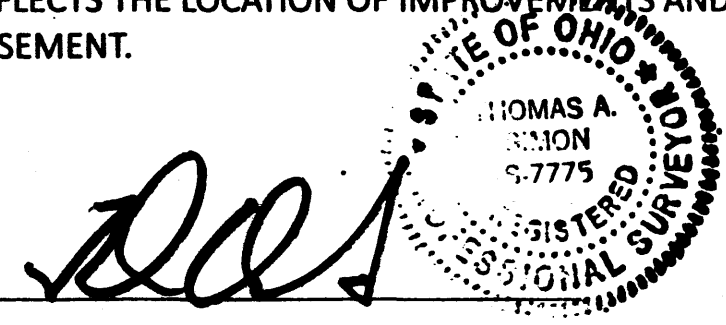


VICINITY MAP
N.T.S.

CERTIFICATION

THIS IS TO CERTIFY THAT THIS DRAWING ACCURATELY REFLECTS THE LOCATION OF IMPROVEMENTS AND RECORDED EASEMENT.



THOMAS A. SIMON, REGISTERED
PROFESSIONAL SURVEYOR NO. S-7775

U.S. GRANT STREET (60')

15-00-035-000-057
TCG REAL ESTATE COMPANY LLC
DOC. #20180689058
9/26/18

BLOCK "B"
PLAT VOL. 54 PG. 26

I. PIN
SET

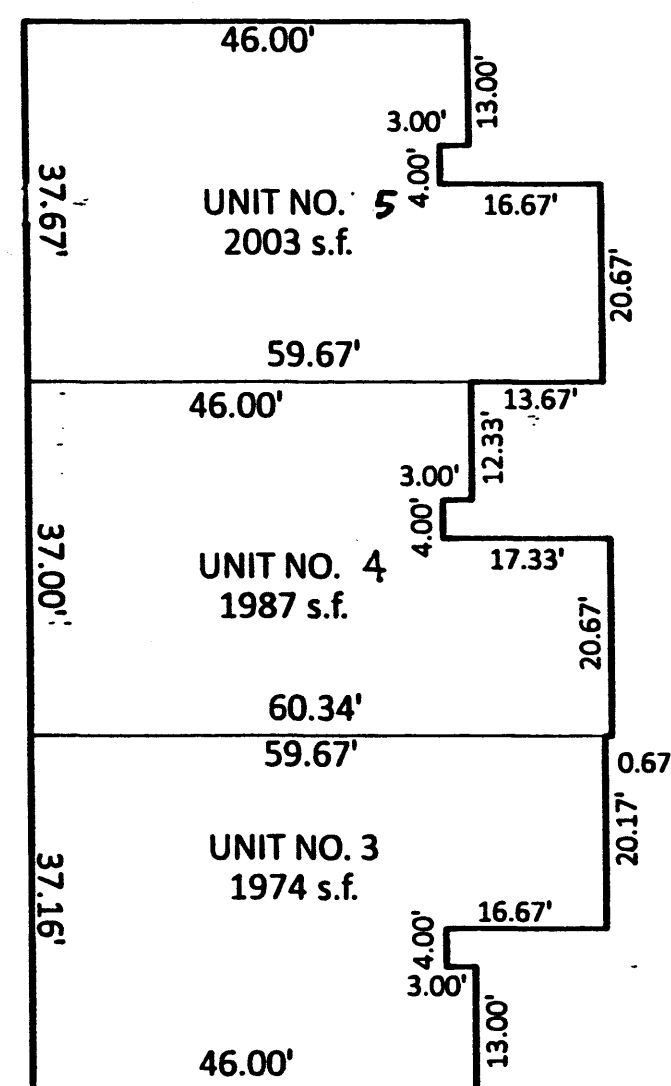
15-00-035-000-101
C.W. SMITH
DOC. #20070212771
7/10/07

10' UTILITY
EASEMENT
PLAT VOL. 54 PG. 26

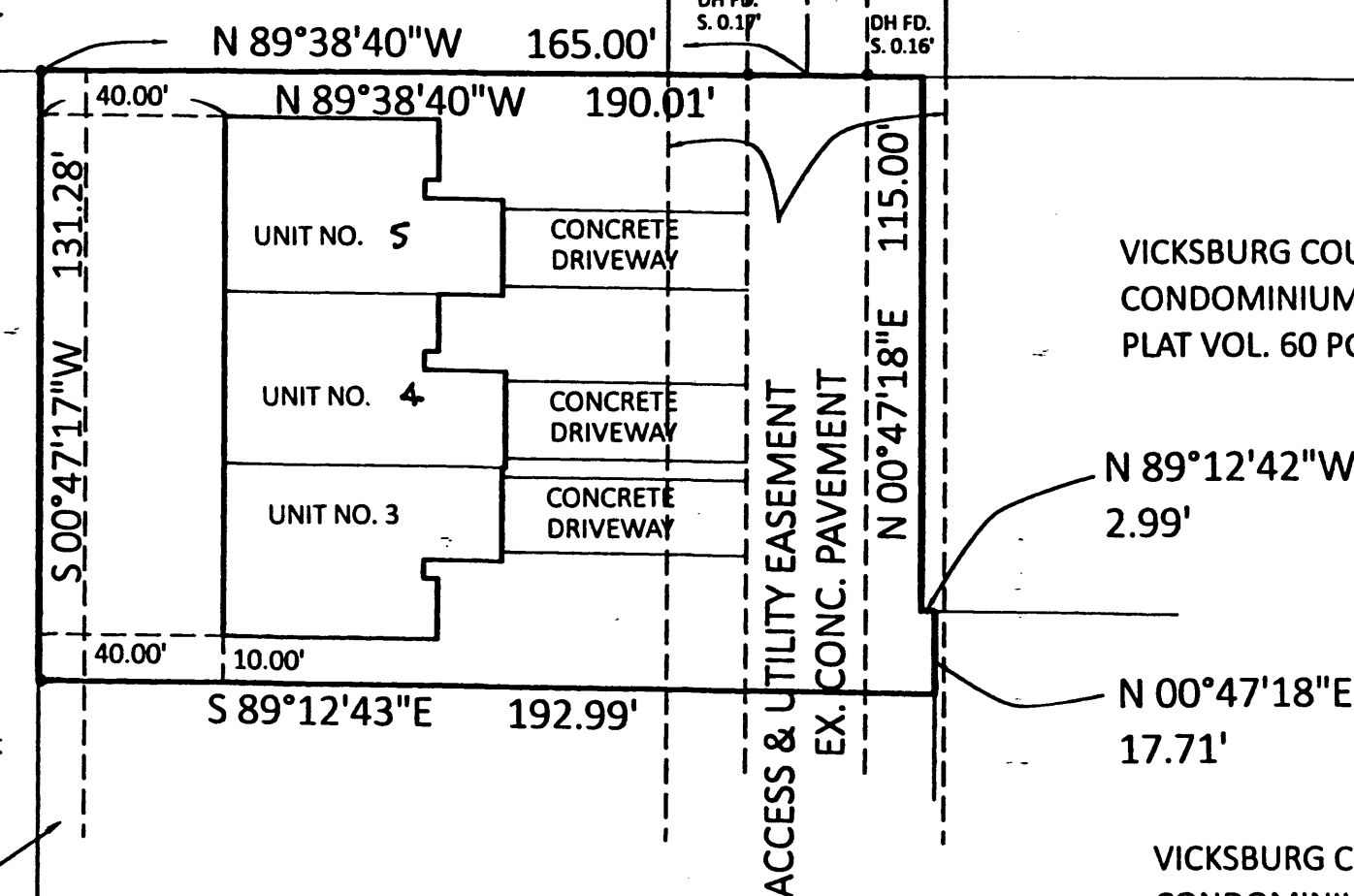
VICKSBURG COURT WEST
CONDOMINIUMS PH. 1
PLAT VOL. 114 PG. 1

VICKSBURG COURT
CONDOMINIUMS PH. 1
PLAT VOL. 60 PG. 64

VICKSBURG COURT
CONDOMINIUMS PH. 2
PLAT VOL. 61 PG. 20



BUILDING DETAIL
1" = 20'



2024-0005180
PLAT Fee: \$1,127.20 Page 1 of 14
Recorded: 2/27/2024 at 02:45 PM
Receipt: T20240003729
Lorain County Recorder Mike Dorman



Plat Volume 115
Pages 34, 35, 36, 37, 38,
39, 40, 41, 42, 43, 44,
45, and 46

TRANSFERRED
IN COMPLIANCE WITH SEC. 315-202
OHIO REV. CODE
FEB 27 2024
J. CRAIG SNODGRASS, CPA, CGFM
LORAIN COUNTY AUDITOR

VICKSBURG COURT WEST
CONDOMINIUMS PHASE 2
BEING KNOWN AS PART OF
ORIGINAL LAGRANGE TOWNSHIP LOT NO. 35
VILLAGE OF LAGRANGE COUNTY OF LORAIN
STATE OF OHIO
JANUARY, 2024 SCALE: 1" = 40'

THOMAS SIMON & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
150 SOUTH OLIVE STREET
ELYRIA, OHIO 44035
(440) 327-2925
TASIMON@WINDSTREAM.NET

TRIPLEX at VICKSBURG COURT

Vicksburg Subdivision

LaGrange, Ohio

ARCHITECTS C.A. McGETTRICK, LLC

14551 Madison Ave.
Lakewood, Ohio 44107
216-227-0700

GENERAL NOTES

THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REUSE OR REPRODUCTION OF THE DOCUMENTS IN WHOLE OR IN PART, FOR ANY OTHER PURPOSE IS PROHIBITED.

VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.

SYMBOLS AND ABBREVIATIONS USED ON THESE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING ABBREVIATIONS OR SYMBOLS AS TO THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED AT ONCE FOR CLARIFICATION.

SMOKE DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED / BATTERY BACKUP. SMOKE ALARMS UTILIZING PHOTOELECTRIC AND IONIZATION TECHNOLOGIES SHALL BE INSTALLED. SMOKE ALARMS LOCATED IN ACCORDANCE WITH RC0 314.5 SHALL INCLUDE PHOTOELECTRIC TECH.

ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ALL SIDES BY 5/8" GYPSUM BOARD.

ALL HANDRAILS SHALL BE MOUNTED BETWEEN 34" MINIMUM & 38" MAXIMUM, MEASURED FROM THE NOSING OF THE TREAD.

BALCONY RAILINGS SHALL FORM A GUARD NOT LESS THAN 36" IN HEIGHT WHEN MORE THAN 30" ABOVE FLOOR OR GRADE BELOW.

ALL BALUSTERS SHALL BE SPACED TO PROHIBIT A SPHERE 4" IN DIAMETER FROM PASSING THROUGH IT.

ACCESS TO THE ATTIC AREAS IN COMPLIANCE WITH RC0 SECTION B07.1 IS REQUIRED. THE ACCESS PANELS OR DOORS SHALL BE IN READILY ACCESSIBLE LOCATIONS.

A GEOTECHNICAL ENGINEER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR HOMEOWNER. NOTIFY THE ARCHITECT OF UNUSUAL SOIL CONDITIONS.

SOIL BEARING PRESSURE IS ASSUMED TO BE 2000 PSF. CONTRACTOR SHALL VERIFY IN FIELD.

CONCRETE DESIGN FOR FOOTING SHALL BE MIN. F - 2000 PSI

CONCRETE DESIGN FOR FLOOR SLABS SHALL BE MIN. F - 3000 PSI

CONTRACTOR SHALL USE NO LESS THAN TYPE "M" OR "S" MORTAR IN CRACK SPACE BLOCK WALLS

ALL STEEL BEAMS, PLATES, AND COLUMNS SHALL BE ASTM A 36 STEEL.

ALL FLOOR JOISTS, CEILING JOISTS AND ROOF RAFTERS ARE DESIGNED TO BE MIN. F - 2000 PSI

ARCHITECTS C.A. McGETTRICK, LLC DOES NOT PROVIDE ANY CONSTRUCTION SUPERVISION. CONTRACTOR AND / OR OWNER IS RESPONSIBLE TO VERIFY THAT ALL STRUCTURE MATCHES THE PLANS AS DRAWN AND DESIGNED.

ARCHITECTS C.A. McGETTRICK, LLC IS NOT RESPONSIBLE FOR STRUCTURAL OR NON STRUCTURAL ISSUES RELATED TO SOIL CONDITIONS. ANY CHANGES AFTER ISSUANCE OF FINAL CONSTRUCTION SETS WILL BE CONSIDERED CHANGES TO THE DRAWINGS AND INVOICED.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO FIELD VERIFY ALL AS BUILT DIMENSIONS OF FOUNDATION AND FRAMING PRIOR TO ORDERING TRUSSES. ARCHITECTS C.A. McGETTRICK, LLC ASSUMES NO RESPONSIBILITY FOR TRUSSES ORDERED SOLELY FROM THIS SET OF CONSTRUCTION DOCUMENTS.

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES.

ALL ENGINEERED FLOOR SYSTEMS SHALL BE DESIGNED BY THE MANUFACTURER.

ADJUST ALL OVERHAUNGS OF DIFFERENT PITCHES TO MAINTAIN CONSTANT LEVEL.

ALL JOISTS, BEAMS AND GIRDERS SHALL BEAR A MINIMUM OF 1/2" ON WOOD OR METAL, AND 3" ON MASONRY.

ALL FRAMING LUMBER SHALL BE SPF OR DOUGLAS FIR LARCH #2 WITH A MINIMUM MODULUS OF ELASTICITY OF 1,700,000. ANY MICROLAM (LVL) NOTED ON THESE DRAWINGS MUST MEET THE FOLLOWING DESIGN CRITERIA:
MOE.....2,000,000 PSI FB.....2,900 PSI

WINDOWS:
BASED ON PELLA 250 SERIES VINYL IN ADVANCED LOWE 5/8" INSULATED GLASS, INCLUDE 3/4" CONTOUR BETWEEN THE GLASS TRADITIONAL GRILLES. COLOR: WHITE OR APPROX. EQUAL.

DOOR HARDWARE TO BE SELECTED BY CONTRACTOR AND/OR OWNER.

KITCHEN EQUIPMENT WILL BE ENERGY STAR RATED.

PLUMBING FIXTURES WILL BE FURNISHED CONTRACTOR AND/OR OWNER.

MECHANICAL CONTRACTOR TO PROVIDE BUILDING DEPARTMENT WITH HEAT LOSS CALCULATIONS PRIOR TO COMMENCEMENT OF THE WORK.

ELECTRICAL CONTRACTOR TO PROVIDE BUILDING DEPARTMENT WITH SIZING OF ELECTRICAL SERVICE (MIN. 50 AMP INCREASE) AND PANEL DIAGRAM PRIOR TO COMMENCEMENT OF THE WORK.

ELECTRICAL CONTRACTOR (EC) SHALL PROVIDE 120V / 240V 3-WIRE SINGLE PHASE SERVICE WITH THE FOLLOWING CONDUCTOR BASED ON TABLE B NATIONAL ELECTRICAL CODE (NEC). PROVIDE 400AMP SERVICE PER RISER DIAGRAM PROVIDED COPPER 2 / 0 AWG (COPPER).

ELECTRICAL CONTRACTOR SHALL ROUND UP TO THE ALL ELECTRODES TO FORM A GROUNDING SYSTEM. CONDUCTOR SIZES SHOULD BE AS SHOWN IN NEC 250.66 ELECTRICAL GROUNDING CAN INCLUDE FOLLOWING: (1) METAL UNDERGROUND WATERLINE IN CONTACT WITH EARTH FOR A MIN. 10'-0"; (2) CONCRETE ELECTRODES; (3) ROD, PIPE AND PLATE ELECTRODES IN ACCORDANCE WITH NEC 250.53.

ALL GENERAL LIGHTING AND RECEPTACLE OUTLETS BRANCH CIRCUITS SHALL BE 15AMP OVERLOAD PROTECTED CIRCUITS INSTALLED WITH 16GA COPPER CONDUCTORS. ALL GENERAL BRANCH CIRCUITS TO BEDROOMS SHALL BE PROTECTED WITH ARC-FALLT CIRCUIT INTERRUPTER DEVICE NEC 210.12.

RECEPTACLES BE SPACED NO MORE THAN 12'-0" APART OR 6'-0" FROM AND INSIDE CORNER SEE NEC 210.52. A RECEPTACLE MUST BE INSTALLED ON EACH WALL SPACE GREATER THAN 2'-0" SEE NEC 210.52.

REFRIGERATORS, MICROWAVE OVENS, DISHWASHERS AND ANY OTHER MAJOR APPLIANCE SHALL HAVE A DEDICATED BRANCH CIRCUIT OF AMPERAGE IN ACCORDANCE WITH APPLIANCE REQD SERVICE.

OVEN, COOK TOPS, RANGES AND CLOTHES DRYER SHALL HAVE A 240V OUTLET WITH AMPERAGE AS REQD FOR APPLIANCE.

KITCHEN SMALL APPLIANCE CIRCUITS TO BE A MIN. OF TWO (2) 20AMP 120V CIRCUITS. CIRCUITS WITHIN 6FT OF A SINK OR WATER SOURCES SHALL BE PROTECTED BY A GROUND-FALLT CIRCUIT INTERRUPTER (GFCI) NEC 210.8.

ALL EXTERIOR OUTLETS, GARAGE OUTLETS, AND ANY OUTLET IN A WET OR EXTERIOR LOCATION SHALL BE PROTECTED BY A GFCI BRANCH CIRCUIT SEE NEC 210.8.

PLUMBING CONTRACTOR TO PROVIDE BUILDING DEPARTMENT WITH PLUMBING ISOMETRIC DIAGRAM PRIOR TO COMMENCEMENT OF THE WORK.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO RETAIN THE SERVICES OF A REGISTERED SURVEYOR OR ENGINEER TO COMPLETE AN ACCURATE SITE AND GRADING PLAN PRIOR TO THE COMPLETION OF THE DESIGN PHASE.

ALL WINDOWS SHALL BE FLASHED AND SEALED OVER WALLING FLANGES WITH WINDOW FLASHING TAPE.

CONTRACTOR AND / OR OWNER SHALL NOTIFY THE ARCHITECT OF ANY FIELD CHANGES MADE TO THE PLANS OR BUILDING DURING CONSTRUCTION. FIELD CHANGES MADE TO THE BUILDING WITHOUT THE CONSULTATION AND/OR APPROVAL OF THE ARCHITECT WILL BE THE SOLE RESPONSIBILITY OF CONTRACTOR AND OWNER.

DRAWING INDEX

- 1 OF 13 SURVEY
- 2 OF 13 TITLE SHEET / GENERAL NOTES / VICINITY MAP
- 3 OF 13 LANDSCAPE PLAN
- 4 OF 13 FOUNDATION PLAN
- 5 OF 13 FIRST FLOOR PLAN / INTERIOR ELEVATIONS
- 6 OF 13 SECOND FLOOR PLAN / SCHEDULE
- 7 OF 13 EXTERIOR ELEVATIONS / SCHEDULE
- 8 OF 13 EXTERIOR ELEVATIONS
- 9 OF 13 FIRST FLOOR FRAMING PLAN / DETAILS
- 10 OF 13 SECOND FLOOR FRAMING PLAN
- 11 OF 13 SECTIONS AND DETAILS
- 12 OF 13 FIRST FLOOR POWER / LIGHTING PLAN
- 13 OF 13 SECOND FLOOR POWER / LIGHTING PLAN

SITE DATA

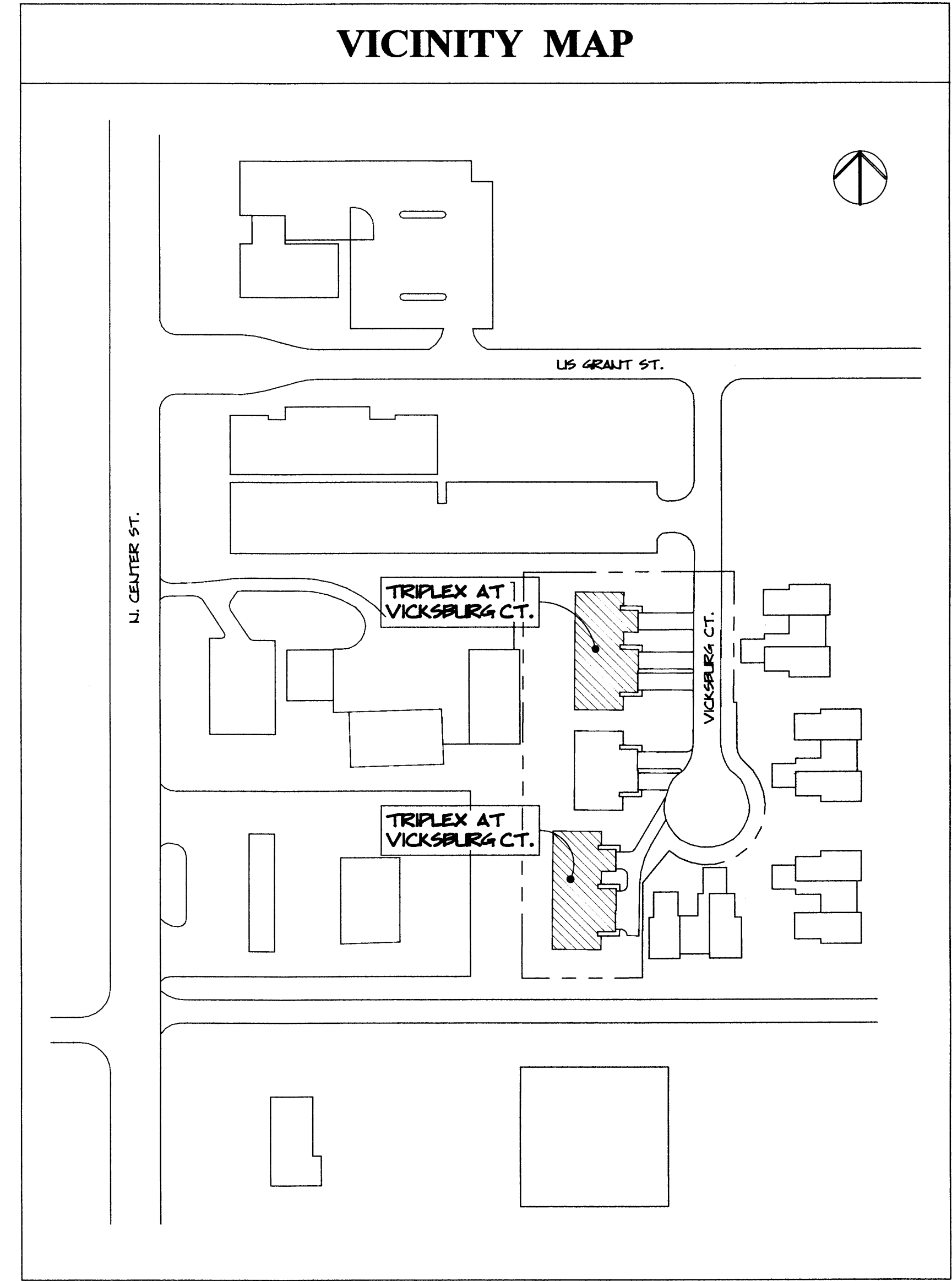
ZONED : R-4 MULTIPLE FAMILY GROUP
 P.P.N. : 15-00-035-000-II
 AREA OF SITE : 1.4761 ACRES (64,299 SQFT.)

ALLOWABLE LOT COVERAGE : 30% OF 64,299 SQFT. = 19,290 SQFT.

LOT COVERAGE : 15,879 SQFT.

OFF STREET PARKING : 2 PER UNIT 8 UNITS = 16 TOTAL COVERED SPACES PROVIDED

VICINITY MAP



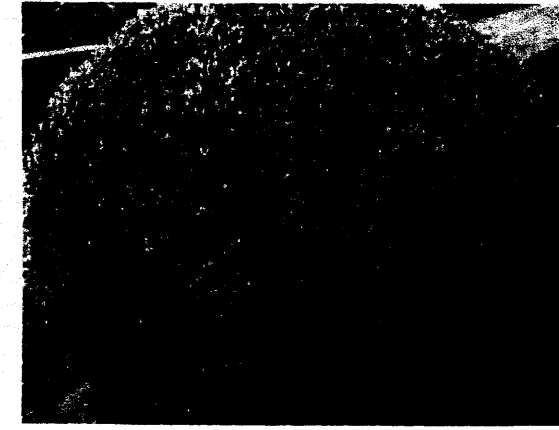
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 Village of LaGrange
 ARCHITECTS, C.A. McGETTRICK, LLC
 14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

DATE: 9/25/23
 REVISION: 2/23/24

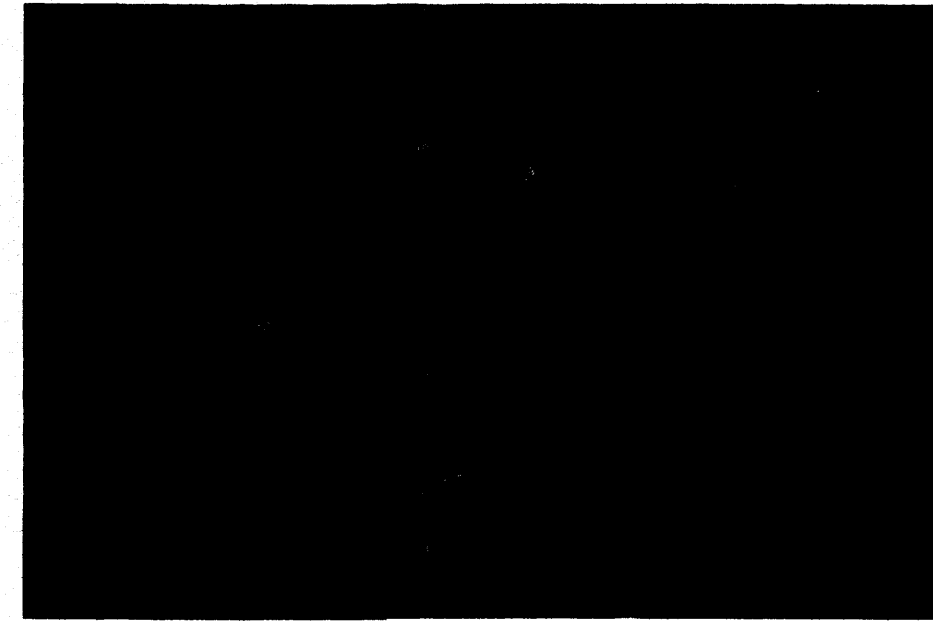
COMMISSION NO:
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 CHARLES McGETTRICK, JR. #77595
 EXPIRATION DATE: 12/31/2025



ELIONYMUS ALTA COMPACTA
"DWARF BURJINI BUSH"



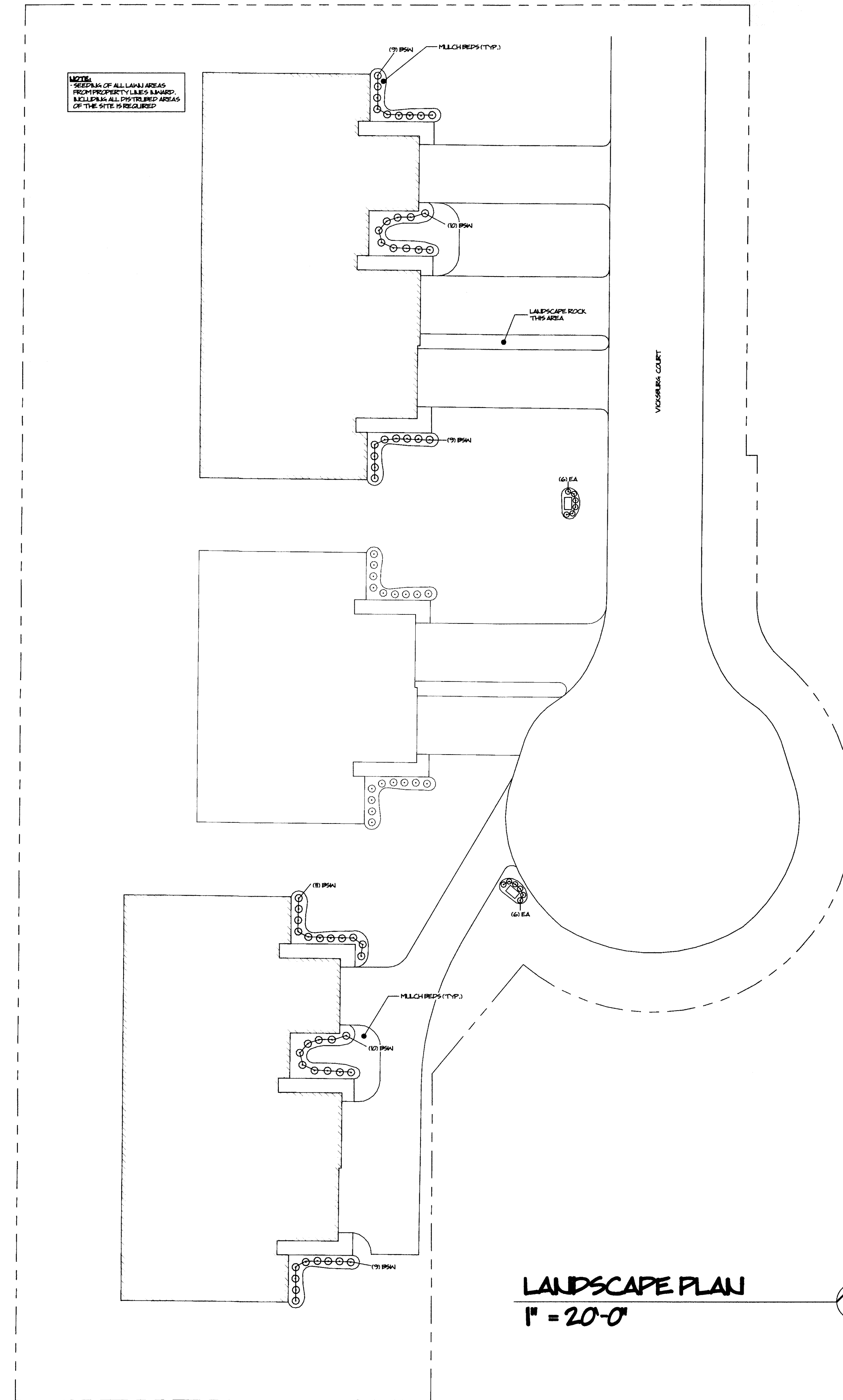
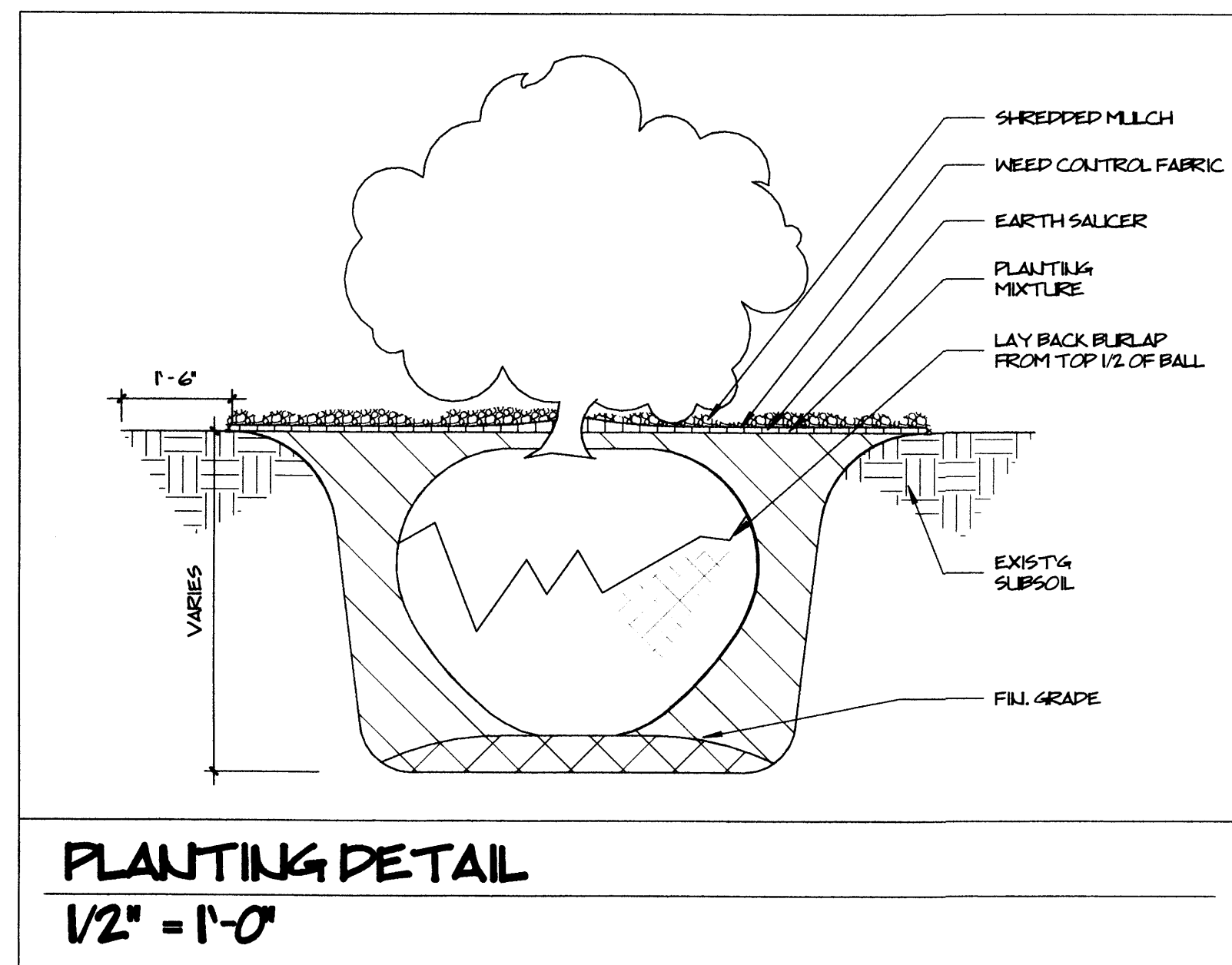
BUXUS SINICA VAR INSULARIS
"WINTERGREEN BOXWOOD"



LANDSCAPE ROCK

PLANT MATERIALS LIST				
APPROV.	QUANTITY	POTANICAL NAME	SIZE	CONDITION
-	-	-	-	-
EA	12	ELIONYMUS ALTA COMPACTA "DWARF BURJINI BUSH"	18" HT.	B&P
PSW	76	BUXUS SINICA VAR INSULARIS "WINTERGREEN BOXWOOD"	3" HT.	B&P
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-

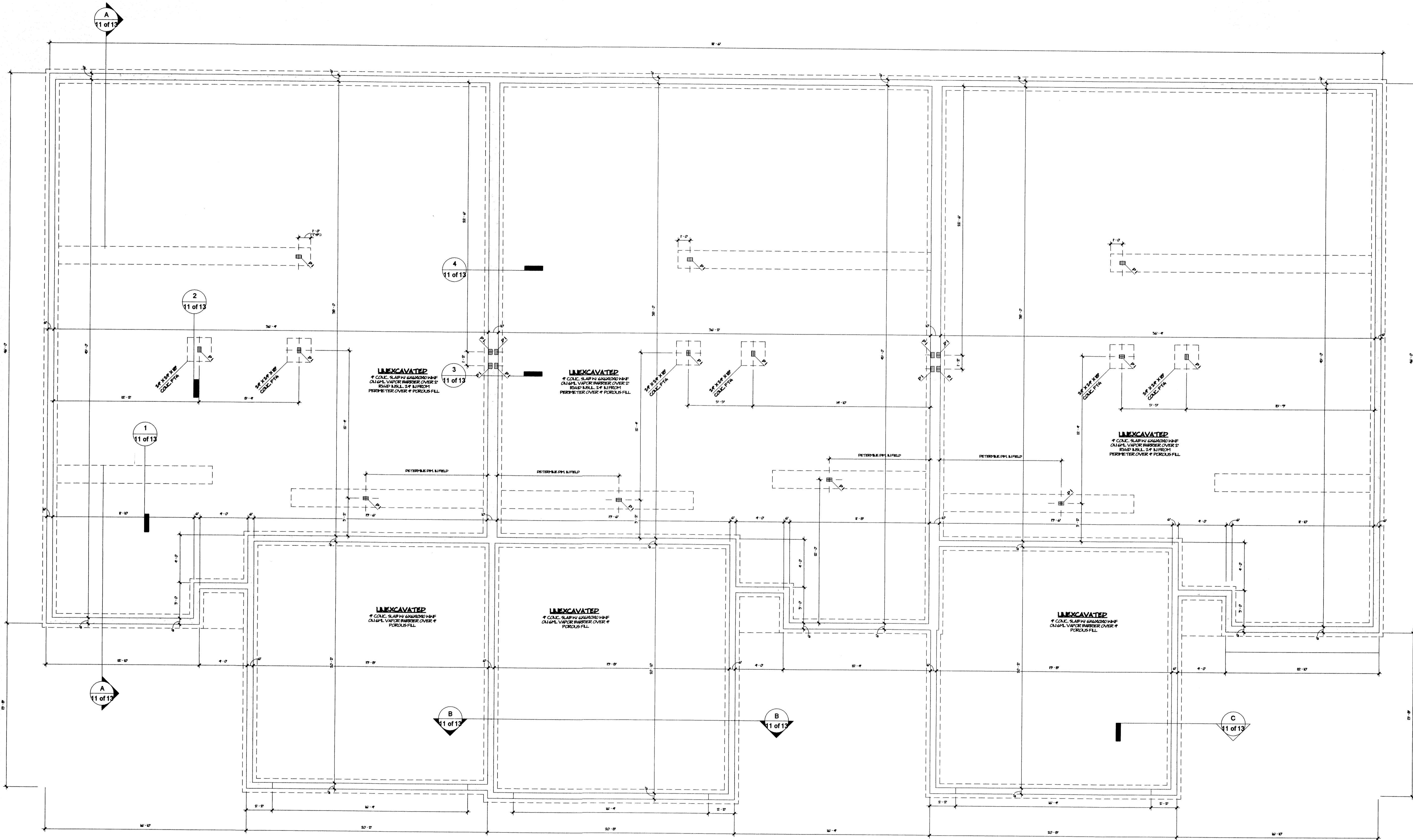
NOTES:
 - CONTRACTORS TO VERIFY CONDITIONS IN THE FIELD AND NOTIFY ARCHITECT OF DISCREPANCIES
 - REMOVAL OF DEBRIS AND DEAD VEGETATION IS A CONDITION OF THIS CONTRACT
 - LANDSCAPING CONTRACTOR IS REQUIRED TO AMEND EXISTING SOIL AND GIVE PART HUMUS FOR BACKFILLING OF PLANTING BEDS
 - MULCH ALL SHRUB PLANTINGS WITH 3" SHREPPED HARDWOOD BARK MULCH AND GROUND COVER BEDS WITH 1" MULCH



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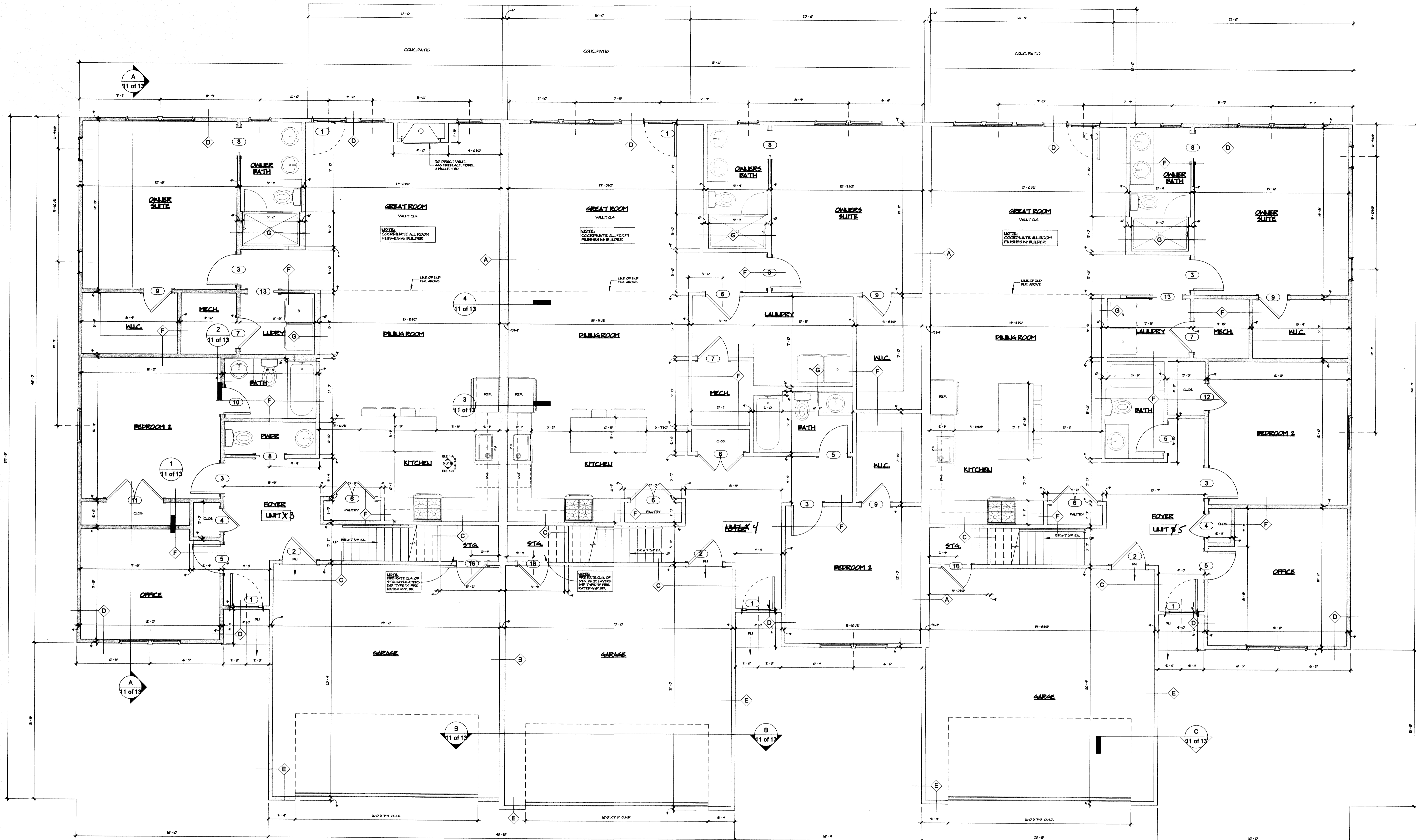


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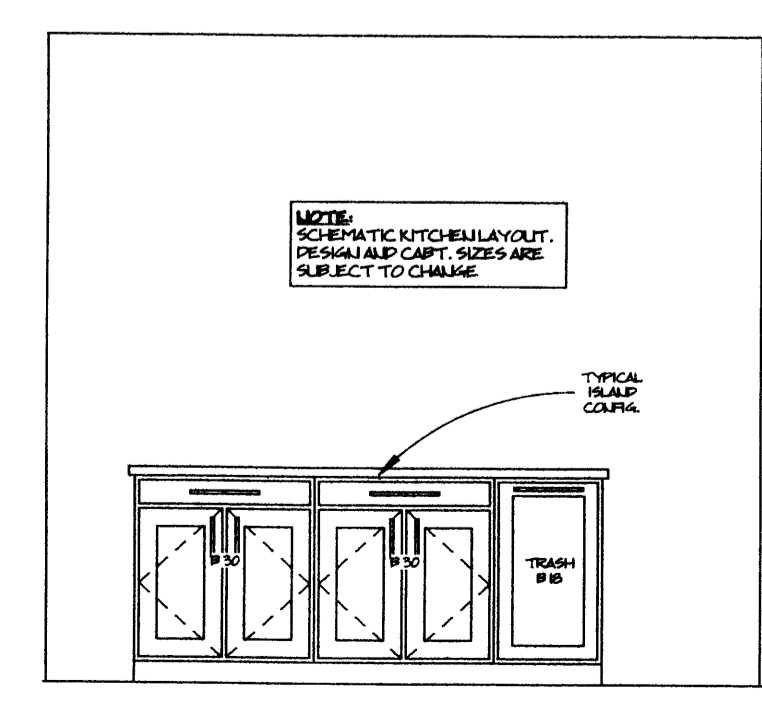
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FOUNDATION PLAN
1/4" = 1'-0"

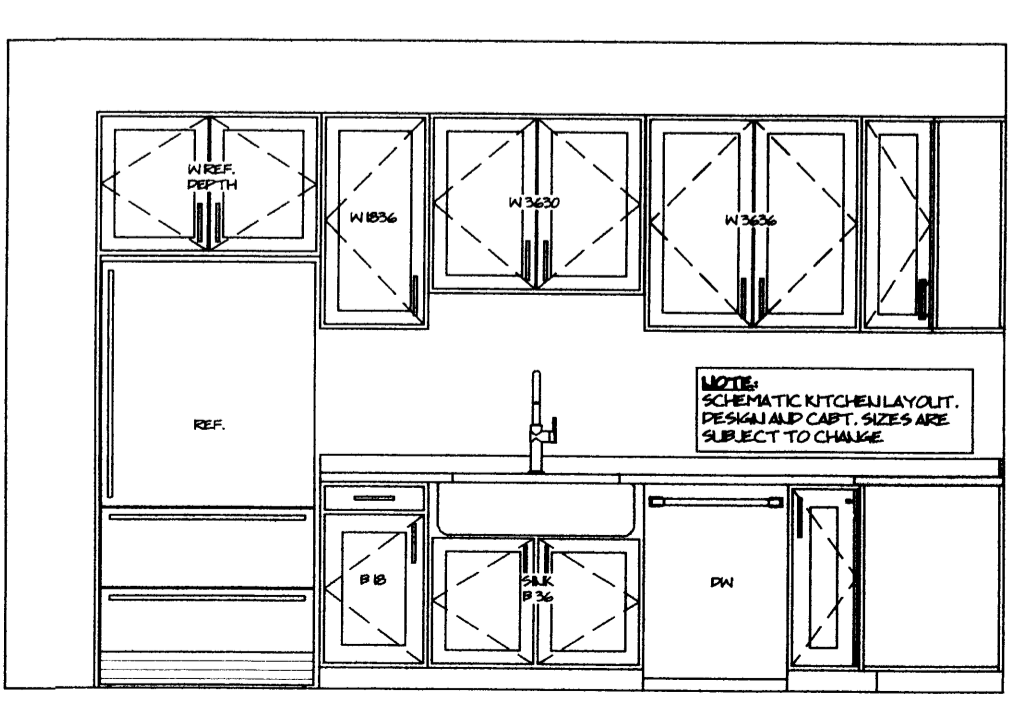


FIRST FLOOR PLAN
1/4" = 1'-0"

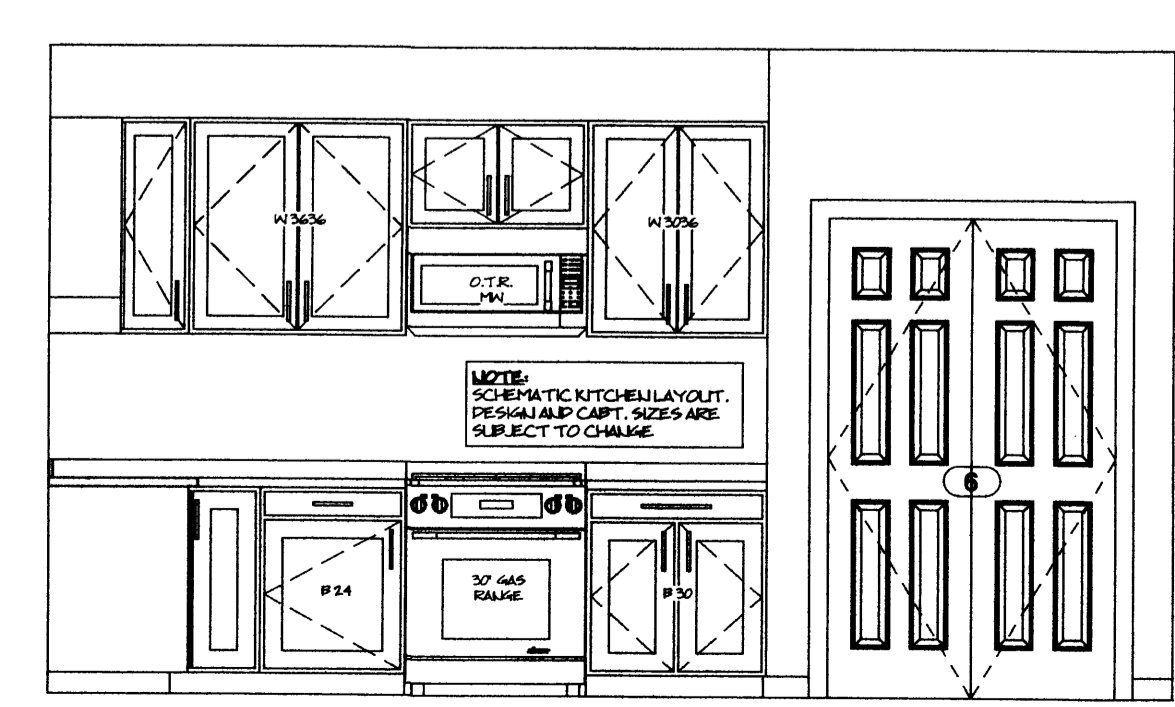


ELE. 1-A
3/8" = 1'-0"

1ST FLR.
0' - 6"



ELE. 1-B
3/8" = 1'-0"



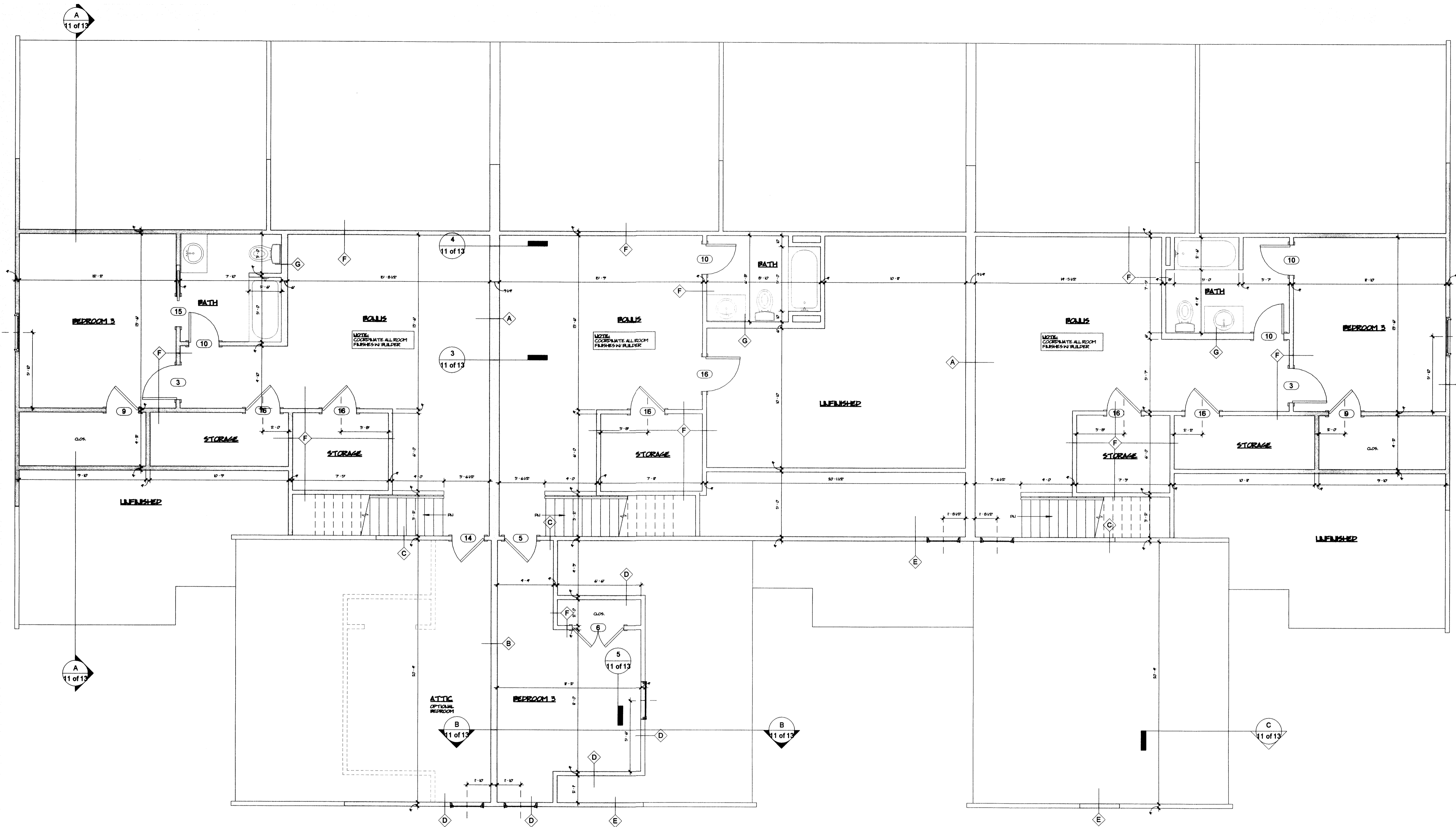
ELE. 1-C
3/8" = 1'-0"

WALL TYPES		LL
(A)	(2) LAYERS OF 1/2" SHEETROCK W/ 2x4 ND STILES # W/O.C. EA. SIDE W/ 1/2" SHEETROCK AT ROOM SIDE OF STILES. PACK STILE CAVITIES W/ 1" MINERAL WOOL BATT. (2 HR RATING)	LL-1036
(B)	(2) LAYERS OF 5/8" TYPE 'X' FIRE RATED GYP. BR. EACH SIDE OF 2x4 ND STILES # W/O.C. PACK STILE CAVITIES W/ MINERAL WOOL BATT. (2 HR RATING)	LL-1036
(C)	5/8" TYPE 'X' FIRE RATED GYP. BR. EACH SIDE OF 2x4 ND STILES # W/O.C. PACK STILE CAVITIES W/ MINERAL WOOL BATT. (1 HR RATING)	LL-1036
(D)	TYPICAL EXTERIOR WALL 2x4 ND STILES # W/O.C. / WALL ASSEMBLY TO BE PER IBC - (SEE SECTIONS AND C.A. SH. A & B)	
(E)	TYPICAL EXTERIOR GARAGE WALL 2x4 ND STILES # W/O.C. (SEE SECTION AND C.A. SH. A & B)	
(F)	TYPICAL INTERIOR WALL 2x4 ND STILES # W/O.C.	
(G)	TYPICAL INTERIOR WALL 2x4 ND STILES # W/O.C.	

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 22204
 CHARLES McGETTRICK JR. #7796
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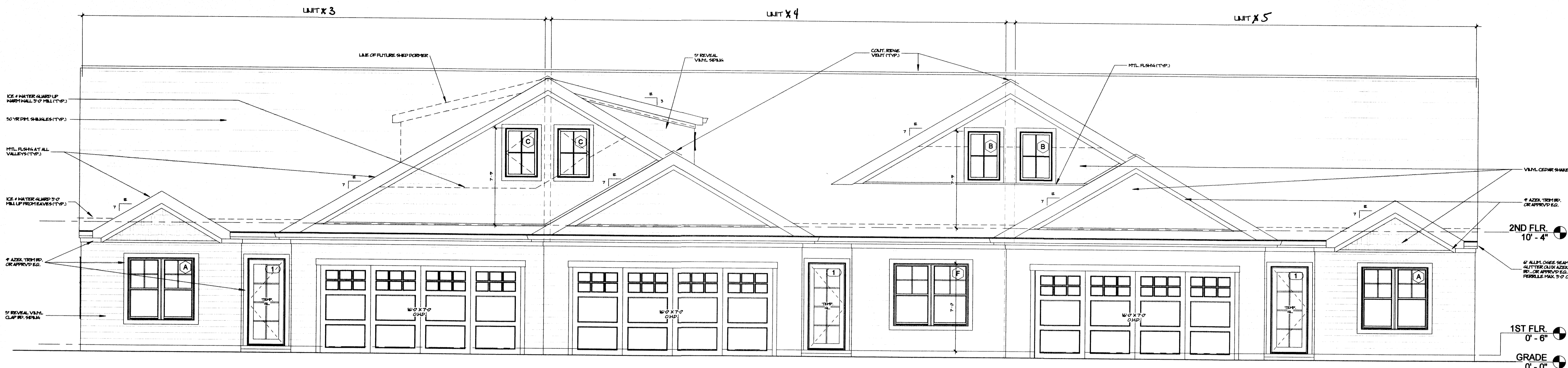
SECOND FLOOR PLAN
 1/4" = 1'-0"

DOOR SCHEDULE				
DOOR #	DOOR SIZE	LITE	HARDWARE	REMARKS
1	36" X 80"	B	PRIVACY LOCKSET IN LEVER HANDLE, DEAD ROLT. CLOSER	EXTERIOR: 5/8" LOW E TEMP GLASS
2	36" X 80"	-	PRIVACY LOCKSET IN LEVER HANDLE (INT. LOCKING) CLOSER	1/2" MIL FIRE RATED POOR
3	32" X 80"	-	PRIVACY LOCKSET IN LEVER HANDLE (INT. LOCKING) CLOSER	-
4	24" X 80"	-	PASSIVE LEVER HANDLE, CLOSER	-
5	30" X 80"	-	PRIVACY LOCKSET IN LEVER HANDLE (INT. LOCKING) CLOSER	-
6	PR 24" X 80"	-	PASSIVE LEVER HANDLE, CLOSER	-
7	32" X 80"	-	PASSIVE LEVER HANDLE, CLOSER	LOUVER POOR
8	30" X 80"	-	PRIVACY LOCKSET IN POCKET HANDLE (INT. LOCKING) CLOSER	POCKET POOR
9	30" X 80"	-	PASSIVE LEVER HANDLE, CLOSER	-
10	32" X 80"	-	PRIVACY LOCKSET IN LEVER HANDLE (INT. LOCKING) CLOSER	-
11	PR 30" X 80"	-	PASSIVE LEVER HANDLE, CLOSER	-
12	28" X 80"	-	PASSIVE LEVER HANDLE, CLOSER	-
13	32" X 80"	-	PASSIVE POCKET HANDLE, CLOSER	POCKET POOR
14	30" X 80"	-	PASSIVE LEVER HANDLE, CLOSER	1/2" MIL FIRE RATED POOR
15	28" X 80"	-	PRIVACY LOCKSET IN POCKET HANDLE (INT. LOCKING) CLOSER	POCKET POOR
16	32" X 80"	-	PASSIVE LEVER HANDLE, CLOSER	-

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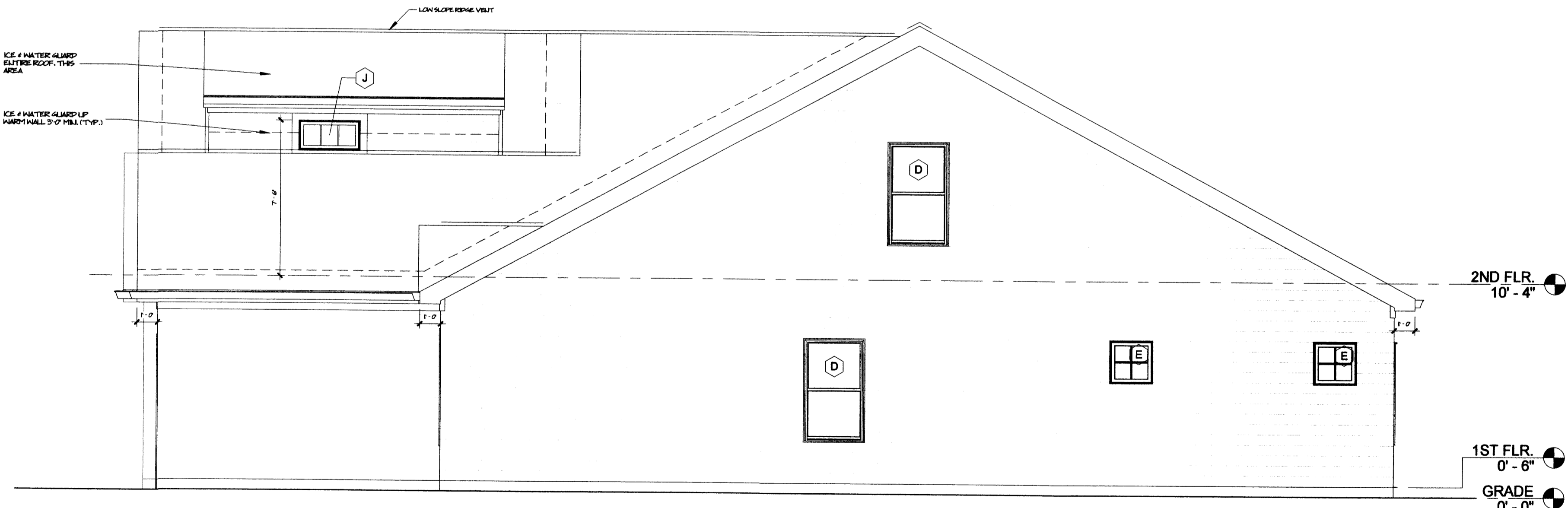
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 CHARLES McGETTRICK, JR. #77596
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FRONT ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE				
WALL	WINDOW SIZE	TYPE	HEAD HGT.	REMARKS
A	(3) 30" X 60"	PR. HLK.	7'-0"	
B	30" X 40"	FRD	7'-9"	
C	30" X 40"	CASEMENT	7'-9"	EGRESS
D	30" X 60"	PR. HLK.	7'-0" (5" TYP.) 6'-8" (5" TYP.)	EGRESS
E	24" X 24"	FRD	7'-0"	
F	(3) 30" X 60"	PR. HLK.	7'-0"	EGRESS
G	24" X 30"	PR. HLK.	7'-0"	
H	(3) 30" X 60"	PR. HLK.	7'-0"	
I	30" X 60"	PR. HLK.	7'-0"	
J	(3) 30" X 30"	FR	7'-6"	

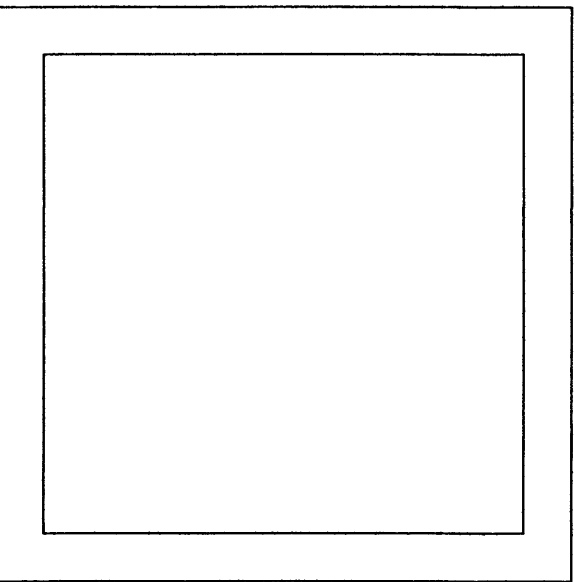


SIDE ELEVATION
1/4" = 1'-0"

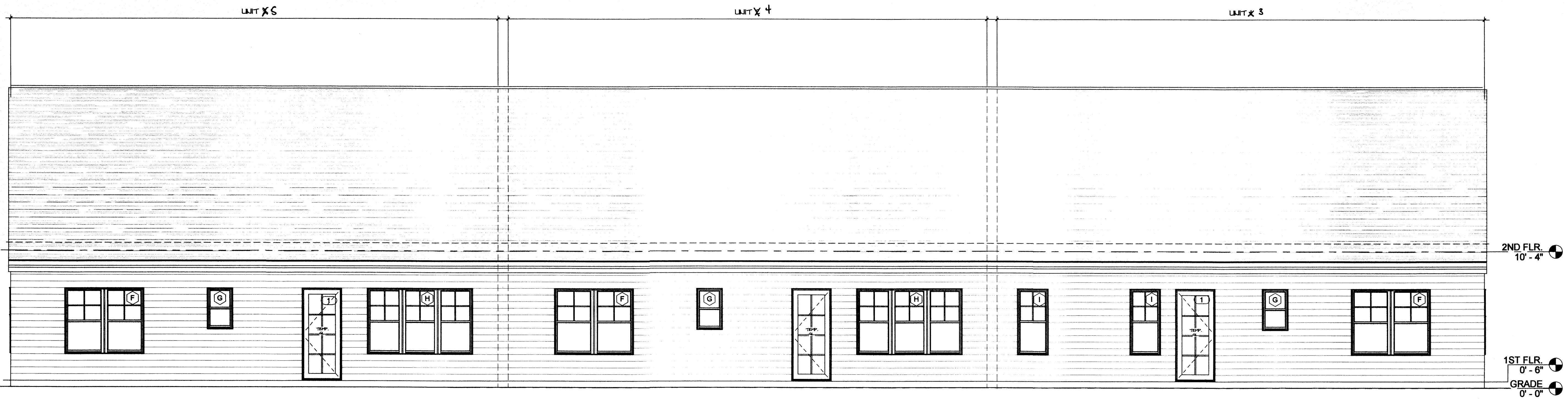
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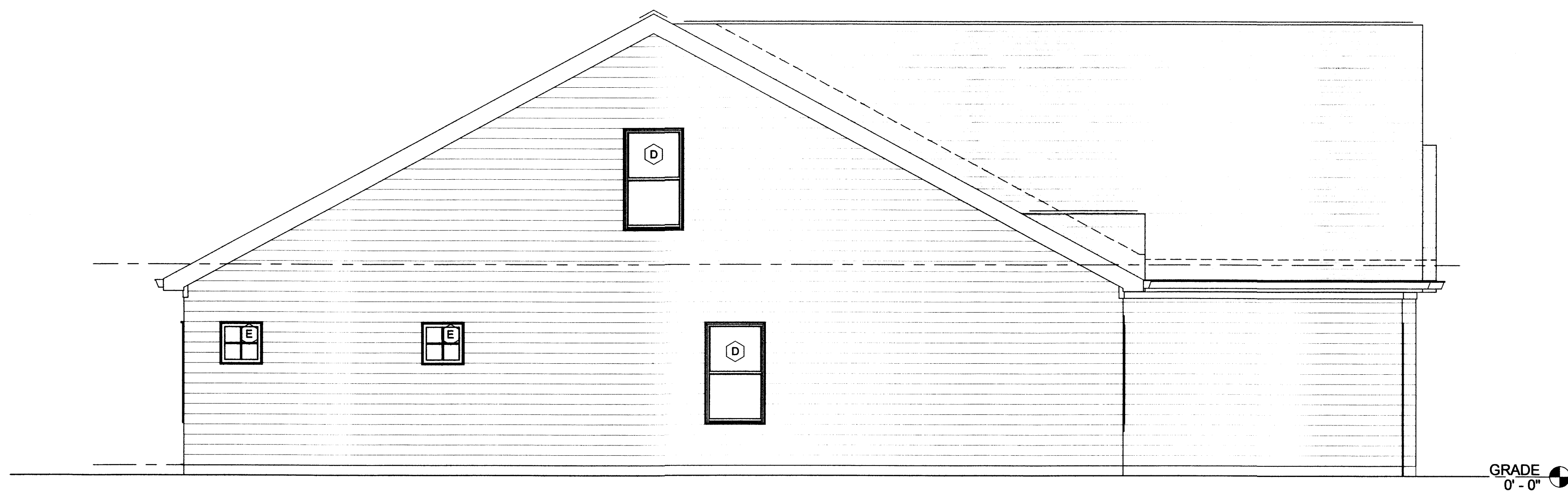
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22204
CHARLES McGETTRICK JR. #775916
EXPIRATION DATE: 12/31/2023



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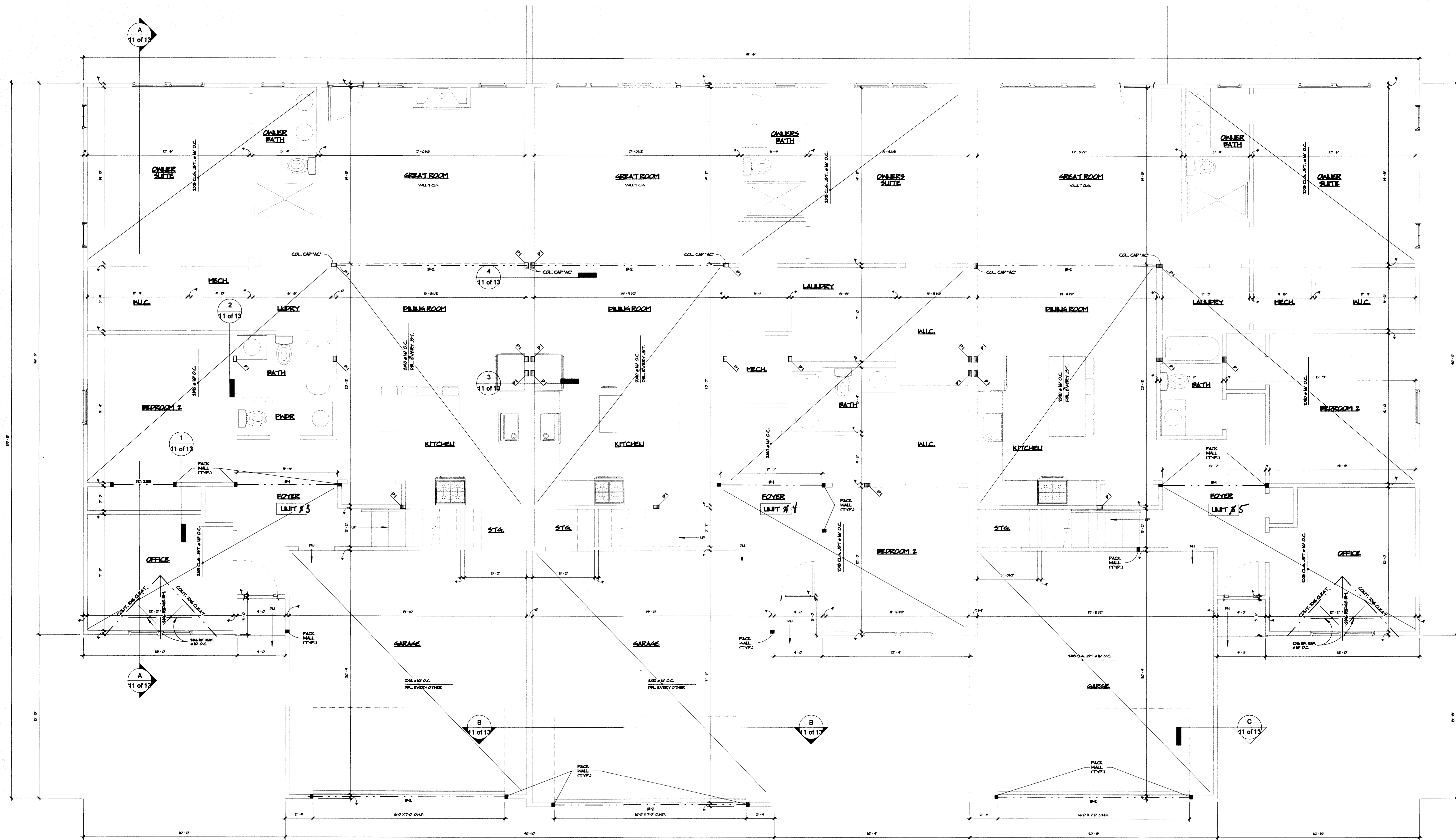
BACK ELEVATION
1/4" = 1'-0"



SIDE 2 ELEVATION
1/4" = 1'-0"

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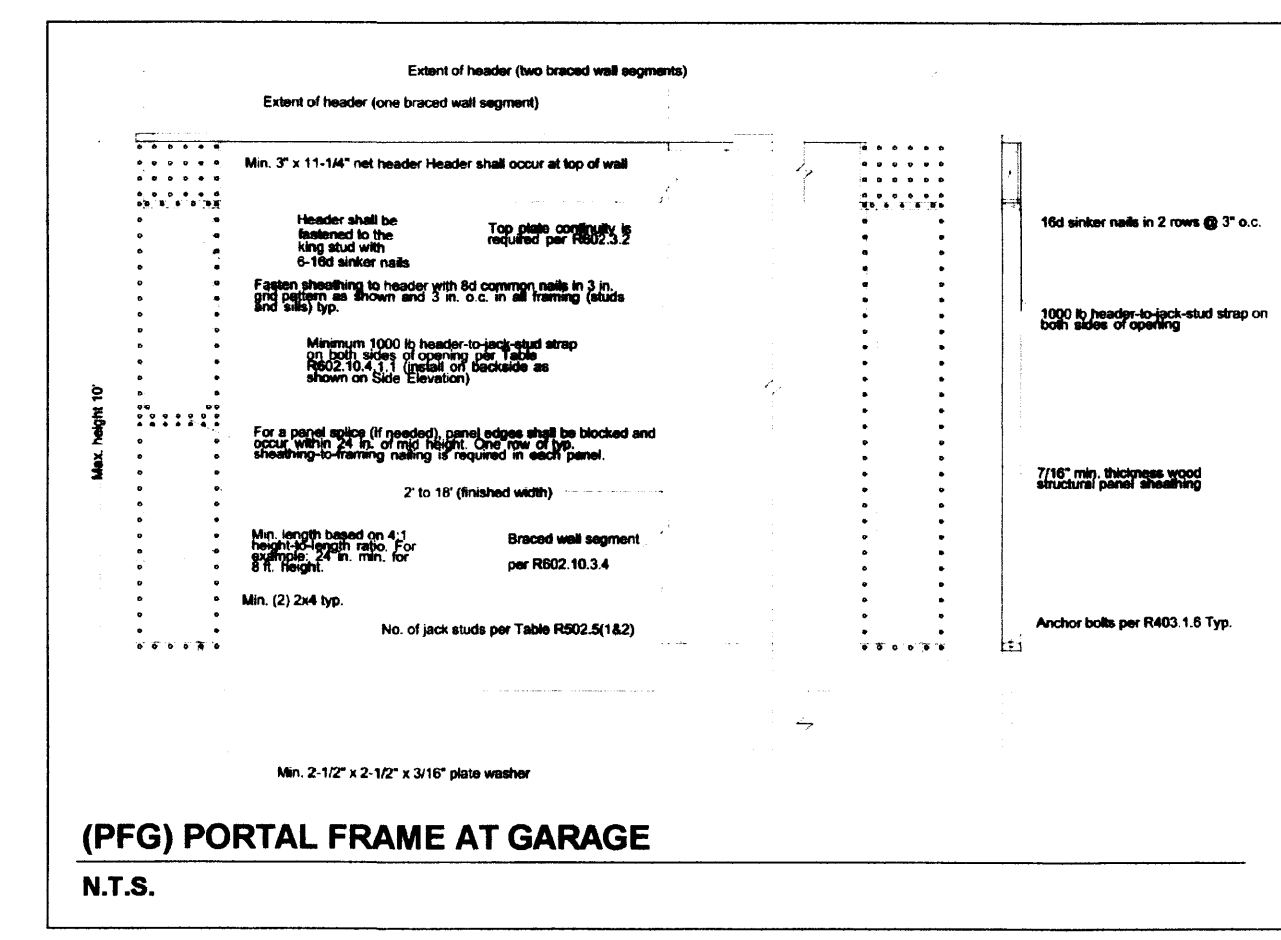


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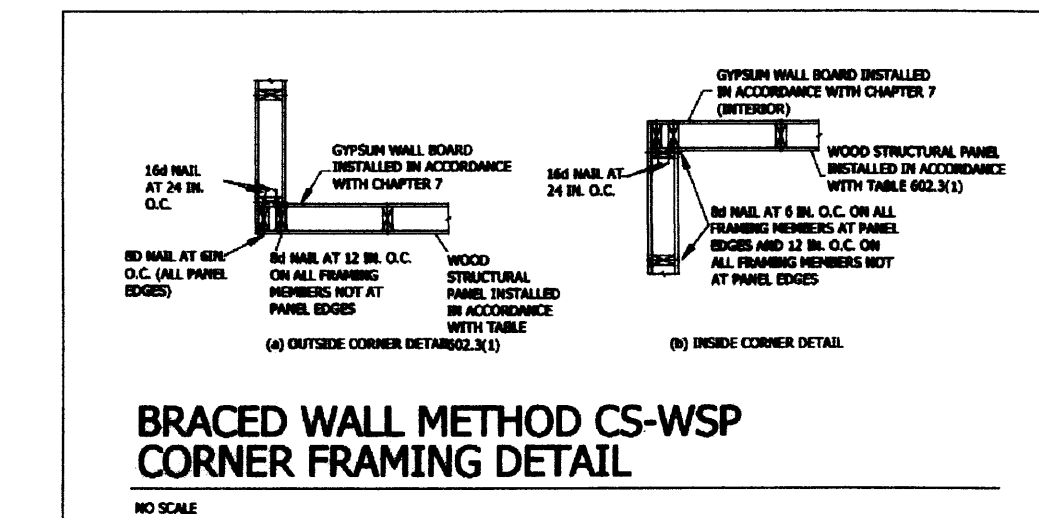
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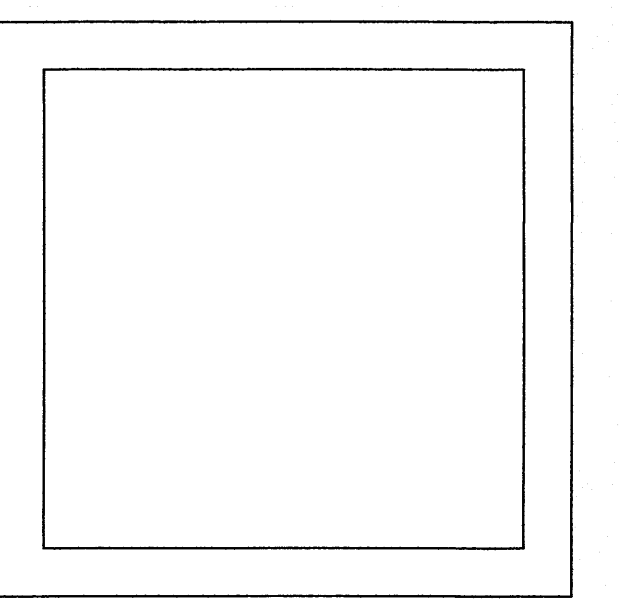
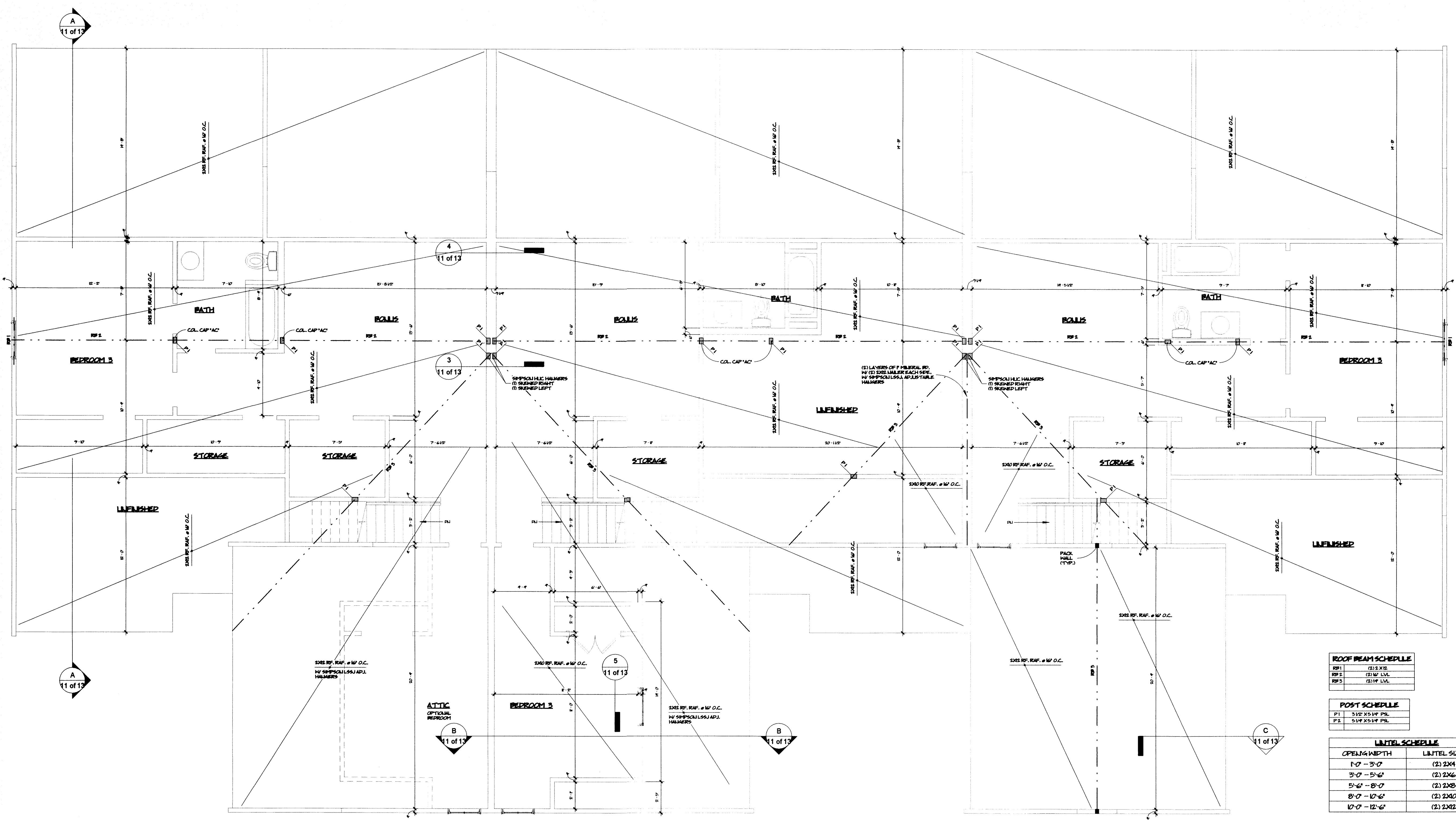
FIRST FLOOR FRAMING PLAN
 1/4" = 1'-0"



BEAM SCHEDULE		POST SCHEDULE	
#1	(2) 9" LVL	P1	5" X 8" PS
#2	(2) 14" LVL		

LITTEL SCHEDULE	
OPENING WIDTH	LITTEL SIZE
1'-0" - 3'-0"	(2) 2X4
3'-0" - 5'-6"	(2) 2X6
5'-6" - 8'-0"	(2) 2X8
8'-0" - 12'-6"	(2) 2X10
12'-0" - 12'-6"	(2) 2X12





DATE: 9/25/23
 REVISION: 2/23/24

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 Village of LaGrange
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ROOF BEAM SCHEDULE

RF1	(2) 3" X 6"
RF2	(2) 12" X 16" LVL
RF3	(2) 12" X 16" LVL

POST SCHEDULE

P1	3/4" X 5/8" PS.
P2	5/8" X 5/8" PS.

LINTEL SCHEDULE

OPENING WIDTH	LINTEL SIZE
1'-0" - 3'-0"	(2) 2X4
3'-0" - 5'-6"	(2) 2X6
5'-6" - 8'-0"	(2) 2X8
8'-0" - 10'-6"	(2) 2X10
10'-0" - 12'-6"	(2) 2X12

SECOND FLOOR FRAMING PLAN
 1/4" = 1'-0"

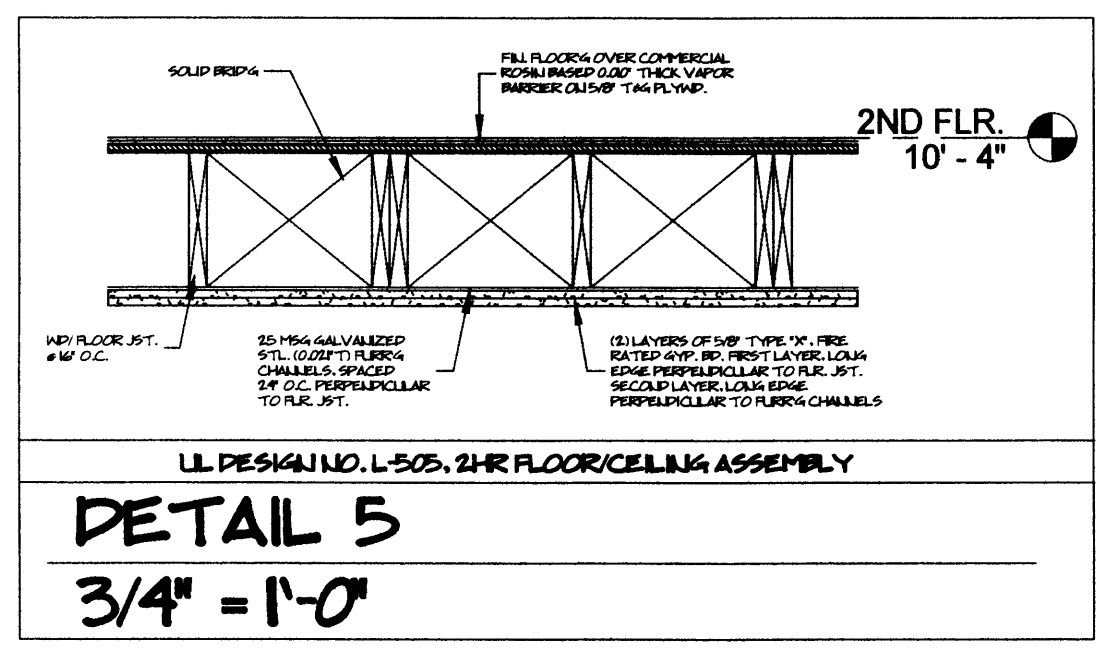
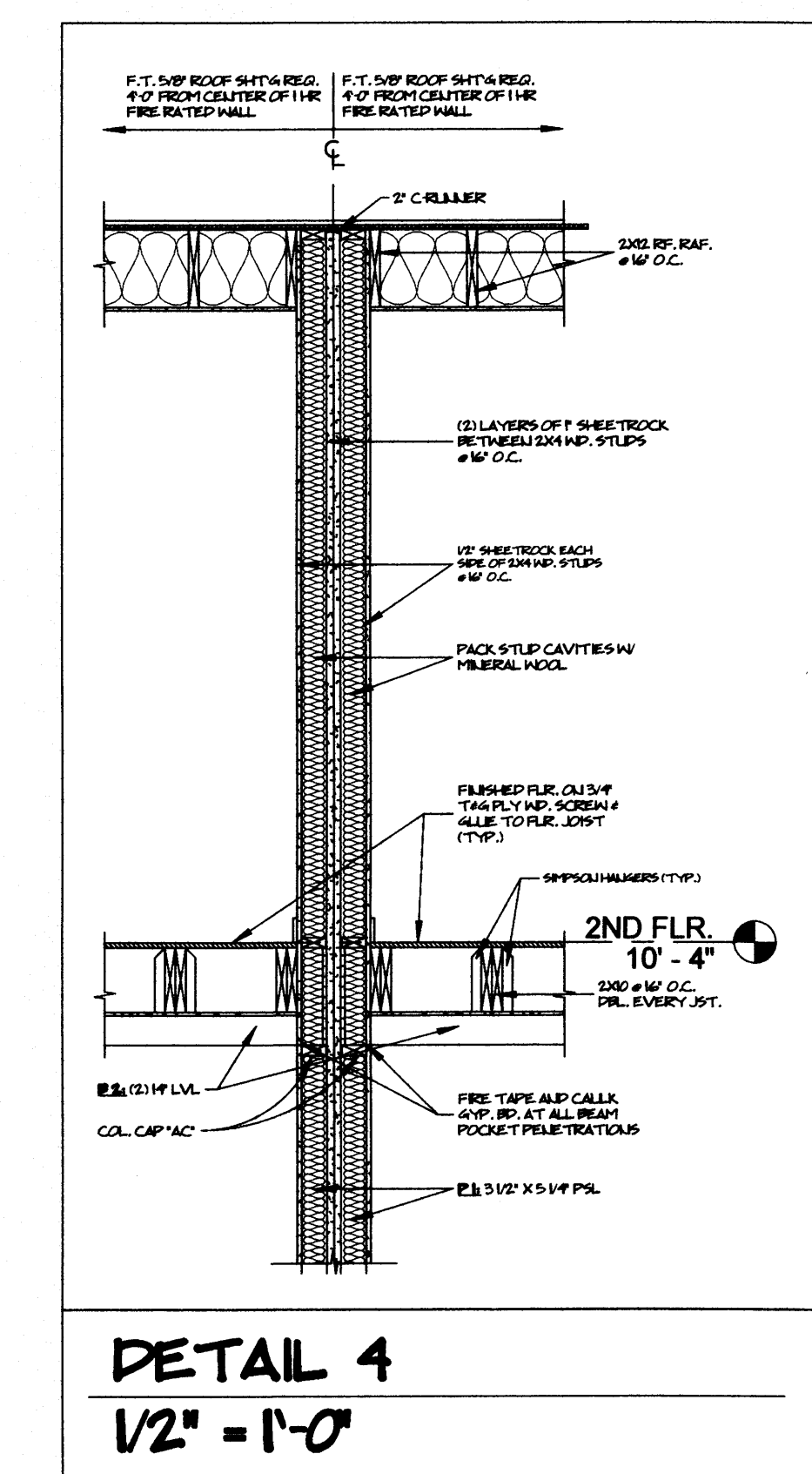
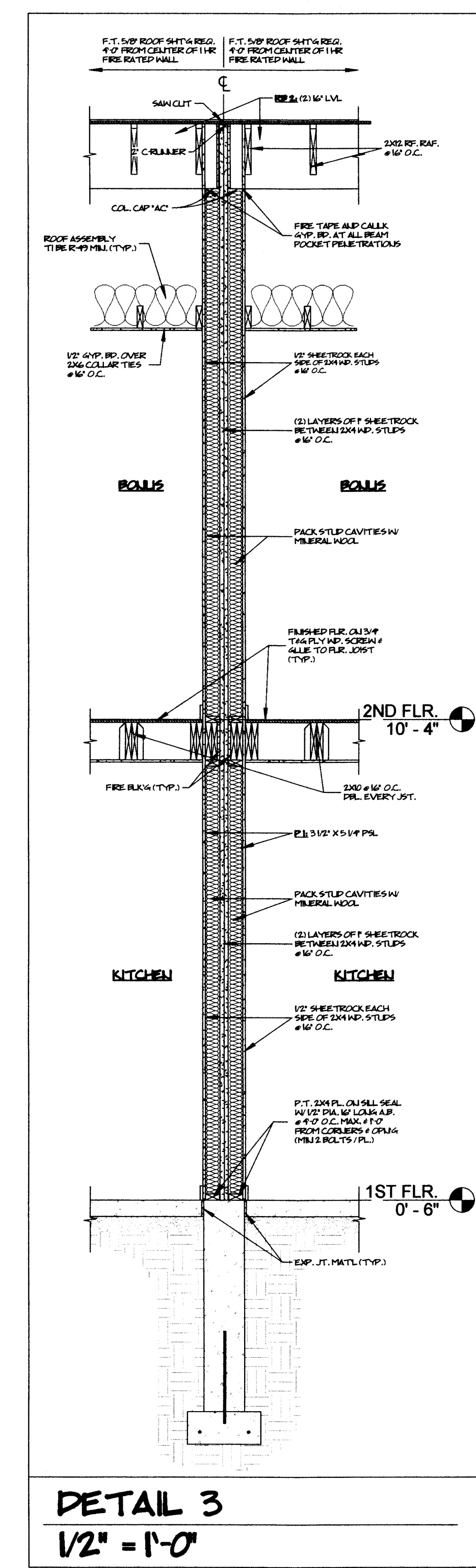
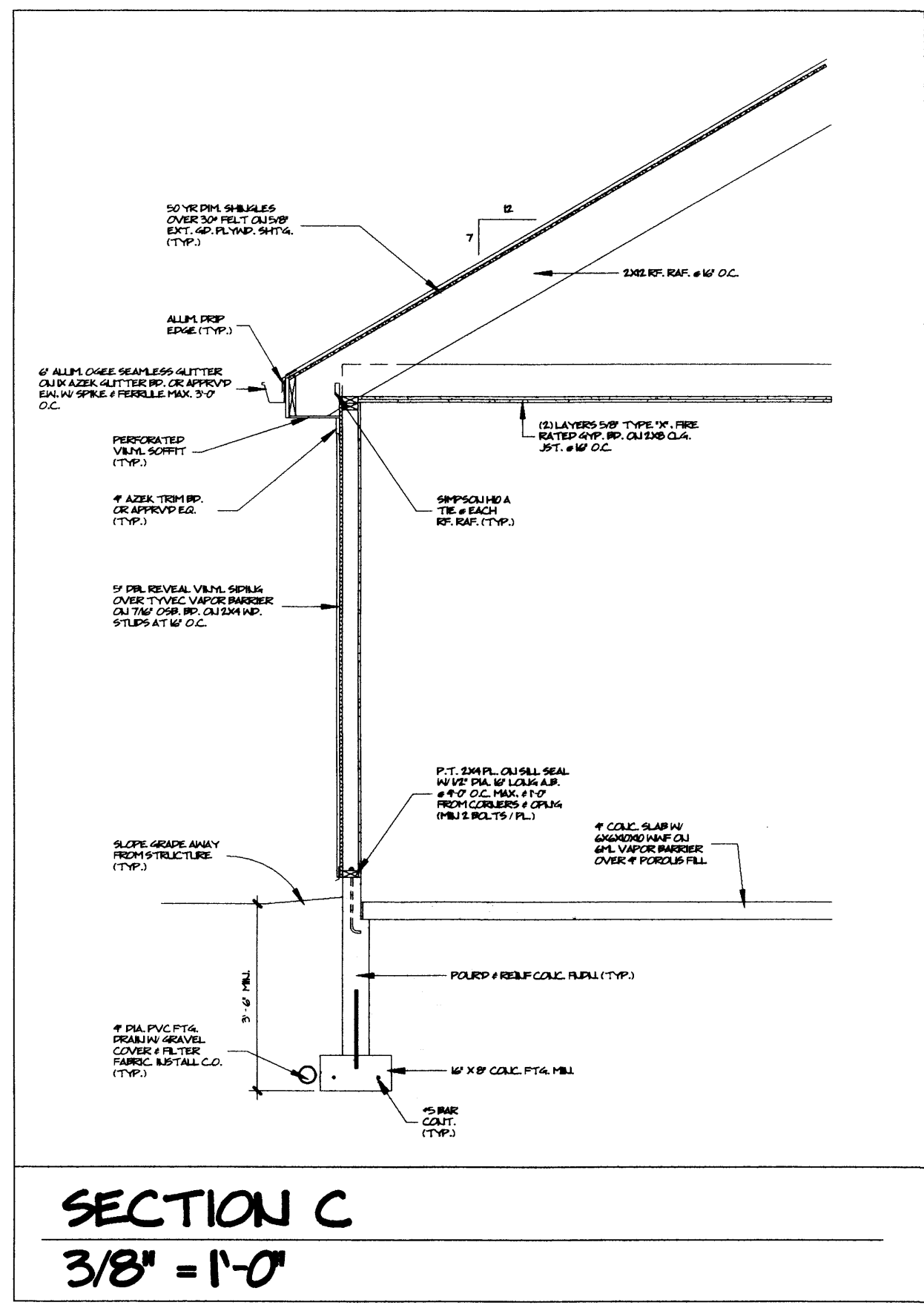
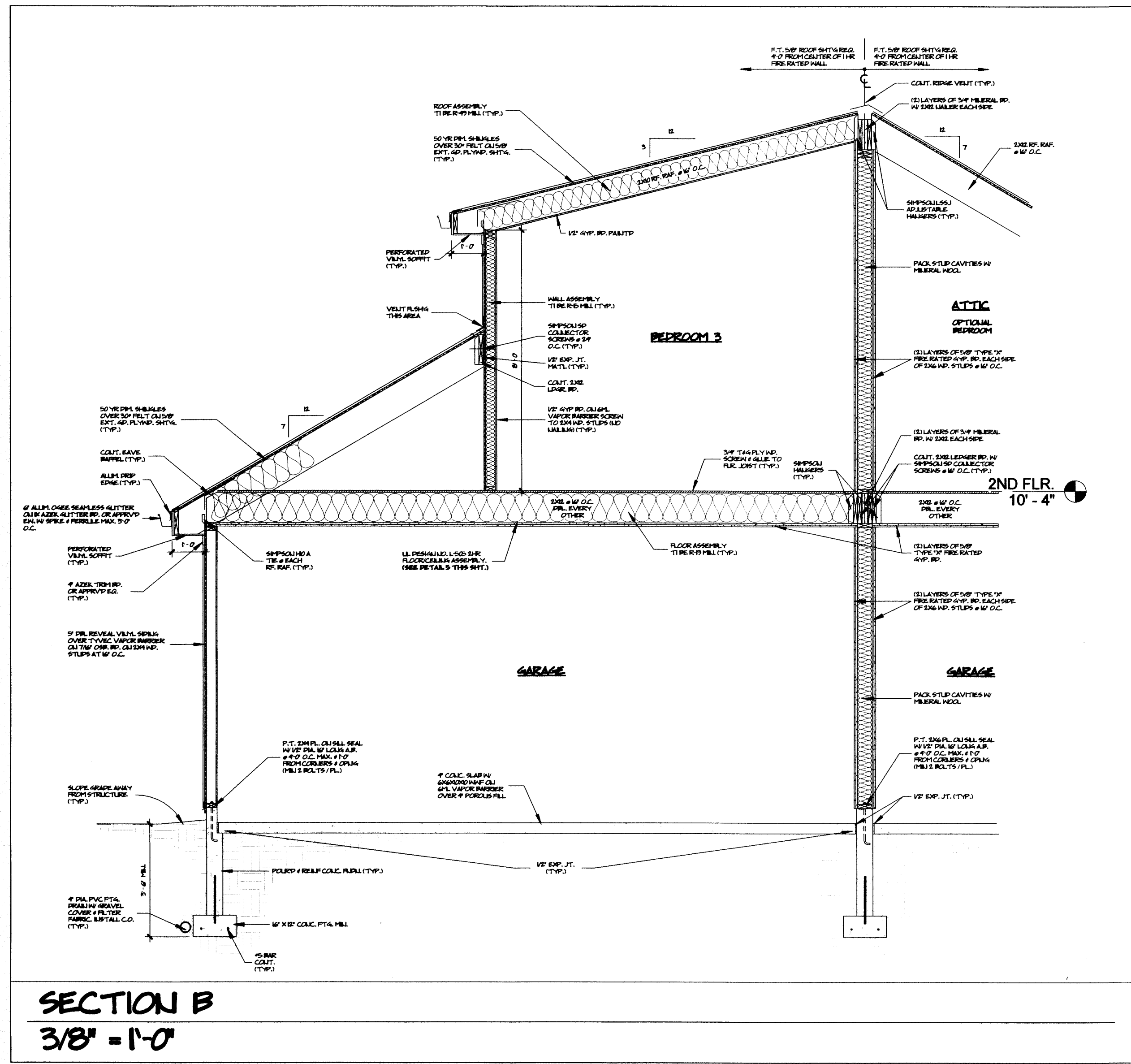
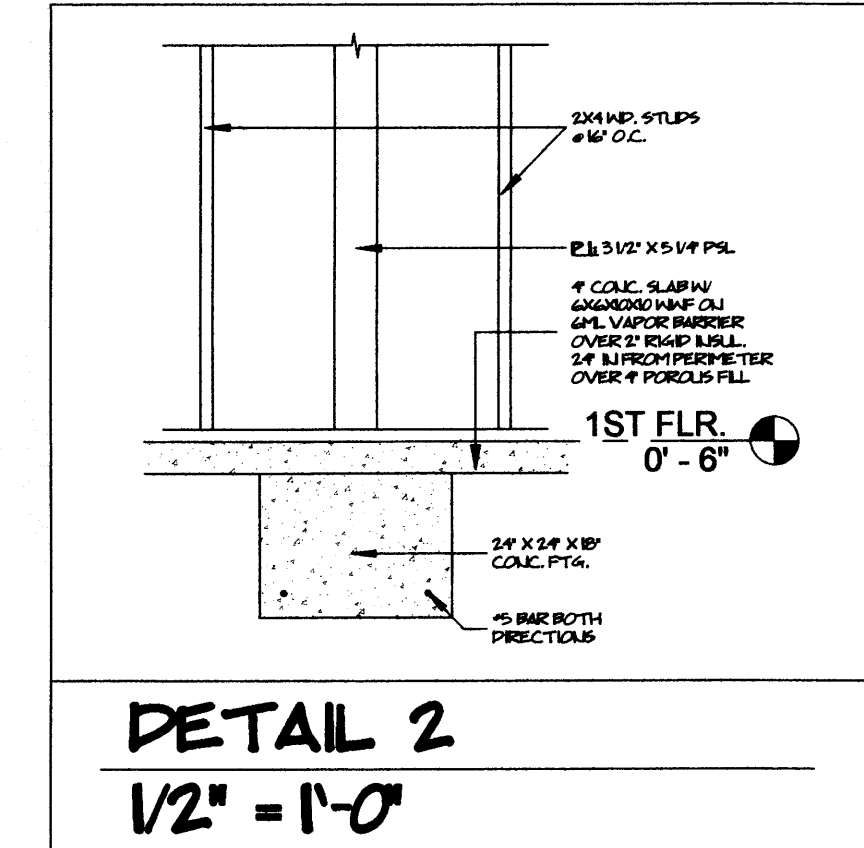
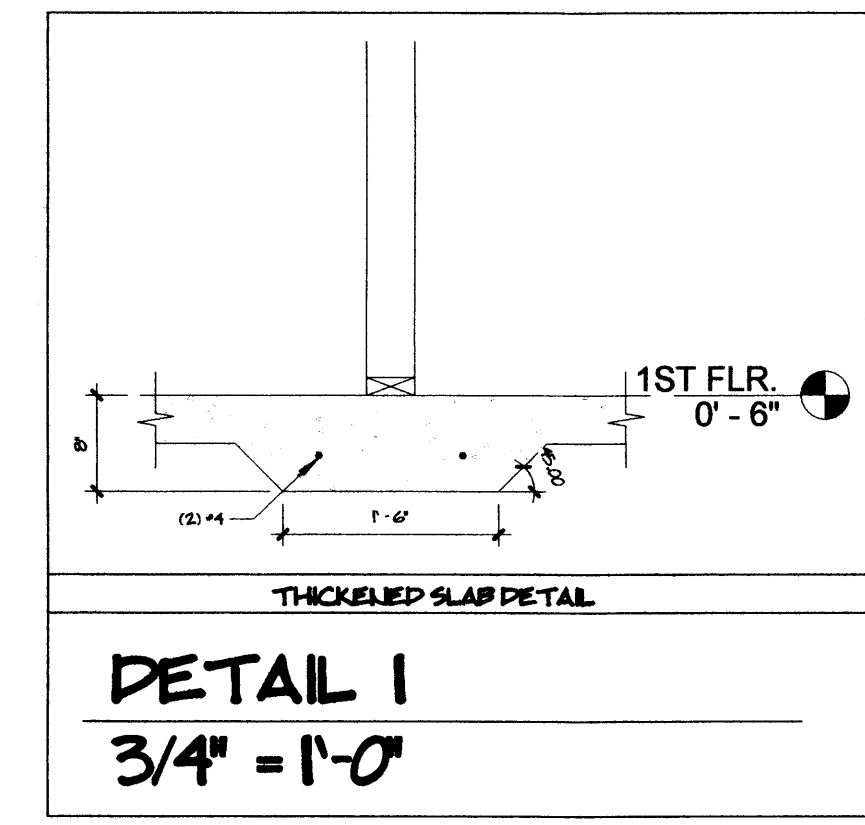
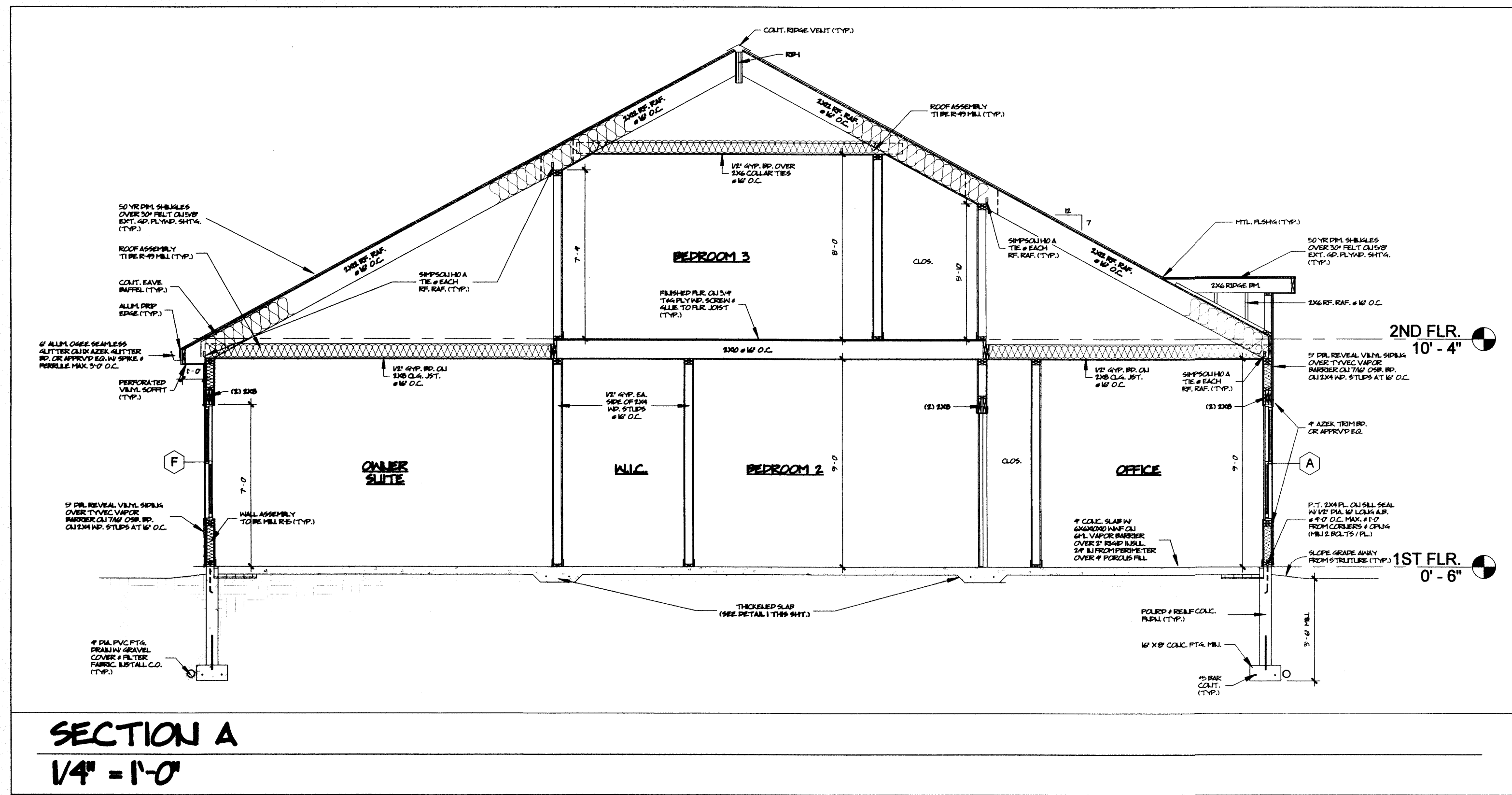
CAST-IN-PLACE CONCRETE

- CAST-IN-PLACE CONCRETE WORK SHALL CONFORM TO THE LATEST AMERICAN CONCRETE INSTITUTE (ACI) CODES AND STANDARDS LISTED IN THE CONTRACT DOCUMENTS, EXCEPT AS MODIFIED THEREIN.
- ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:
 FOOTINGS AND GRADE BEAMS 3000 PSI
 WALLS AND COLUMNS 4000 PSI
 SLAB-ON-GRADE 4000 PSI
 MUD MAT 2500 PSI
 ALL OTHER 3000 PSI
- ALL CONCRETE EXPOSED TO WEATHER SHALL CONTAIN AN AIR-ENTRAINING ADMIXTURE CONFORMING TO ASTM C260. AIR ENTRAINMENT SHALL BE 6% +/- 1%.
- REINFORCING BARS: ASTM A-615, GRADE 60
- WELDED WIRE FABRIC (WWF): ASTM A-1064 FOR SMOOTH STEEL WIRE & DEFORMED STEEL WIRE
- NO TACK WELDING OF REINFORCING IN THE FIELD SHALL BE PERMITTED.
- REINFORCING BAR LAP SPLICES AND TENSION DEVELOPMENT LENGTHS SHALL CONFORM WITH TABLES ON THIS DRAWING.
- ALL WELDED WIRE FABRIC (WWF) SHALL BE CHAIRED TO ITS PROPER HEIGHT AND MAINTAINED AT THE PROPER HEIGHT THROUGHOUT PLACEMENT OF CONCRETE. LIFTING OF THE WWF WITH A HOOK DURING CONCRETE PLACEMENT SHALL NOT BE PERMITTED.
- CONCRETE SHALL BE DISCHARGED AT THE SITE WITHIN 1-1/2 HOURS AFTER WATER HAS BEEN ADDED TO THE CEMENT AND AGGREGATES. ADDITION OF WATER TO THE MIX AT THE PROJECT SITE IS NOT PERMITTED. ALL WATER MUST BE ADDED AT THE BATCH PLANT. SLUMP MAY BE ADJUSTED ONLY THROUGH THE USE OF ADDITIONAL WATER REDUCING ADMIXTURE OR HIGH RANGE WATER REDUCING ADMIXTURE.
- ALL CONCRETE SHALL CONTAIN A WATER REDUCING ADMIXTURE CONFORMING TO ASTM C494, TYPE A, F OR G.

STRUCTURAL WOOD

- DETAIL, FABRICATE AND ERECT STRUCTURAL WOOD IN ACCORDANCE WITH THE LATEST AWC DESIGN SPECIFICATIONS AND THE GOVERNING BUILDING CODE.
- ALL STRUCTURAL FRAMING MEMBERS SHALL BE SPRUCE-PINE-FIR (SPF) NO.1/NO.2 OR BETTER OR DOUGLAS FIR-LARCH (NORTH) NO.1/NO.2, U.N.O.
- ALL ROOF PANEL SHEATHING SHALL BE 5/8" TYPE CDX, EXPOSURE 1 APA RATED SHEATHING. SUITABLE EDGE SUPPORT SHALL BE PROVIDED BY USE OF PANEL CLIPS OR BLOCKING BETWEEN FRAMING. CONNECT ROOF SHEATHING WITH 8d COMMON NAILS AT 6" O.C. AT SUPPORTED PANEL EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS, U.N.O.
- ALL FLOOR SHEATHING SHALL BE 3/4" APA RATED STURD-I-FLOOR, EXPOSURE 1, WITH TONGUE AND GROOVE EDGE. CONNECT FLOOR SHEATHING WITH 10d COMMON NAILS AT 6" O.C. AT SUPPORTED EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. FIELD GLUE USING ADHESIVES MEETING LATEST APA SPECIFICATIONS AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ALL WALL SHEATHING SHALL BE 1/2" TYPE CDX, EXPOSURE 1 APA RATED SHEATHING. CONNECT WALL SHEATHING WITH 10d COMMON NAILS @ 6" O.C. AT SUPPORTED PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS, U.N.O.
- USE PRESSURE TREATED LUMBER WHERE WOOD IS EXPOSED TO WEATHER, MOISTURE, CONCRETE, MASONRY OR THE GROUND.

COMMISSION NO:
 22204
 CHARLES MCGETTRICK, JR. #77596
 EXPIRATION DATE: 12/31/2025



DATE: 9/25/23
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FIRST FLOOR POWER/LIGHTING PLAN
 1/4" = 1'-0"

LIGHT FIXTURE SCHEDULE:

- (A) CEILING MOUNT LIGHT
- (B) WALL SCONCE
- (C) LED RECESSED CAN LIGHT
- (D) PENDANT LIGHT FIXTURE
- (E) CEILING FAN
- (F) CHANDELIER
- (S) SMOKE ALARM
- (C) CARBON MONOXIDE DETECTOR

NOTE:

- LIGHT FIXTURES TO BE SELECTED BY OWNER.
- SMOKE ALARMS UTILIZING PHOTOELECTRIC AND IONIZATION TECHNOLOGIES SHALL BE INSTALLED. SMOKE ALARMS LOCATED IN ACCORDANCE WITH IBC 903.5.1 SHALL INCLUDE PHOTOELECTRIC TECH.
- W.P. : WATER PROOF FIXTURE
- E.F. : EXHAUST FAN DIRECTLY PUCT OUTSIDE

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SECOND FLOOR POWER/LIGHTING PLAN
 1/4" = 1'-0"

LIGHT FIXTURE SCHEDULE:	
(A)	CEILING MOUNT LIGHT
(B)	WALL SCONCE
(C)	LED RECESSED CANLIGHT
(D)	PENDANT LIGHT FIXTURE
(E)	CEILING FAN
(F)	CHANDELIER
(S)	SMOKE ALARM
(CO)	CARBON MONOXIDE DETECTOR

NOTE:
 LIGHT FIXTURES TO BE SELECTED BY OWNER.
 - SMOKE ALARMS UTILIZING PHOTOELECTRIC AND IONIZATION TECHNOLOGIES SHALL BE INSTALLED. SMOKE ALARMS LOCATED IN ACCORDANCE W/RCO 345 SHALL INCLUDE PHOTOELECTRIC TECH.

*WP.: WATER PROOF FIXTURE
 *E.F.: EXHAUST FAN, DIRECTLY PUCT OUTSIDE

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Plat Sheet

Instrument # 2024-0005180

Film # _____

Name of Plat: Vicksburg Court West Condominiums Phase 2

Owner: Maverick Building Company LLC

Description: Situated in the Village of LaGrange, County of Lorain and State of Ohio; being a part of Original LaGrange Township Lot 35 = 0.4496 Acres Easements also -

Creating Units No 3-4-5

Floor Plans: See Image

Related/Margin: Declaration # 2024-0005181

Comments: _____

Vol 115

Receiving Stamp

Pg. 34, 35, 36, 37, 38, 39
40, 41, 42, 43, 44, 45, and 46

Amount: 1,127.20

Initials: SC