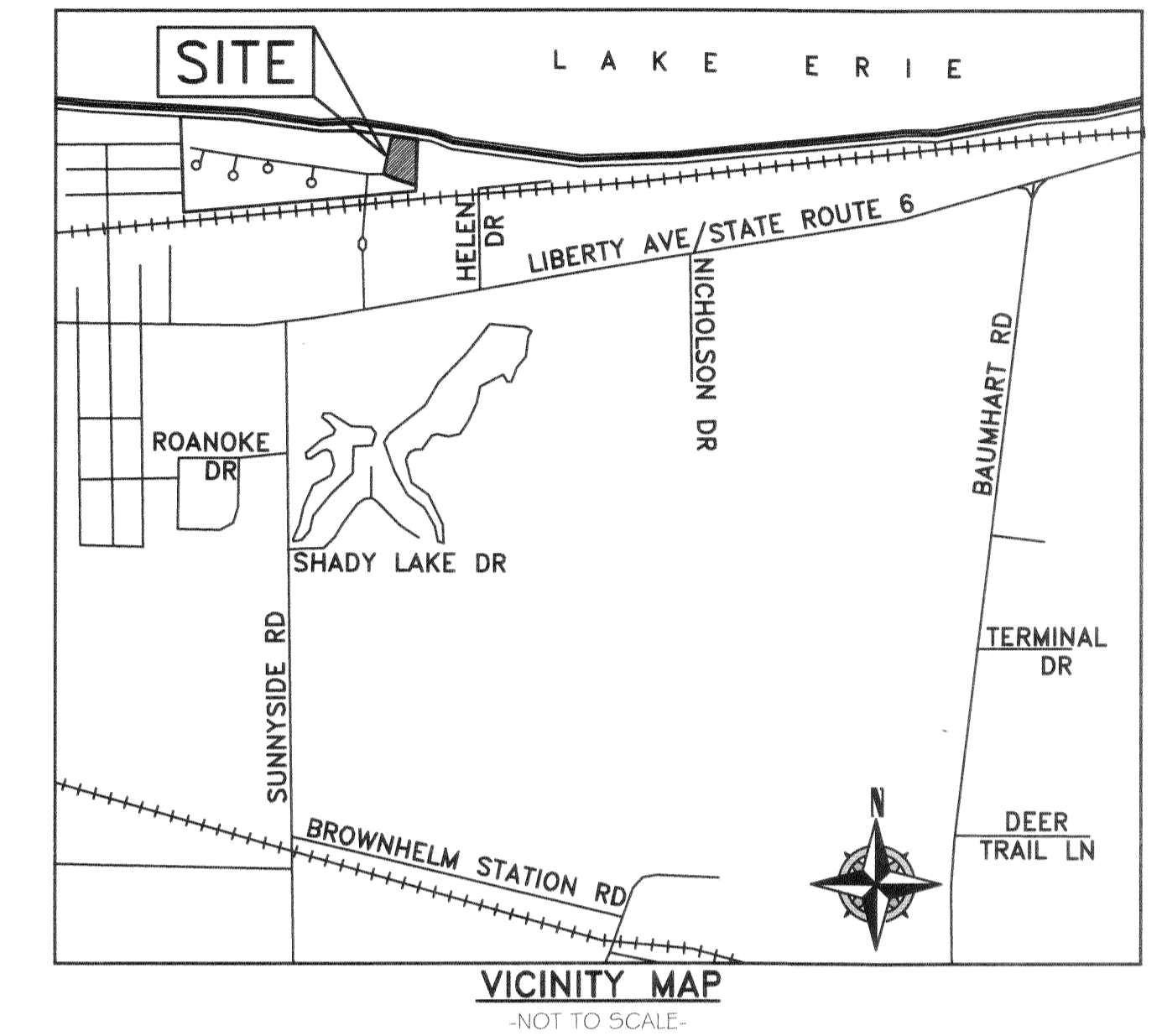


VERMILION SHORES CONDOMINIUMS III - PHASE 1

SITUATED IN THE CITY OF VERMILION, COUNTY OF LORAIN,
STATE OF OHIO, AND KNOWN AS BEING PART OF ORIGINAL
BROWNHELM TOWNSHIP LOT NUMBERS 05



LINE	BEARING	DISTANCE
L-1	N 81°51'28" E	81.65'
L-2	N 10°11'50" E	147.37'
L-3	N 03°03'30" W	36.19'
L-4	N 79°48'10" W	89.35'

DESCRIPTION	ACREAGE
AUDITORS P.P.N: 01-00-005-102-021	2.6440 ACRES
VERMILION SHORES CONDOMINIUMS III - PHASE 1	1.3693 ACRES (O.L. 5)
REMAINDER PARCEL	1.2747 ACRES

CERTIFICATION
THIS IS TO CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE BUILDINGS CURRENTLY UNDER CONSTRUCTION OR COMPLETED AS OBSERVED BY RAFTER A., LTD ON June 3rd, 2022.

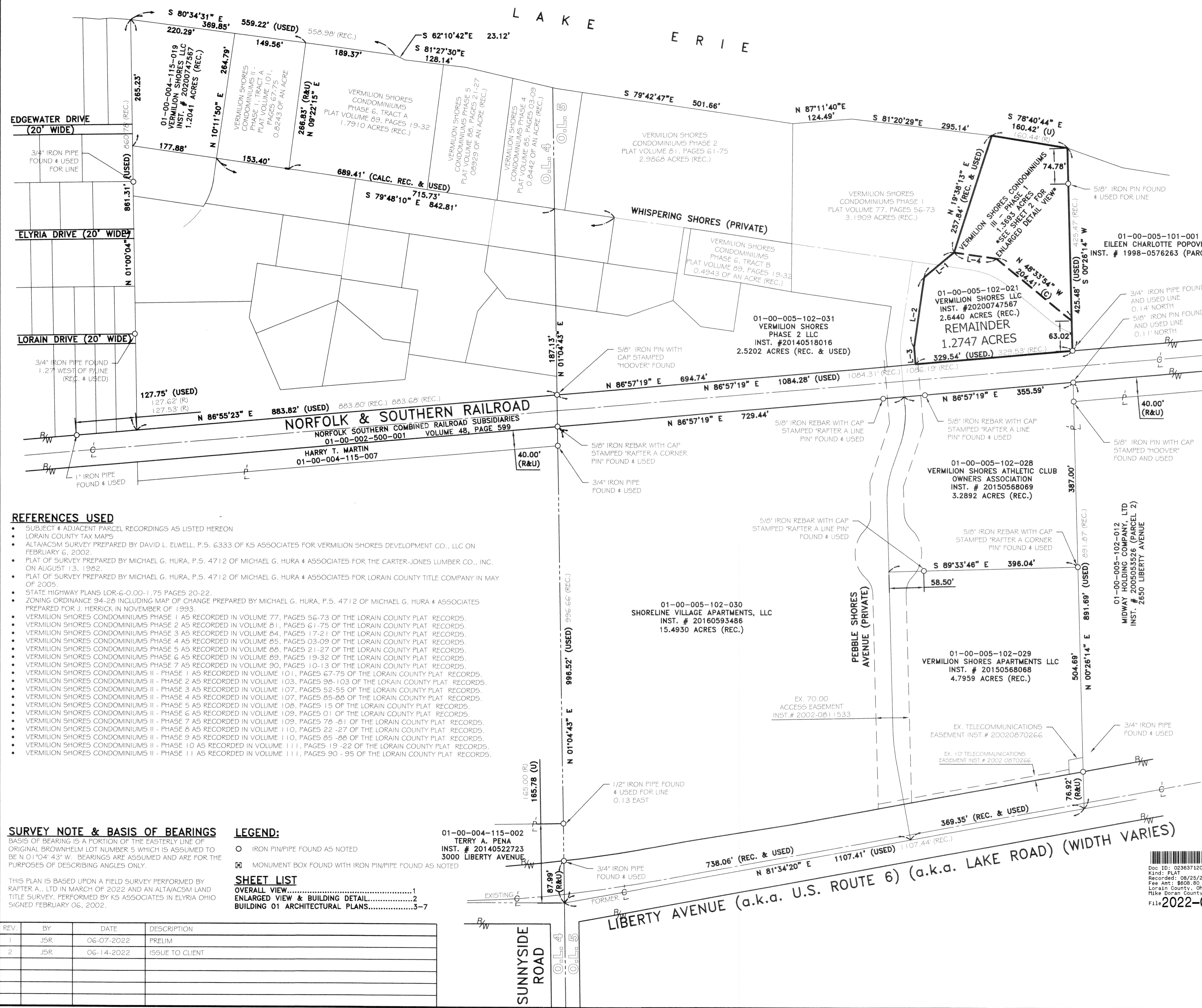
JOSHUA S. RIEDY, P.S.
REGISTERED PROFESSIONAL SURVEYOR
06-19-2022 DATE

TRANSFERRED
IN COMPLIANCE WITH SEC 319-202 OHIO REV. CODE
AUG 25 2022
J. CRAIG SNOODGRASS, CPA, CGFM
LORAIN COUNTY AUDITOR

APPROVED
BY THE CITY ENGINEER OF VERMILION, OHIO
RAMHALL ENGRG. & SURV. CO.
7/1/22

EXAMCO TITLE SERVICES
6155 PARK SQUARE DRIVE
UNIT 3 STE 8
LORAIN, OH 44053
PKF Vol 112
Pg 44,45,46,47,48,49,50

Doc ID: 02363720008 Type: OFF
Kind: PLAT
Recorded: 08/25/2022 at 11:23:21 AM
Fee Amt: \$600.00 Page 1 of 8
Lorain County, Ohio
Mike Doran, County Recorder
File # 2022-0888790



- REFERENCES USED**
- SUBJECT & ADJACENT PARCEL RECORDINGS AS LISTED HEREON
 - LORAIN COUNTY TAX MAPS
 - ALTA/ACSM SURVEY PREPARED BY DAVID L. ELWELL, P.S. 6333 OF KS ASSOCIATES FOR VERMILION SHORES DEVELOPMENT CO., LLC ON FEBRUARY 6, 2002.
 - PLAT OF SURVEY PREPARED BY MICHAEL G. HURA, P.S. 4712 OF MICHAEL G. HURA & ASSOCIATES FOR THE CARTER-JONES LUMBER CO., INC. ON AUGUST 13, 1992.
 - PLAT OF SURVEY PREPARED BY MICHAEL G. HURA, P.S. 4712 OF MICHAEL G. HURA & ASSOCIATES FOR LORAIN COUNTY TITLE COMPANY IN MAY OF 2005.
 - STATE HIGHWAY PLANS LOR-6-0.00-1.75 PAGES 20-22.
 - ZONING ORDINANCE 94-28 INCLUDING MAP OF CHANGE PREPARED BY MICHAEL G. HURA, P.S. 4712 OF MICHAEL G. HURA & ASSOCIATES PREPARED FOR J. HERRICK IN NOVEMBER OF 1993.
 - VERMILION SHORES CONDOMINIUMS PHASE 1 AS RECORDED IN VOLUME 77, PAGES 56-73 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS PHASE 2 AS RECORDED IN VOLUME 81, PAGES 61-75 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS PHASE 3 AS RECORDED IN VOLUME 84, PAGES 17-21 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS PHASE 4 AS RECORDED IN VOLUME 85, PAGES 03-09 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS PHASE 5 AS RECORDED IN VOLUME 88, PAGES 21-27 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS PHASE 6 AS RECORDED IN VOLUME 89, PAGES 19-32 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS PHASE 7 AS RECORDED IN VOLUME 90, PAGES 10-13 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS II - PHASE 1 AS RECORDED IN VOLUME 101, PAGES 67-75 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS II - PHASE 2 AS RECORDED IN VOLUME 103, PAGES 98-103 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS II - PHASE 3 AS RECORDED IN VOLUME 107, PAGES 52-55 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS II - PHASE 4 AS RECORDED IN VOLUME 107, PAGES 85-88 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS II - PHASE 5 AS RECORDED IN VOLUME 108, PAGES 15 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS II - PHASE 6 AS RECORDED IN VOLUME 109, PAGES 01 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS II - PHASE 7 AS RECORDED IN VOLUME 109, PAGES 78-81 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS II - PHASE 8 AS RECORDED IN VOLUME 110, PAGES 22-27 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS II - PHASE 9 AS RECORDED IN VOLUME 110, PAGES 85-88 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS II - PHASE 10 AS RECORDED IN VOLUME 111, PAGES 19-22 OF THE LORAIN COUNTY PLAT RECORDS.
 - VERMILION SHORES CONDOMINIUMS II - PHASE 11 AS RECORDED IN VOLUME 111, PAGES 90-95 OF THE LORAIN COUNTY PLAT RECORDS.

SURVEY NOTE & BASIS OF BEARINGS
BASIS OF BEARING IS A PORTION OF THE EASTERLY LINE OF ORIGINAL BROWNHELM LOT NUMBER 5 WHICH IS ASSUMED TO BE N 01°04'43" W. BEARINGS ARE ASSUMED AND ARE FOR THE PURPOSES OF DESCRIBING ANGLES ONLY.

LEGEND:
○ IRON PIN/PIPE FOUND AS NOTED
⊞ MONUMENT BOX FOUND WITH IRON PIN/PIPE FOUND AS NOTED

SHEET LIST
OVERALL VIEW.....1
ENLARGED VIEW & BUILDING DETAIL.....2
BUILDING 01 ARCHITECTURAL PLANS.....3-7

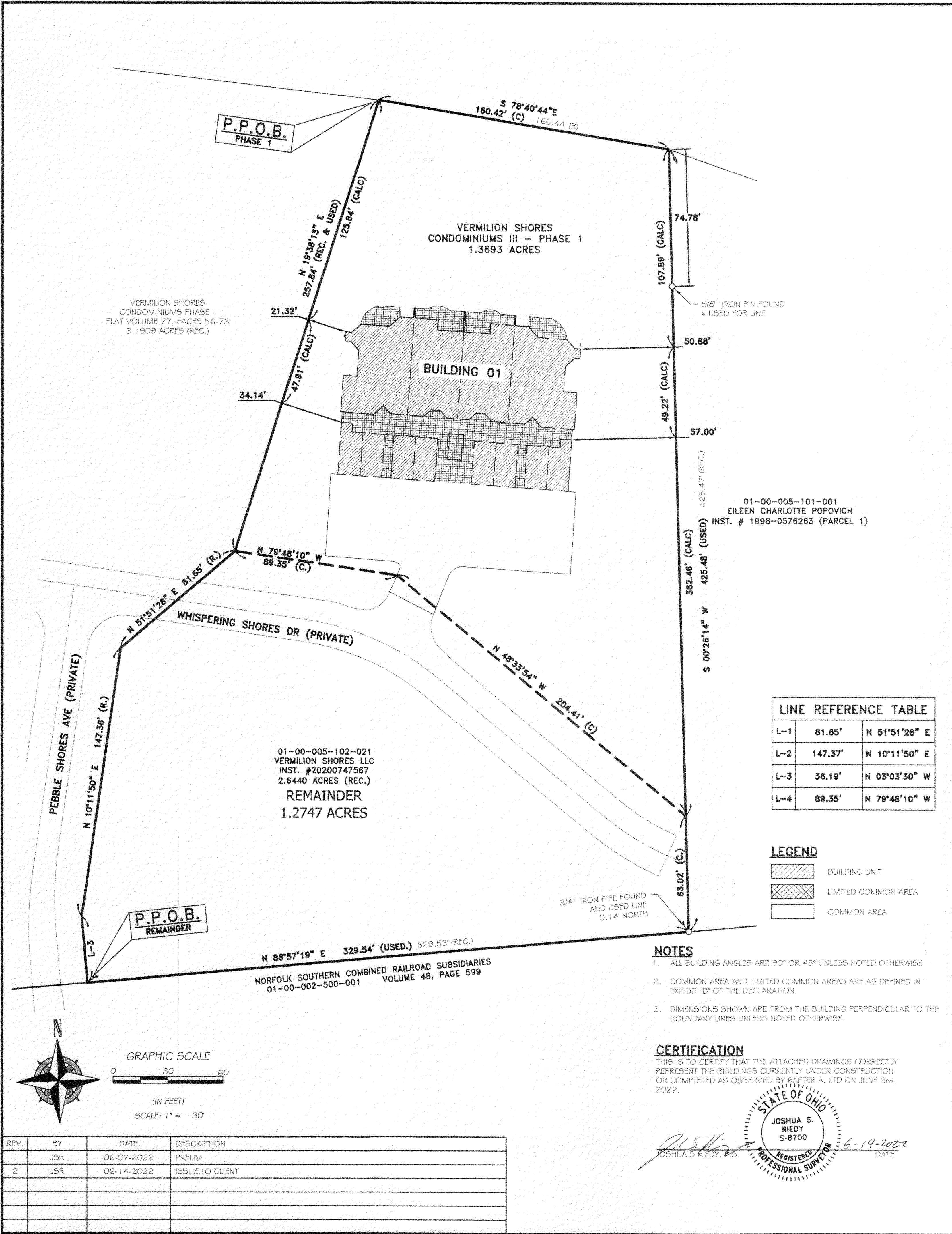
REV.	BY	DATE	DESCRIPTION
1	JSR	06-07-2022	PRELIM
2	JSR	06-14-2022	ISSUE TO CLIENT

VERMILION SHORES CONDOMINIUMS III - PHASE 1
OVERALL VIEW
SITUATED IN THE CITY OF VERMILION, COUNTY OF LORAIN, STATE OF OHIO AND KNOWN AS BEING PART OF ORIGINAL BROWNHELM TOWNSHIP LOT NUMBER 05

RAFTER A., LTD
LAND SURVEYING & ENGINEERING
Office: 440-458-6294 10980 LaGrange Road
Fax: 440-458-4483 Elyria, Ohio 44035
www.RafterA.com

VERMILION SHORES, LLC
PO BOX 360893
STRONGSVILLE, OHIO 44138

DRAWN BY: JSR CHECKED BY: RAF
JOB NO: 2790B-21 SHEET 1 OF 7



LINE REFERENCE TABLE		
L-1	81.65'	N 51°51'28\" E
L-2	147.37'	N 10°11'50\" E
L-3	36.19'	N 03°03'30\" W
L-4	89.35'	N 79°48'10\" W

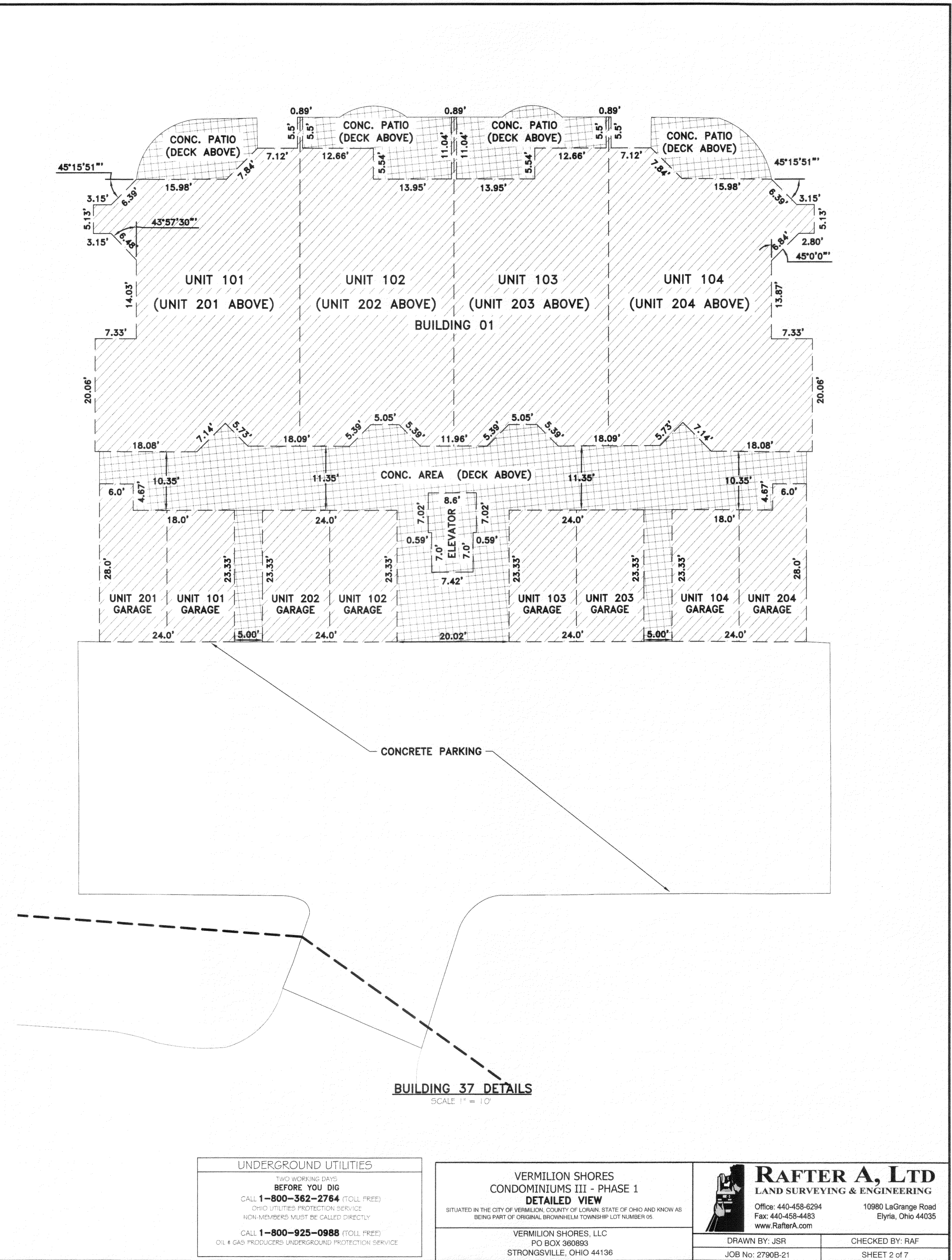
LEGEND	
	BUILDING UNIT
	LIMITED COMMON AREA
	COMMON AREA

- NOTES**
- ALL BUILDING ANGLES ARE 90° OR 45° UNLESS NOTED OTHERWISE
 - COMMON AREA AND LIMITED COMMON AREAS ARE AS DEFINED IN EXHIBIT 'B' OF THE DECLARATION.
 - DIMENSIONS SHOWN ARE FROM THE BUILDING PERPENDICULAR TO THE BOUNDARY LINES UNLESS NOTED OTHERWISE.

CERTIFICATION
 THIS IS TO CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE BUILDINGS CURRENTLY UNDER CONSTRUCTION OR COMPLETED AS OBSERVED BY RAFTER A, LTD ON JUNE 3rd, 2022.

STATE OF OHIO
 JOSHUA S. RIEDY
 S-8700
 REGISTERED PROFESSIONAL SURVEYOR
 6-14-2022
 DATE

REV.	BY	DATE	DESCRIPTION
1	JSR	06-07-2022	PRELIM
2	JSR	06-14-2022	ISSUE TO CLIENT



UNDERGROUND UTILITIES
 BEFORE YOU DIG
 CALL 1-800-362-2764 (TOLL FREE)
 OHIO UTILITIES PROTECTION SERVICE
 NON-MEMBERS MUST BE CALLED DIRECTLY
 CALL 1-800-925-0988 (TOLL FREE)
 OIL & GAS PRODUCERS UNDERGROUND PROTECTION SERVICE

VERMILION SHORES
 CONDOMINIUMS III - PHASE 1
DETAILED VIEW
 SITUATED IN THE CITY OF VERMILION, COUNTY OF LORAIN, STATE OF OHIO AND KNOWN AS BEING PART OF ORIGINAL BROWNHELM TOWNSHIP LOT NUMBER 09
 VERMILION SHORES, LLC
 PO BOX 360893
 STRONGSVILLE, OHIO 44136

RAFTER A, LTD
 LAND SURVEYING & ENGINEERING
 Office: 440-458-6294
 Fax: 440-458-4483
 www.RafterA.com
 10980 LaGrange Road
 Elyria, Ohio 44035
 DRAWN BY: JSR
 CHECKED BY: RAF
 JOB No: 2790B-21
 SHEET 2 of 7



FINISH FLAME SPREAD RATINGS

NONSPRINKLERED

EXIT ENCLOSURES & EXIT PASSAGEWAYS
 INTERIOR FINISH OF WALLS AND CEILINGS SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN THE FOLLOWING FOR USE GROUP R-2:

WALLS: **CLASS B**
 CEILINGS: **CLASS B**
 FLOORS: **CLASS II**

CORRIDORS

INTERIOR FINISH OF ACCESS CORRIDORS SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN THE FOLLOWING FOR USE GROUP R-2:

WALLS: **CLASS B**
 CEILINGS: **CLASS B**
 FLOORS: **CLASS II**

ROOMS AND ENCLOSED SPACES

INTERIOR FINISH OF WALLS AND CEILINGS SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN THE FOLLOWING FOR USE GROUP R-2:

WALLS: **CLASS C**
 CEILINGS: **CLASS C**
 FLOORS: **CLASS DOC FF-1**

NOTE: NOT ALL USE GROUPS LISTED ABOVE ARE APPLICABLE TO THIS PROJECT.

ROOM	FLOOR	BASE	WALLS	CEILING
KITCHEN	LVT - LUXURY VINYL TILE	4" PAINTED WOOD	PAINT & BACKSPLASH	PAINT
LIVING ROOM	CPT - CARPET	4" PAINTED WOOD	PAINT	PAINT
MASTER SUITE	CPT - CARPET	4" PAINTED WOOD	PAINT	PAINT
MASTER BATH	LVT - LUXURY VINYL TILE	4" PAINTED WOOD	PAINT	PAINT
LAUNDRY	LVT - LUXURY VINYL TILE	4" PAINTED WOOD	PAINT	PAINT
BATH	LVT - LUXURY VINYL TILE	4" PAINTED WOOD	PAINT	PAINT
BEDROOM	CPT - CARPET	4" PAINTED WOOD	PAINT	PAINT
PANTRY	LVT - LUXURY VINYL TILE	4" PAINTED WOOD	PAINT	PAINT
CLOSET	CPT - CARPET	4" PAINTED WOOD	PAINT	PAINT
HALLWAY	CPT - CARPET	4" PAINTED WOOD	PAINT	PAINT
MECH.	NONE	4" VINYL	PRIMER	PRIMER
BONUS ROOM	CPT - CARPET	4" PAINTED WOOD	PAINT	PAINT
BASEMENT	CPT - CARPET	4" PAINTED WOOD	PAINT	PAINT

GENERAL NOTES - ROOM FINISHES

- CONTRACTOR TO COORDINATE ALL FINISH SELECTIONS WITH OWNER PRIOR TO ORDER OR FABRICATION TO VERIFY QUALITY, PATTERN AND COLOR.
- THE TRANSITION BETWEEN DIFFERENT FLOOR FINISHES BETWEEN ROOMS SHALL OCCUR DIRECTLY BELOW THE CENTERLINE OF ALL DOORS IN THEIR CLOSED POSITION.
- ALL TILE SHALL BE INSTALLED IN ONE DIRECTION WITH THE GRAIN RUNNING PERPENDICULAR TO THE LONG DIRECTION OF THE ROOM OR SPACE. U.N.O.
- USE 1/2" CEMENT BOARD FOR ALL WALLS TO RECEIVE CERAMIC TILE. UNO. MATCH HEIGHT OF CEMENT BOARD WITH TILE.
- UNIT 201 IS LVT THROUGHOUT, NO CARPET.

SOUND MAT NOTE

INSTALL 1/4" SOUND MAT BETWEEN GYP-CRETE FLOOR TOPPING AND SUBFLOORING AT ALL SECOND FLOOR LOCATIONS TO RECEIVE LVT FLOORING.

GENERAL NOTES - FLOOR PLAN

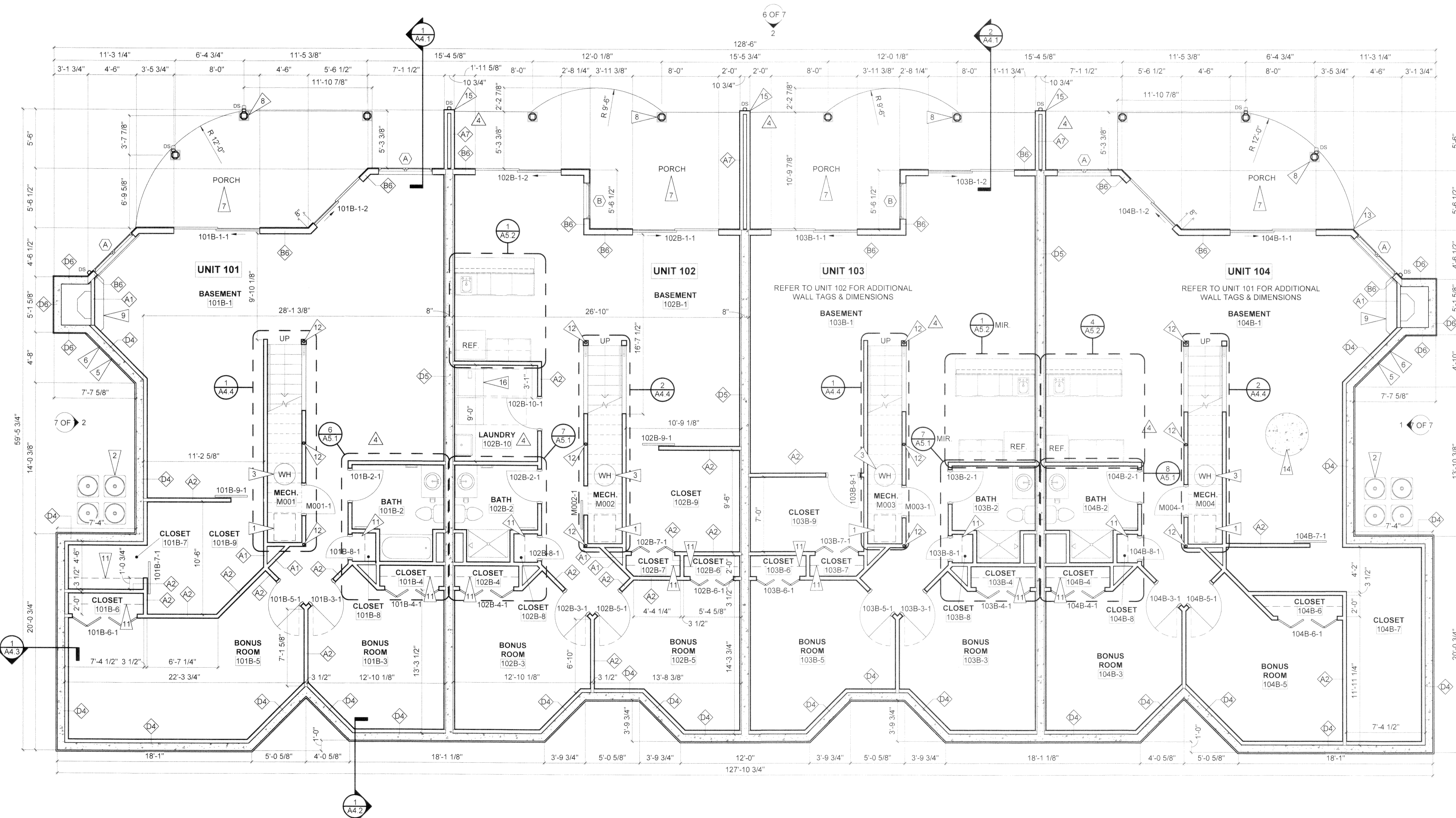
- ALL DIMENSIONS ARE TO FACE OF STUD AND/OR MASONRY (UNLESS NOTED OTHERWISE).
- VERIFY ALL DIMENSIONED CONDITIONS IN THE FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL CONDITIONS, CONTACT THE ARCHITECT FOR CLARIFICATION.
- WALL THICKNESS INDICATED ON DRAWINGS SHALL BE CONSTANT FOR THE ENTIRE LENGTH OF THE WALL (U.N.O.).
- PROVIDE BEHIND WALL REINFORCING AND BLOCKING AS REQUIRED FOR DOOR STOPS, ATTACHMENT OF MILLWORK, CASEWORK, TOILET ACCESSORIES, ETC. WOOD BLOCKING MUST BE FRTW.
- ALL OUTSIDE GYPSUM CORNERS THROUGHOUT THE INTERIOR SPACE TO HAVE METAL CORNER BEADS.
- SAW-CUT OR TOOLED CONTROL JOINTS AT INTERIOR EXPOSED CONCRETE FLOORS SHALL BE CAULKED WITH SEALANT AS REQUIRED.
- ALL EXTERIOR WINDOWS ARE CENTERED IN WALL PLANE U.N.O. REFER TO A2.1 AND A6.1 FOR MORE INFORMATION.
- ALL ANGLES TO BE 90 OR 135 DEGREES UNLESS NOTED OTHERWISE.
- FOR OVERHEAD DOOR SIZE COORDINATION, SEE DOOR REMARK 1 ON A6.1.

SYMBOL LEGEND

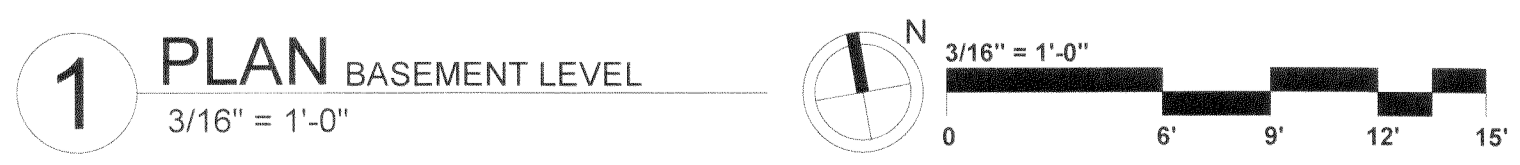
- ROOM NAME** INDICATES ROOM NAME AND NUMBER
- 101** INDICATES WALL CONSTRUCTION TYPE & HEIGHT, REFER TO SHEET G1.1 FOR DETAILED ASSEMBLY DESCRIPTIONS
- 101-1** TYPICAL SECTION AND DETAIL FLAGS: REFERS TO SECTION OR ELEVATION NUMBER
- 101-1** REFERS TO DRAWING SHEET NUMBER
- 101-1** INDICATES DOOR TYPE - REFER TO SHEET A6.1 FOR DOOR SCHEDULE & DOOR/FRAME MATERIALS & ELEVATIONS
- 101-1** INDICATES WINDOW TYPE. REFER TO SHEET A6.1 FOR WINDOW ELEVATIONS

FLAG NOTES - BASEMENT PLAN

- GAS FIRED FURNACE. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- A/C UNIT, TYP. COORDINATE WITH MECHANICAL DRAWINGS.
- WATER HEATER. SEE PLUMBING DRAWINGS.
- ELECTRICAL PANEL. REFER TO ELECTRICAL DRAWINGS.
- GAS METER LOCATION. REFER TO PLUMBING DRAWINGS.
- ELECTRIC METER. REFER TO ELECTRICAL DRAWINGS.
- 4" CONCRETE SLAB WITH 6x6 W1 4xW1 4 W.W.F. OVER 4" COMPACTED GRANULAR BASE. SLOPE AWAY FROM BUILDING.
- 8" ALUMINUM BOX WRAP OVER 6x6 PRESSURE TREATED WOOD POST, TYP.
- VENTLESS GAS FIREPLACE. REFER TO MECHANICAL, ELECTRICAL, & PLUMBING DRAWINGS. VERIFY FRAMING REQUIREMENTS WITH OWNER SELECTED MODEL PRIOR TO ROUGHING IN.
- NOT USED.
- PROVIDE (1) 12" DEEP WIRE SHELF AND (1) METAL COAT ROD. MOUNT ROD AT +54" A.F.F.
- PIPE COLUMN TO BE CONCEALED WITHIN WALL, TYP.
- ALIGN EDGE OF SLAB WITH CORNER OF BUILDING.
- 4" THICK CONCRETE FLOOR SLAB WITH 6x6 W1 4xW1 4 W.W.F. OVER 15 MIL VISQUEEN VAPOR BARRIER FULLY LAPPED & TAPED, OVER 4" COMPACTED GRANULAR BASE. PROVIDE 1" CUT JOINTS AT 12'-0" O.C. MAX. EACH WAY. FINISH ELEVATION = -10'-0".
- PRIVACY WALL TYPE 'A7' TO BE FINISHED WITH MANUFACTURED STONE VENEER - OWENS CORNING, COBBLEFIELD-OHIO CSV-2088.
- WASHER & DRYER (FRONT LOAD SIDE BY SIDE, ANSI COMPLIANT). SEE MEP DRAWINGS FOR HOOK-UPS AND VENTING.



I CERTIFY THAT, WITH THE EXCEPTION OF MINOR ARCHITECTURAL MODIFICATIONS MADE DURING CONSTRUCTION, THE DRAWINGS REPRESENT THE STRUCTURES AS BUILT.
 RANDALL C. PARSONS #16038



- REVISIONS**
- 09/17/20 BULLETIN #2
 - 05/14/21 BULLETIN #4
 - 12/06/21 BULLETIN #6

phone 330.666.5770
 fax 330.666.8812
 3660 Embassy Parkway
 Fairlawn, OH 44333
 mpj-architects.com

BASEMENT PLAN
 PROJECT #: 18019
 DATE: AUGUST 19, 2020
 VERMILION SHORES CONDOMINIUMS III - PHASE 1
 2760, 2764, 2768, 2772, 2776, 2780, 2784, & 2788 WHISPERING SHORES DRIVE
 VERMILION, OH 44089



GENERAL NOTES - FLOOR PLAN

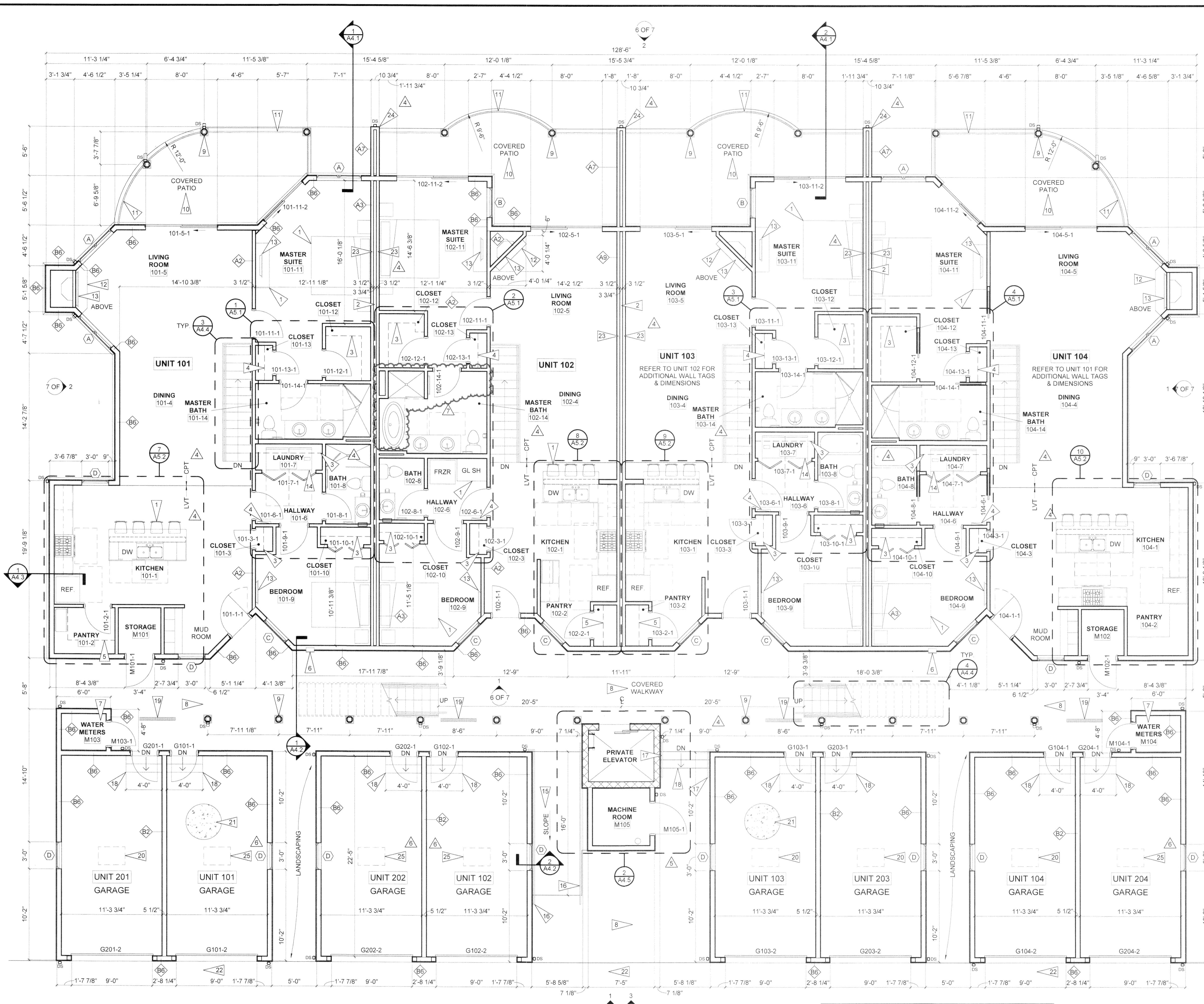
- ALL DIMENSIONS ARE TO FACE OF STUD AND/OR MASONRY (UNLESS NOTED OTHERWISE)
- VERIFY ALL DIMENSIONED CONDITIONS IN THE FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL CONDITIONS, CONTACT THE ARCHITECT FOR CLARIFICATION
- WALL THICKNESS INDICATED ON DRAWINGS SHALL BE CONSTANT FOR THE ENTIRE LENGTH OF THE WALL (U.N.O.)
- PROVIDE BEHIND WALL REINFORCING AND BLOCKING AS REQUIRED FOR DOOR STOPS, ATTACHMENT OF MILLWORK, CASEWORK, TOILET ACCESSORIES, ETC. WOOD BLOCKING MUST BE FRVTW.
- ALL OUTSIDE GYPSUM CORNERS THROUGHOUT THE INTERIOR SPACE TO HAVE METAL CORNER BEADS.
- SAW-CUT OR TOOLED CONTROL JOINTS AT INTERIOR EXPOSED CONCRETE FLOORS SHALL BE CAULKED WITH SEALANT AS REQUIRED.
- ALL EXTERIOR WINDOWS ARE CENTERED IN WALL PLANE U.N.O. REFER TO A2.1 AND A6.1 FOR MORE INFORMATION
- ALL ANGLES TO BE 90 OR 135 DEGREES UNLESS NOTED OTHERWISE
- FOR OVERHEAD DOOR SIZE COORDINATION, SEE DOOR REMARK 1 ON A6.1.

SYMBOL LEGEND

- ROOM NAME** 101 INDICATES ROOM NAME AND NUMBER
- INDICATES WALL CONSTRUCTION TYPE & HEIGHT. REFER TO SHEET G1.1 FOR DETAILED ASSEMBLY DESCRIPTIONS
- TYPICAL SECTION AND DETAIL FLAGS
- REFERS TO SECTION OR ELEVATION NUMBER
- REFERS TO DRAWING SHEET NUMBER
- INDICATES DOOR TYPE - REFER TO SHEET A6.1 FOR DOOR SCHEDULE & DOOR/FRAME MATERIALS & ELEVATIONS
- INDICATES WINDOW TYPE. REFER TO SHEET A6.1 FOR WINDOW ELEVATIONS

FLAG NOTES - FIRST FLOOR PLAN

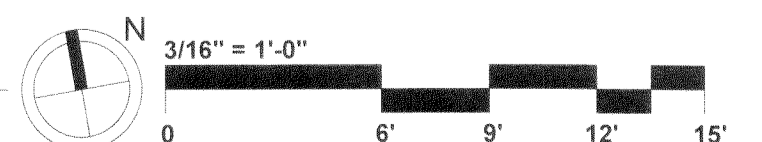
- FURNISHING TO BE PROVIDED BY OWNER/PURCHASER. TYP.
- INSTALL DRAFTSTOPPING PER OBC SECTION 718.3
- PROVIDE (1) 12" DEEP WIRE SHELF AND (1) METAL COAT ROD. MOUNT ROD AT +54" A.F.F.
- PROVIDE (5) EQUALLY SPACED WIRE SHELVES IN LINEN CLOSET (COLOR BY OWNER)
- PROVIDE (5) EQUALLY SPACED PLAM SHELVES IN PANTRY CLOSET (COLOR BY OWNER)
- SEMI-RECESSED ONE HOUR RATED 12x27 FIRE EXTINGUISHER CABINET TO BE MOUNTED 48" MAX A.F.F.
- WATER METERS. REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS
- 4" CONCRETE SLAB WITH 6x6 W1 4xW1 4 W.W.F. OVER 4" COMPACTED GRANULAR BASE - SLOPE AWAY FROM BUILDING.
- 8" ALUMINUM BOX WRAP OVER 6x6 PRESSURE TREATED WOOD POST, TYP.
- PLASTIC LUMBER 5/4 DECKING FLOOR OVER P.T. 2x12 FLOOR JOIST @ 16" O.C. REFER TO DETAIL ON A7.2 AND STRUCTURAL DRAWINGS FOR MORE INFORMATION
- 42" TALL POWDER COATED ALUMINUM RAILING WITH VERTICAL PICKETS, SPACED AT 4" O.C. COLOR: WHITE. TYP.
- VENTLESS GAS FIREPLACE. REFER TO MECHANICAL, ELECTRICAL, & PLUMBING DRAWINGS. VERIFY FRAMING REQUIREMENTS WITH OWNER SELECTED MODEL PRIOR TO ROUGHING IN.
- TELEVISION. REFER TO ELECTRICAL DRAWINGS.
- WASHER & DRYER (FRONT LOAD SIDE BY SIDE, ANSI COMPLIANT). SEE MEP DRAWINGS FOR HOOK-UPS AND VENTING.
- SLOPE CONCRETE PAVING 1:12 MAXIMUM IN DIRECTION INDICATED BY ARROW
- PREFABRICATED, POWDER COATED (WHITE) METAL HANDRAILS MOUNTED 36" ABOVE RAMP, EXTENDING 12" BEYOND TOP AND BOTTOM OF RAMP.
- PREFABRICATED, POWDER COATED (WHITE) METAL HANDRAILS MOUNTED 36" ABOVE STEPS, EXTENDING 12" BEYOND TOP AND ONE TREAD BEYOND BOTTOM OF STEPS.
- CONCRETE STEPS. 11" TREADS AND EQUAL HEIGHT 7" MAX. RISERS.
- LINEAR TRENCH DRAIN. SEE PLUMBING DRAWINGS.
- 2x3 ATTIC ACCESS. COORDINATE LOCATION WITH ROOF FRAMING. CENTRALLY LOCATE AS MUCH AS POSSIBLE. SEE ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION
- 4" THICK CONCRETE FLOOR SLAB WITH #6 W1 4xW1 4 W.W.F. OVER 15 MIL VISQUEEN VAPOR BARRIER FULLY LAPPED & TAPED, OVER 4" COMPACTED GRANULAR BASE. PROVIDE 1" CUT JOINTS AT 12'-0" O.C. MAX. EACH WAY. SEE CIVIL DRAWINGS FOR GARAGE SLAB ELEVATIONS.
- ASPHALT PAVING. SEE CIVIL DRAWINGS.
- INSTALL SOUND ATTENUATION BATTS IN DEMISING WALL. SEE GENERAL NOTES ON G1.1 FOR ADDITIONAL INFORMATION.
- PRIVACY WALL TYPE: A7 TO BE FINISHED WITH MANUFACTURED STONE VENEER - OWENS CORNING, COBBLEFIELD-OHIO CSV-2088.
- 2x3 ATTIC ACCESS. COORDINATE LOCATION WITH ROOF FRAMING. CENTRALLY LOCATE AS MUCH AS POSSIBLE. SEE ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION. PROVIDE WERNER AA1510B ALUMINUM ATTIC LADDER.



I CERTIFY THAT, WITH THE EXCEPTION OF MINOR ARCHITECTURAL MODIFICATIONS MADE DURING CONSTRUCTION, THE DRAWINGS REPRESENT THE STRUCTURES AS BUILT.

Randall C. Parsons
RANDALL C. PARSONS #16038

1 PLAN FIRST FLOOR
3/16" = 1'-0"



- ### REVISIONS
- 05/14/21 BULLETIN #4
 - 08/18/21 BULLETIN #5
 - 12/06/21 BULLETIN #6
 - 12/30/21 BULLETIN #7

phone 330.666.5770
fax 330.666.8812

3650 Embassy Parkway
Fairlawn, OH 44133

MPG ARCHITECTS
MANN • PARSONS • GRAY

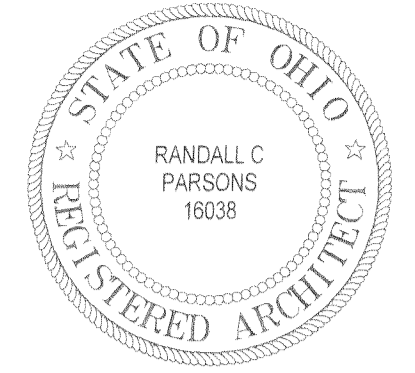
mpg-architects.com

FIRST FLOOR PLAN

PROJECT #: 18019 DATE: AUGUST 19, 2020

VERMILION SHORES CONDOMINIUMS III - PHASE 1

2760, 2764, 2768, 2772, 2776, 2780, 2784, & 2788 WHISPERING SHORES DRIVE
VERMILION, OH 44089



GENERAL NOTES - FLOOR PLAN

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- ALL ANGLES TO BE 90 OR 135 DEGREES UNLESS NOTED OTHERWISE.
- FOR OVERHEAD DOOR SIZE COORDINATION, SEE DOOR REMARK 1 ON A6.1.

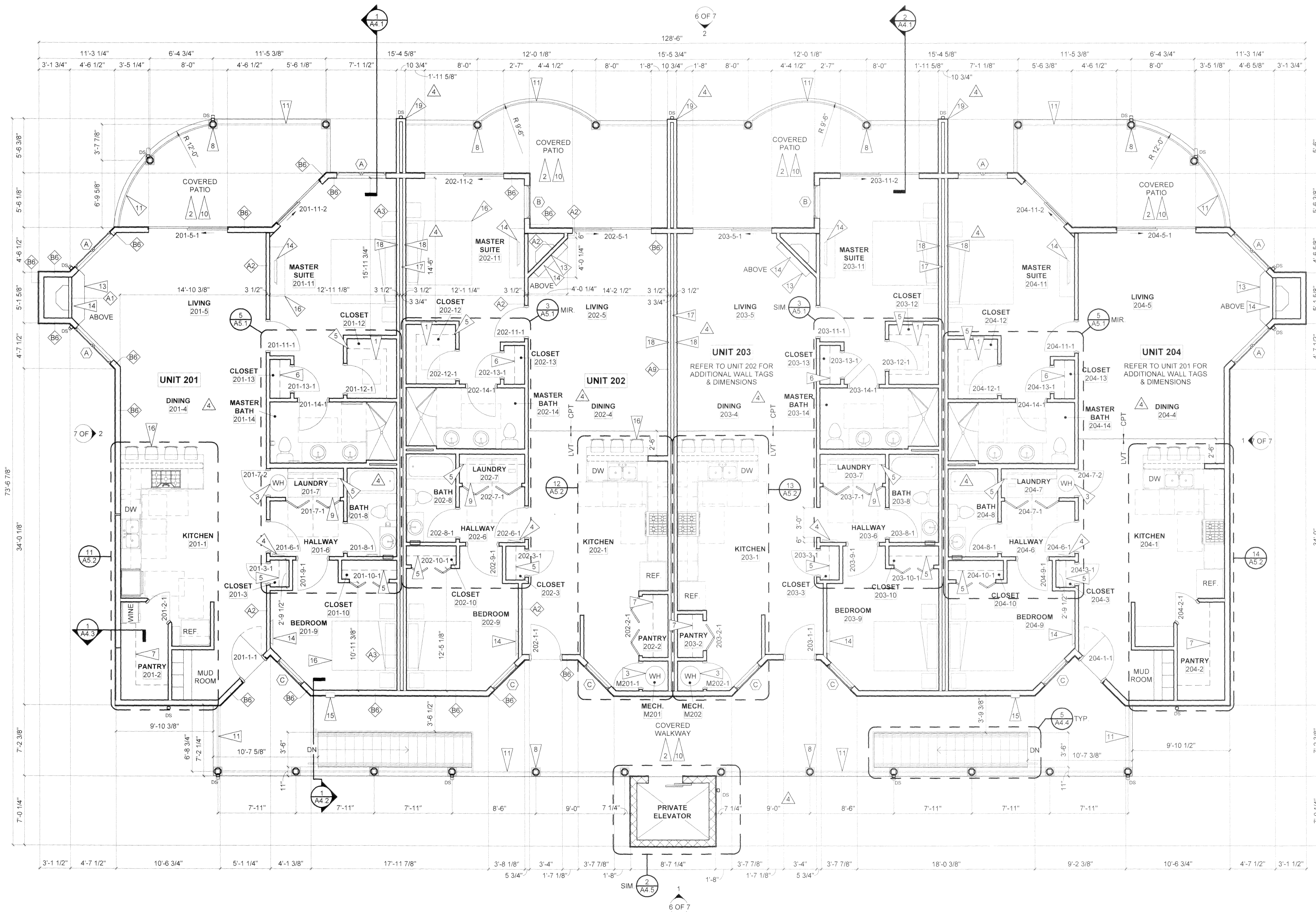
- ### REVISIONS
- 05/14/21 BULLETIN #4
 - 12/06/21 BULLETIN #6

SYMBOL LEGEND

- ROOM NAME** INDICATES ROOM NAME AND NUMBER
- 101** INDICATES WALL CONSTRUCTION TYPE & HEIGHT, REFER TO SHEET G1.1 FOR DETAILED ASSEMBLY DESCRIPTIONS
- 3B** TYPICAL SECTION AND DETAIL FLAGS
- 101-1** REFERS TO SECTION OR ELEVATION NUMBER
- 101-2** REFERS TO DRAWING SHEET NUMBER
- 101-3** INDICATES DOOR TYPE - REFER TO SHEET A6.1 FOR DOOR SCHEDULE & DOOR/FRAME MATERIALS & ELEVATIONS
- 11** INDICATES WINDOW TYPE, REFER TO SHEET A6.1 FOR WINDOW ELEVATIONS

FLAG NOTES - SECOND FLOOR PLAN

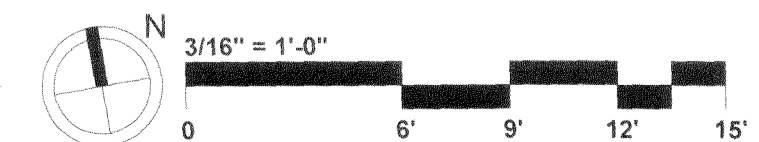
- 22"x30" ATTIC ACCESS HATCH ABOVE.
- VINYL SOFFIT MATERIAL CEILING ATTACHED TO BOTTOM OF P.T. 2x10 FLOOR JOIST @ 18" O.C.
- WATER HEATER. SEE PLUMBING DRAWINGS.
- ELECTRICAL PANEL. REFER TO ELECTRICAL DRAWINGS.
- PROVIDE (1) 12" DEEP WIRE SHELF AND (1) METAL COAT ROD. MOUNT ROD AT +54" A.F.F.
- PROVIDE (5) EQUALLY SPACED WIRE SHELVES IN LINEN CLOSET (COLOR BY OWNER).
- PROVIDE (5) EQUALLY SPACED PLAM SHELVES IN PANTRY CLOSET (COLOR BY OWNER).
- P.T. 6x6 WOOD COLUMN TO SUPPORT BALCONIES ABOVE, TYP.
- WASHER & DRYER (FRONT LOAD SIDE BY SIDE, ANSI COMPLIANT), SEE MEP DRAWINGS FOR HOOK-UPS AND VENTING.
- PLASTIC LUMBER 5/4 DECKING FLOOR OVER P.T. 2x12 FLOOR JOIST @ 16" O.C. REFER TO DETAIL ON A7.2 AND STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- 42" TALL POWDER COATED ALUMINUM RAILING WITH VERTICAL PICKETS, SPACED AT 4" O.C. COLOR: WHITE, TYP.
- VENTLESS GAS FIREPLACE. REFER TO MECHANICAL, ELECTRICAL, & PLUMBING DRAWINGS. VERIFY FRAMING REQUIREMENTS WITH OWNER SELECTED MODEL PRIOR TO ROUGHING IN.
- TELEVISION. REFER TO ELECTRICAL DRAWINGS.
- SEMI-RECESSED 12x27 FIRE EXTINGUISHER CABINET TO BE MOUNTED 48" MAX A.F.F.
- FURNISHING TO BE PROVIDED BY OWNER/PURCHASER, TYP.
- INSTALL DRAFTSTOPPING PER OBC SECTION 718.3.
- INSTALL SOUND ATTENUATION BATTS IN DEMISING WALL. SEE GENERAL NOTES ON G1.1 FOR ADDITIONAL INFORMATION.
- PRIVACY WALL TYPE "A7" TO BE FINISHED WITH MANUFACTURED STONE VENEER - OWENS CORNING, COBBLEFIELD-OHIO CSV-2088.



I CERTIFY THAT, WITH THE EXCEPTION OF MINOR ARCHITECTURAL MODIFICATIONS MADE DURING CONSTRUCTION, THE DRAWINGS REPRESENT THE STRUCTURES AS BUILT.

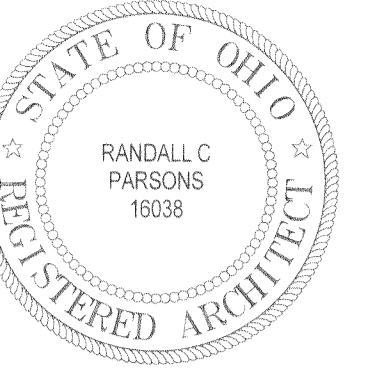
Randall C. Parsons
 RANDALL C. PARSONS #16038

1 PLAN SECOND FLOOR
 3/16" = 1'-0"



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 fax 330.666.8812
 3660 Embassy Parkway
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MPG ARCHITECTS
 mpg-architects.com

SECOND FLOOR PLAN
 PROJECT # 18019
 DATE: AUGUST 19, 2020
VERMILION SHORES CONDOMINIUMS III - PHASE 1
 2760, 2764, 2768, 2772, 2776, 2780, 2784, & 2788 WHISPERING SHORES DRIVE
 VERMILION, OH 44089



GENERAL NOTES - ELEVATIONS

- VERIFY ALL DIMENSIONED CONDITIONS IN THE FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT THE ARCHITECT FOR CLARIFICATION.
- REFER TO STRUCTURAL DETAILS FOR PROPER REINFORCEMENT OF MASONRY AT ALL WINDOW AND DOOR OPENINGS, TYPICAL.
- REFER TO STRUCTURAL DETAILS FOR TYPICAL CONTROL JOINT CONSTRUCTION.
- FOR OVERHEAD DOOR SIZE COORDINATION, SEE DOOR REMARK 1 ON A6.1.

FLAG NOTES - EXTERIOR ELEVATIONS

- APPROXIMATE FINISHED GRADE.
- MANUFACTURED STONE VENEER - OWENS CORNING, COBBLEFIELD-OHIO CSV-2088
- PLASTIC LUMBER DECK
- 36" HIGH, POWDER COATED ALUMINUM RAILING, COLOR: WHITE.
- 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOF - CERTAINTED, INDEPENDENCE SHINGLE, COLOR: DRIFTWOOD.
- VINYL SHAKE SIDING - CERTAINTED, CEDAR IMPRESSIONS, RANDOM HAND SPLIT SHAKES, COLOR: DESERT SAND.
- 8" ALUMINUM BOX WRAP OVER 6x6 PRESSURE TREATED WOOD POST.
- 6x6 PREFINISHED ALUMINUM HEAVY-DUTY COMMERCIAL GRADE GUTTER, TYP. SLOPE 1/16" PER 12" MINIMUM TO DOWNSPOUTS, COLOR AND STYLE/PROFILE TO MATCH OTHER BUILDINGS ON SITE.
- 5" PREFINISHED ALUMINUM HEAVY-DUTY COMMERCIAL GRADE DOWNSPOUT, COLOR AND STYLE/PROFILE TO MATCH OTHER BUILDINGS ON SITE.
- CONTINUOUS RIDGE VENT.
- INTEGRATED STONE VENEER BAND, STYLE AND COLOR TO MATCH OTHER BUILDINGS ON SITE.
- 4" VINYL TRIM.
- FIXED SHUTTER, COLOR AND STYLE TO MATCH OTHER BUILDINGS ON SITE.
- PREFINISHED WHITE METAL CAP AT FAUX CHIMNEY, COLOR TO MATCH OTHER BUILDINGS ON SITE.
- 3' TALL WEATHERVANE, MATCH EXISTING ADJACENT BUILDINGS.
- CUPOLA INTERIOR - WHITE SOFFIT ON CEILING WITH LED LIGHT, SEE ELECTRICAL DRAWINGS.

EXTERIOR FINISH MATERIALS MATCHING

CONTRACTOR TO FIELD VERIFY ALL MATERIALS TO ENSURE THEY MATCH EXISTING BUILDINGS ON SITE.

REVISIONS
4 05/14/21 BULLETIN #4

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fax 330.666.8812

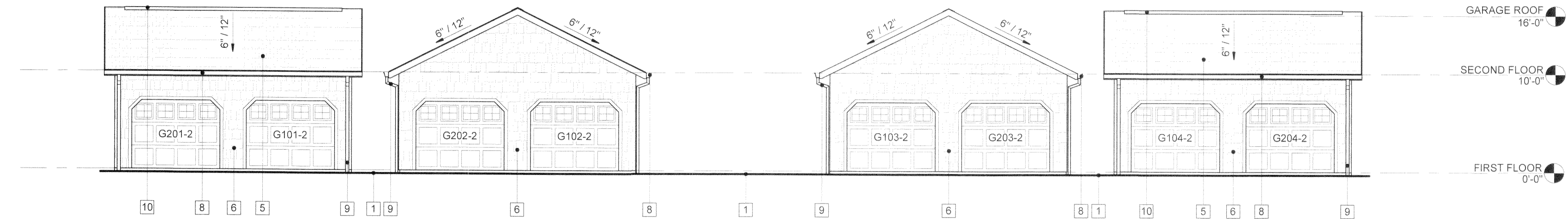
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mpg-architects.com

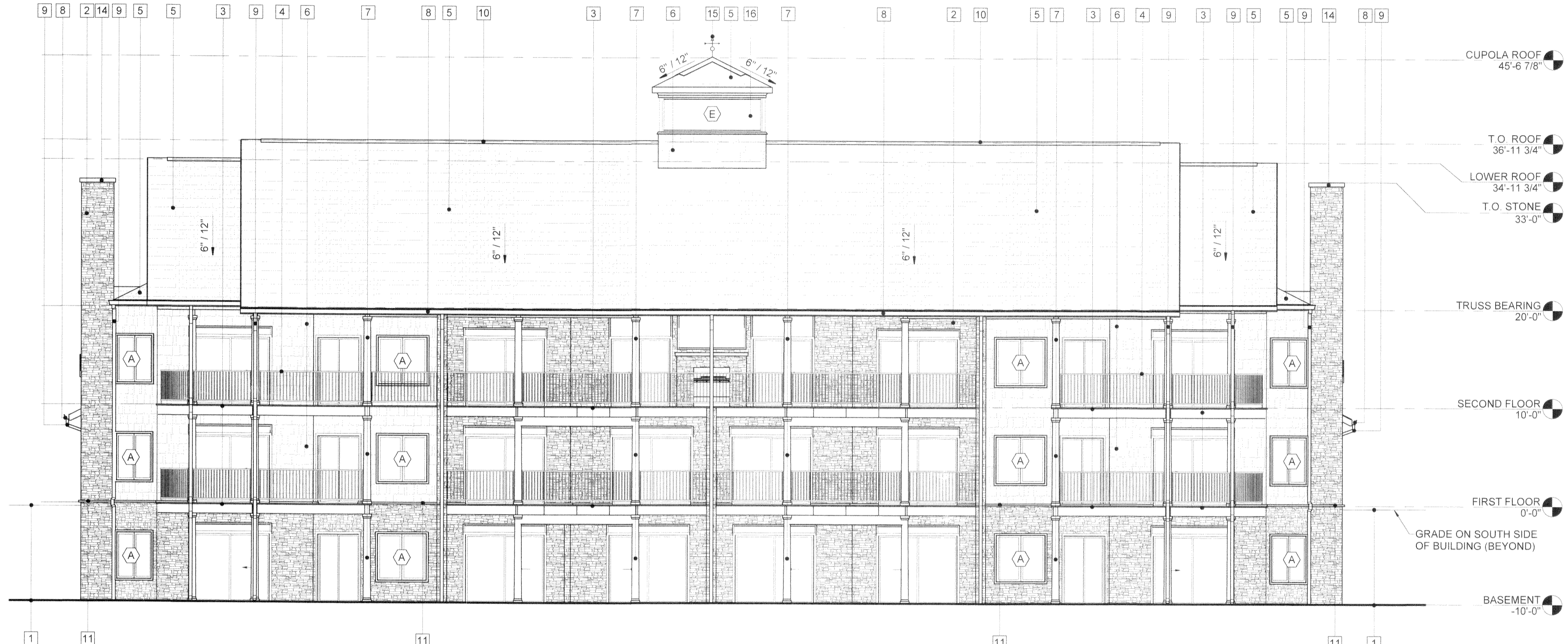
EXTERIOR ELEVATIONS

PROJECT # 18019 DATE: AUGUST 19, 2020

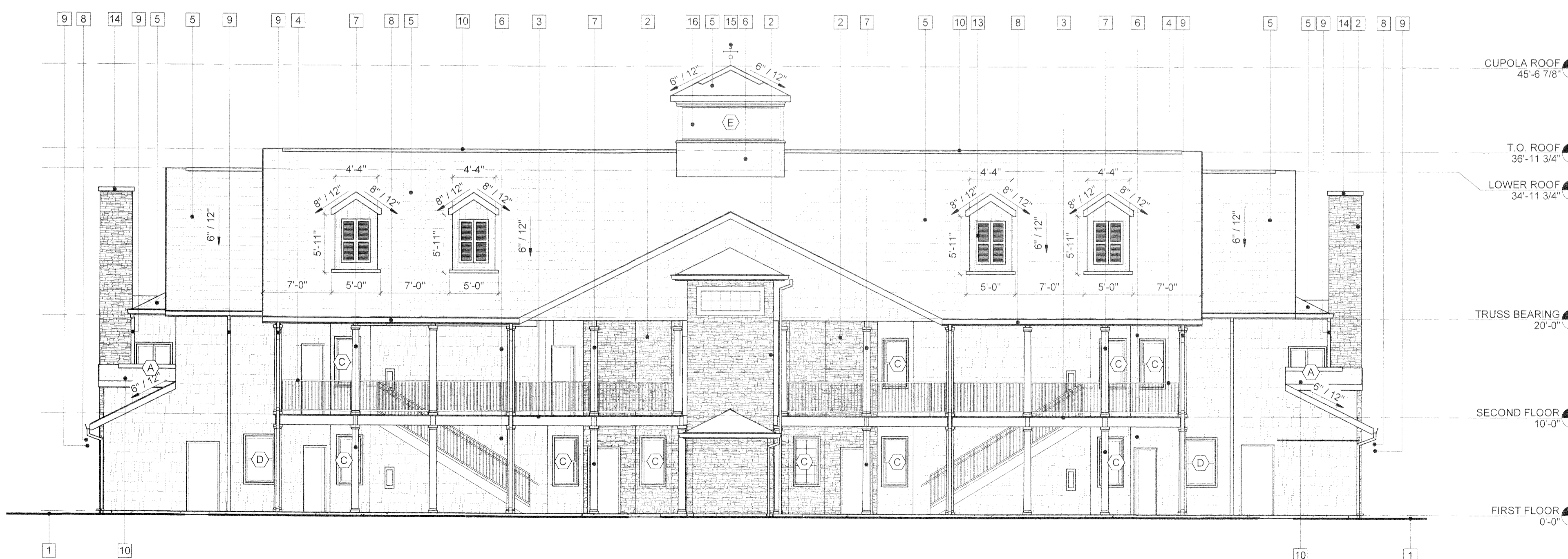
VERMILION SHORES CONDOMINIUMS III - PHASE 1
2760, 2764, 2768, 2772, 2776, 2780, 2784, & 2788 WHISPERING SHORES DRIVE
VERMILION, OH 44089



3 ELEVATION GARAGES - SOUTH
1/8" = 1'-0"

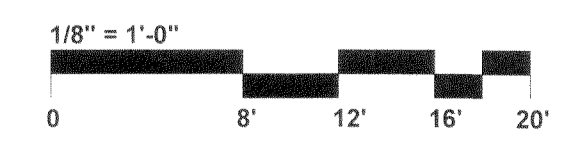


2 ELEVATION NORTH
1/8" = 1'-0"



1 ELEVATION SOUTH
1/8" = 1'-0"

I CERTIFY THAT, WITH THE EXCEPTION OF MINOR ARCHITECTURAL MODIFICATIONS MADE DURING CONSTRUCTION, THE DRAWINGS REPRESENT THE STRUCTURES AS BUILT.
R. Parsons
RANDALL C. PARSONS #16038





GENERAL NOTES - ELEVATIONS

1. VERIFY ALL DIMENSIONED CONDITIONS IN THE FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT THE ARCHITECT FOR CLARIFICATION.
2. REFER TO STRUCTURAL DETAILS FOR PROPER REINFORCEMENT OF MASONRY AT ALL WINDOW AND DOOR OPENINGS, TYPICAL.
3. REFER TO STRUCTURAL DETAILS FOR TYPICAL CONTROL JOINT CONSTRUCTION.
4. FOR OVERHEAD DOOR SIZE COORDINATION, SEE DOOR REMARK 1 ON A6.1.

FLAG NOTES - EXTERIOR ELEVATIONS

1. APPROXIMATE FINISHED GRADE.
2. MANUFACTURED STONE VENEER - OWENS CORNING, COBBLEFIELD-OHIO CSV-2088.
3. PLASTIC LUMBER DECK.
4. 36" HIGH, POWDER COATED ALUMINUM RAILING, COLOR: WHITE.
5. 30 YEAR DIMENSIONAL ASPHALT SHINGLE ROOF - CERTAINTED, INDEPENDENCE SHINGLE, COLOR: DRIFTWOOD.
6. VINYL SHAKE SIDING - CERTAINTED, CEDAR IMPRESSIONS, RANDOM HAND SPLIT SHAKES, COLOR: DESERT SAND.
7. 8" ALUMINUM BOX WRAP OVER 6x6 PRESSURE TREATED WOOD POST.
8. 6x6 PREFINISHED ALUMINUM HEAVY-DUTY COMMERCIAL GRADE GUTTER, TYP. SLOPE 1/16" PER 12" MINIMUM TO DOWNSPOUTS. COLOR AND STYLE/PROFILE TO MATCH OTHER BUILDINGS ON SITE.
9. 5" PREFINISHED ALUMINUM HEAVY-DUTY COMMERCIAL GRADE DOWNSPOUT, COLOR AND STYLE/PROFILE TO MATCH OTHER BUILDINGS ON SITE.
10. CONTINUOUS RIDGE VENT.
11. INTEGRATED STONE VENEER BAND, STYLE AND COLOR TO MATCH OTHER BUILDINGS ON SITE.
12. 4" VINYL TRIM.
13. FIXED SHUTTER, COLOR AND STYLE TO MATCH OTHER BUILDINGS ON SITE.
14. PREFINISHED WHITE METAL CAP AT FAUX CHIMNEY, COLOR TO MATCH OTHER BUILDINGS ON SITE.
15. 3" TALL WEATHERVANE, MATCH EXISTING ADJACENT BUILDINGS.
16. CUPOLA INTERIOR - WHITE SOFFIT ON CEILING WITH LED LIGHT, SEE ELECTRICAL DRAWINGS.

EXTERIOR FINISH MATERIALS MATCHING

CONTRACTOR TO FIELD VERIFY ALL MATERIALS TO ENSURE THEY MATCH EXISTING BUILDINGS ON SITE.

REVISIONS

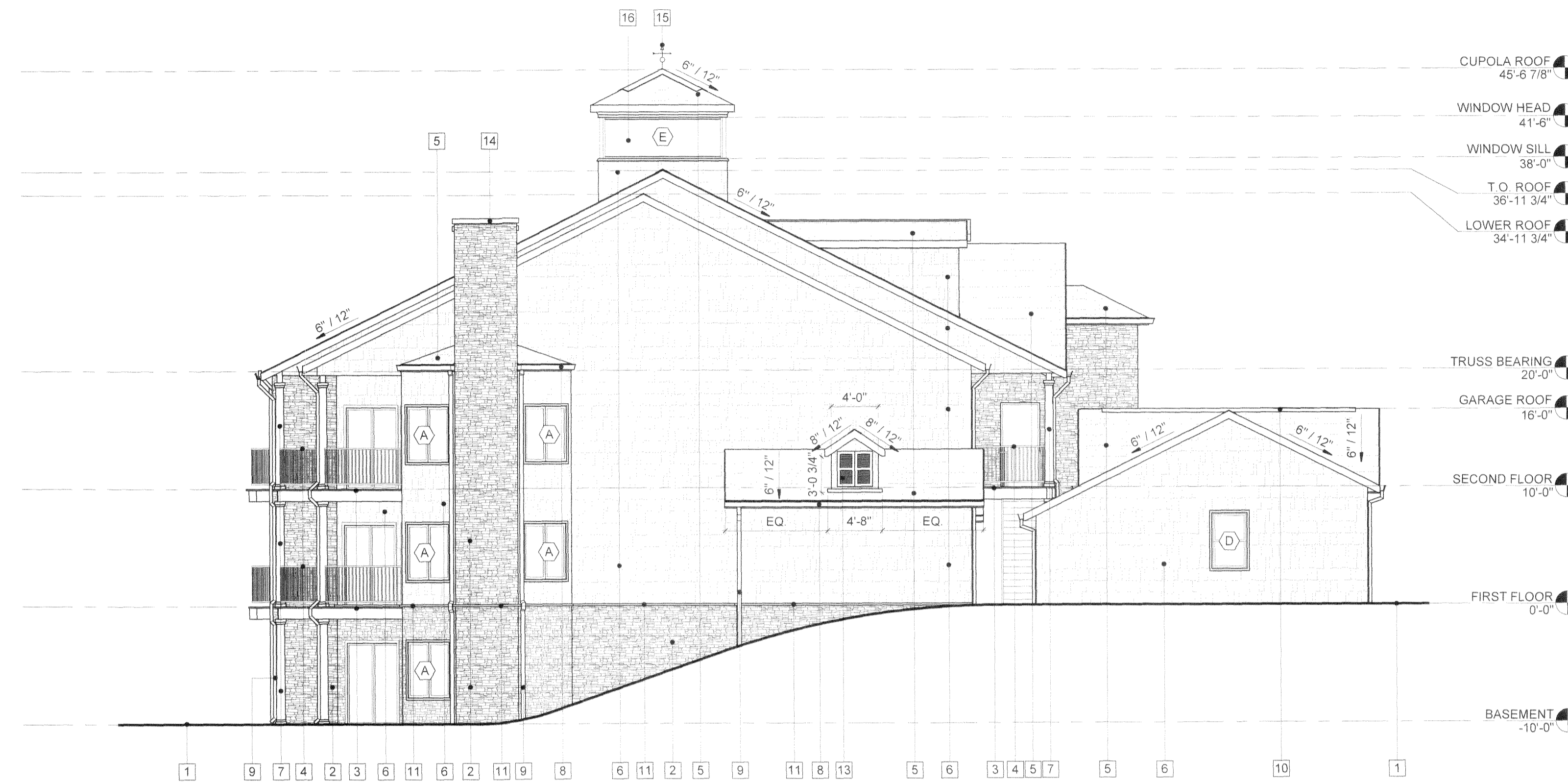
4 05/14/21 BULLETIN #4

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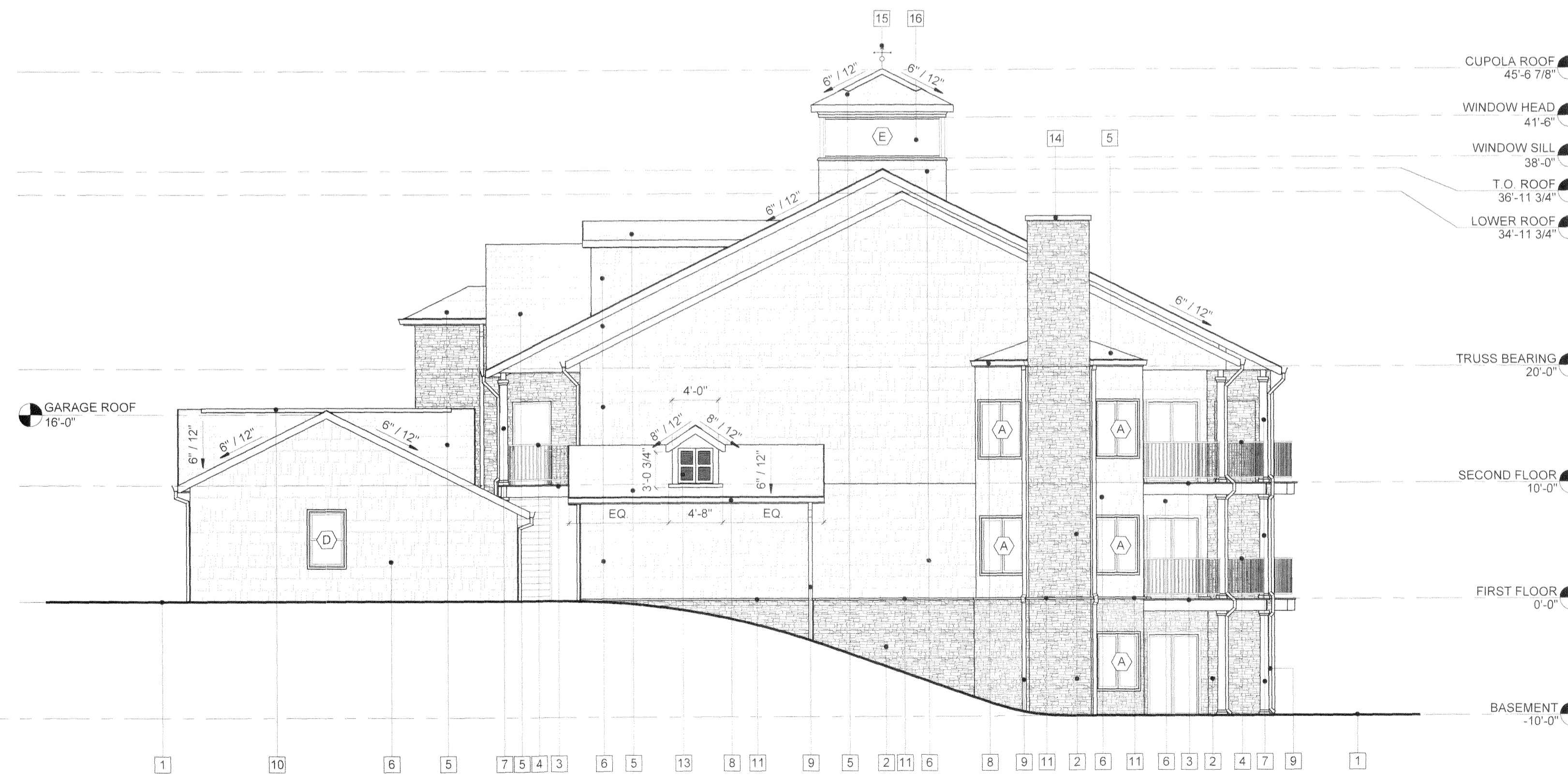
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EXTERIOR ELEVATIONS

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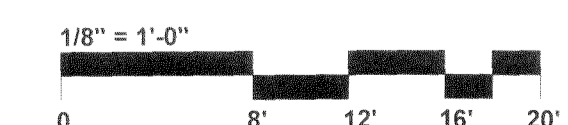


2 ELEVATION WEST
1/8" = 1'-0"



1 ELEVATION EAST
1/8" = 1'-0"

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R. Parsons
RANDALL C. PARSONS #16038



Plat Sheet

Instrument # 2022-0888790

Film # _____

Name of Plat: Vermilion Shores Condominiums III Phase 1

Owner: Vermilion Shores LLC.

Description: Situated in the City of Vermilion, County of Lorain, State of Ohio: being a part of Original Brownhelm Township Lot 5 = 1.3693 acres / Easements also

Creating Units 101, 102, 103, 104 and 201, 202, 203, 204

Floor Plans: yes see image

Related/Margin: Declaration following # 2022-0888791

Comments: _____

Vol. 112

Receiving Stamp

Pg. 44, 45, 46, 47, 48, 49, 50.

EXAMCO TITLE SERVICES
6155 PARK SQUARE DRIVE
UNIT 3 STE 8
LORAIN, OH 44053

Amount: 608.50

Initials: SC