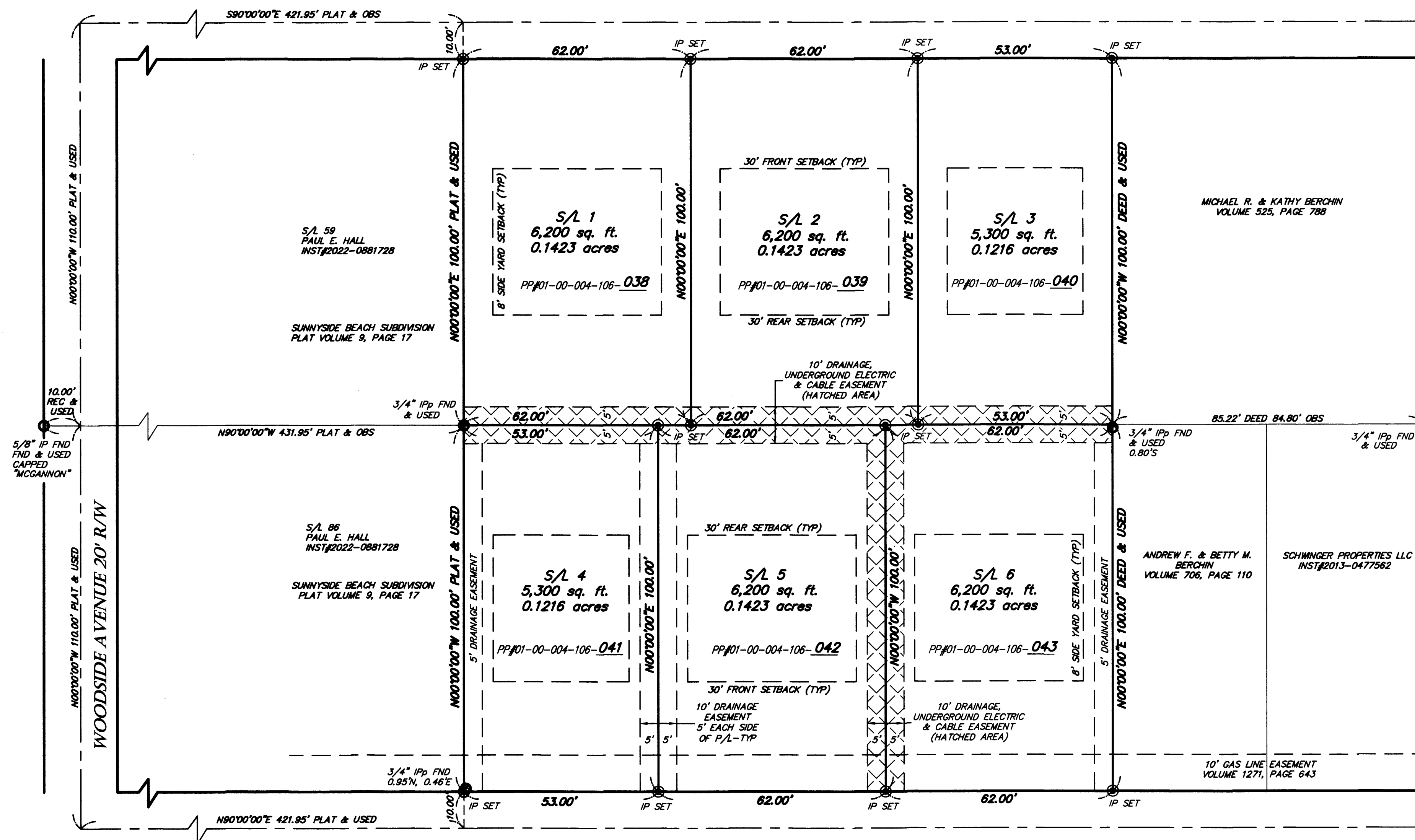
IN WITNESS WHEREOF, I hereunto set my hand and official seal.

SEAL: Jeremy Leibolt
 Notary Public
 My Commission Expires: 5/29/24



JEREMY LEIBOLT
 Notary Public, State of Ohio
 My Comm. Expires 05/29/2024
 Recorded in Lorain County

ELYRIA DRIVE 20' R/W



LORAIN DRIVE 20' R/W

(ADDED**)**

****PLAT NOTE****

THIS PLAT HAS BEEN REVISED DUE TO THE FOLLOWING EASEMENTS ADDED:

DRAINAGE EASEMENTS
 UNDERGROUND ELECTRIC & CABLE EASEMENT.

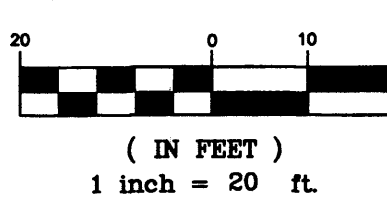
DRAINAGE EASEMENT

EXISTING SOILS ARE NOT CONDUCTIVE TO SURFACE DRAINAGE AND MUST BE DIRECTED IN SWALES WITHIN DRAINAGE EASEMENTS AS SHOWN HEREON 10' WIDE, 5' ON EITHER SIDE ALONG PROPERTY LINES AS INDICATED TO MAINTAIN POSITIVE DRAINAGE. BLOCKING OF SUCH DRAINAGE IS PROHIBITED.

NO TRANSFER NECESSARY
J. CRAIG SNODGRASS, CPA, CGFM
LORAIN COUNTY AUDITOR

3/20/2024
 DEPUTY

GRAPHIC SCALE



LEGEND

- = IRON PIN FND
- = IRON PIPE FND
- ⊙ = IRON PIN SET
- 5/8"x30" REBAR CAPPED "AZTECH 8249"

- REFERENCES:**
1. SUNNYSIDE SHORES SUBDIVISION PLAT VOLUME 113, PAGE 15
 2. SUNNYSIDE BEACH SUBDIVISION PLAT VOLUME 9, PAGE 17
 3. LOT SPLIT SURVEY BY EARL HUNTER, P.S. 7537 DATED: 10/13/94 SURVEY: 21068
 4. BOUNDARY SURVEY BY M.G. HURA, P.S. 4712 DATED: 11/28/99 SURVEY: 00321
 5. BOUNDARY SURVEY BY M.G. HURA, P.S. 4712 DATED: 9/25/79 SURVEY: 13098
 6. LOT SPLIT SURVEY BY EARL HUNTER, P.S. 7537 DATED: 5/19/95 SURVEY: 21333
 7. VERMILION SHORES CONDOMINIUMS II - PH.1 BY BRENT ANDERSON, P.S. 8538 DATED: 11/16/15 PLAT FILE #2015-0568004

SETBACKS:
 FRONT SETBACK: 30'
 REAR SETBACK: 30'
 SIDE YARD SETBACK: MINIMUM 8', TOTAL 16'

5425 WARNER ROAD - SUITE 12
 VALLEY VIEW, OHIO 44125
 440-602-9071



ENGINEERING and SURVEYING
 Civil Engineering · Land Surveying

SHEET CONTENT

RE-RECORDED PLAT
SUNNYSIDE SHORES
SUBDIVISION

- ADDED DRAINAGE,
 ELECTRIC &
 CABLE EASEMENTS -

PART OF ORIGINAL
 BROWNHELM TOWNSHIP
 LOT NO. 4

SITUATED IN THE
 CITY OF VERMILION
 COUNTY OF LORAIN
 STATE OF OHIO

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	3/18/2024	ADDED EASEMENTS - SEE PG 2	CL

HORIZ. SCALE	VERT. SCALE
1" = 20'	1" = 20'
DRAWN BY	DATE
CL	10/17/2022
CHECKED BY	DRAWING NO.
SRL	SURVEY
JOB NO.	SHEET
20223818	2 OF 2

Being re-recorded
Adding easements to plat

Plat Sheet

Instrument # 2023-0903411 Film # _____

Name of Plat: Sunnyside Shores Subdivision

Owner: Patrick & Mary Carol Forbus

Description: Situated in the city of Vermilion, county of
Lorain, state of Ohio. Being part of original
Breschelm Township Lot No. 4.

Creating sublots 1-6
See Plat for acreage
breakdown.

Floor Plans: _____

Related/Margin: _____

Comments: _____

Vol. 113

Receiving Stamp

Pg. 15

PATRICK FORBUS
503 WINE ST
VERMILION, OH 44089

Amount: \$86.40

Initials: PKR

STATE OF OHIO (SR: MIKE DORAN, COUNTY RECORDER OF LORAIN), IN WHOSE CUSTODY THE RECORDS
OF SAID COUNTY ARE KEPT, SO HEREBY CERTIFIES THAT THIS IS A TRUE AND CORRECT COPY OF THE
RECORD AS IT APPEARS IN

VOLUME P.113 PAGE 15 OF INC OF SAID COUNTY Lorain

IN TESTIMONY WHEREOF, I HAVE HERETO SUBSCRIBED MY NAME AND APPLIED MY OFFICIAL

SEAL IN THE CITY OF ELYSIA, OHIO THIS 15th DAY OF March, 2024

MIKE DORAN, LORAIN COUNTY RECORDER

BY DEPUTY RECORDER [Signature]

Plat Sheet

Instrument # 2024-0007425 Film # _____

Name of Plat: Sunnyside Sheres Subdivision

Owner: Patrick and Mary Carol Forbes

Description: Situated in the City of Vermilion
County of Lorain State of Ohio being part
of original Brownhelm Township lot No. 4
Creating Sublots 1-6
See plat for Acreage
Breakdown

Floor Plans: _____

Related/Margin: 2023-0903411 Record

Comments: _____

Vol. 115

Receiving Stamp

Pg. 58, 59

Amount: 176.80

Initials: JH