



Know what's below.

Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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S/L 41 HIGHLAND HEIGHTS ORIGINAL BROWNHELM TOWNSHIP LOT 15 CITY OF VERMILION LORAIN COUNTY, OHIO

CASSELL REALTY BREEZEWOOD LANE CONDOMINIUMS PHASE 4

CLIENT DATE 1/11/2021

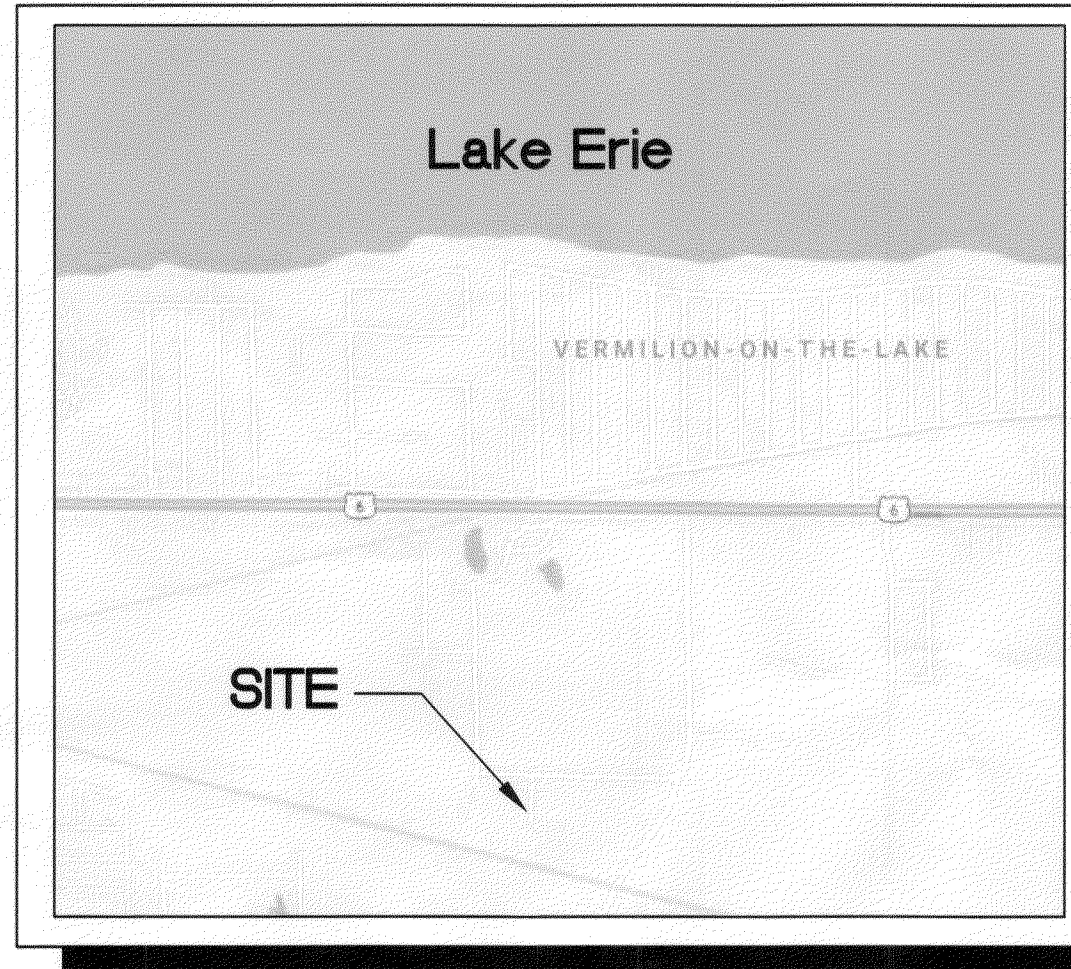
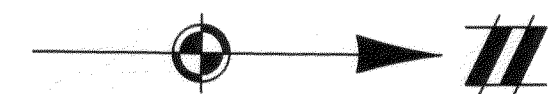
TRANSFERRED IN COMPLIANCE WITH SEC. 319-202 OHIO REV. CODE FEB 24 2021 J. CRAIG SNODGRASS, CPA, CGFM LORAIN COUNTY AUDITOR

REVISIONS SCALE 0 10 20 1" = 20 FEET DR. ZBM CH. DRH P.M. P. ERAK BOOK -- JOB 20002748 SHEET NO. 1 OF 4

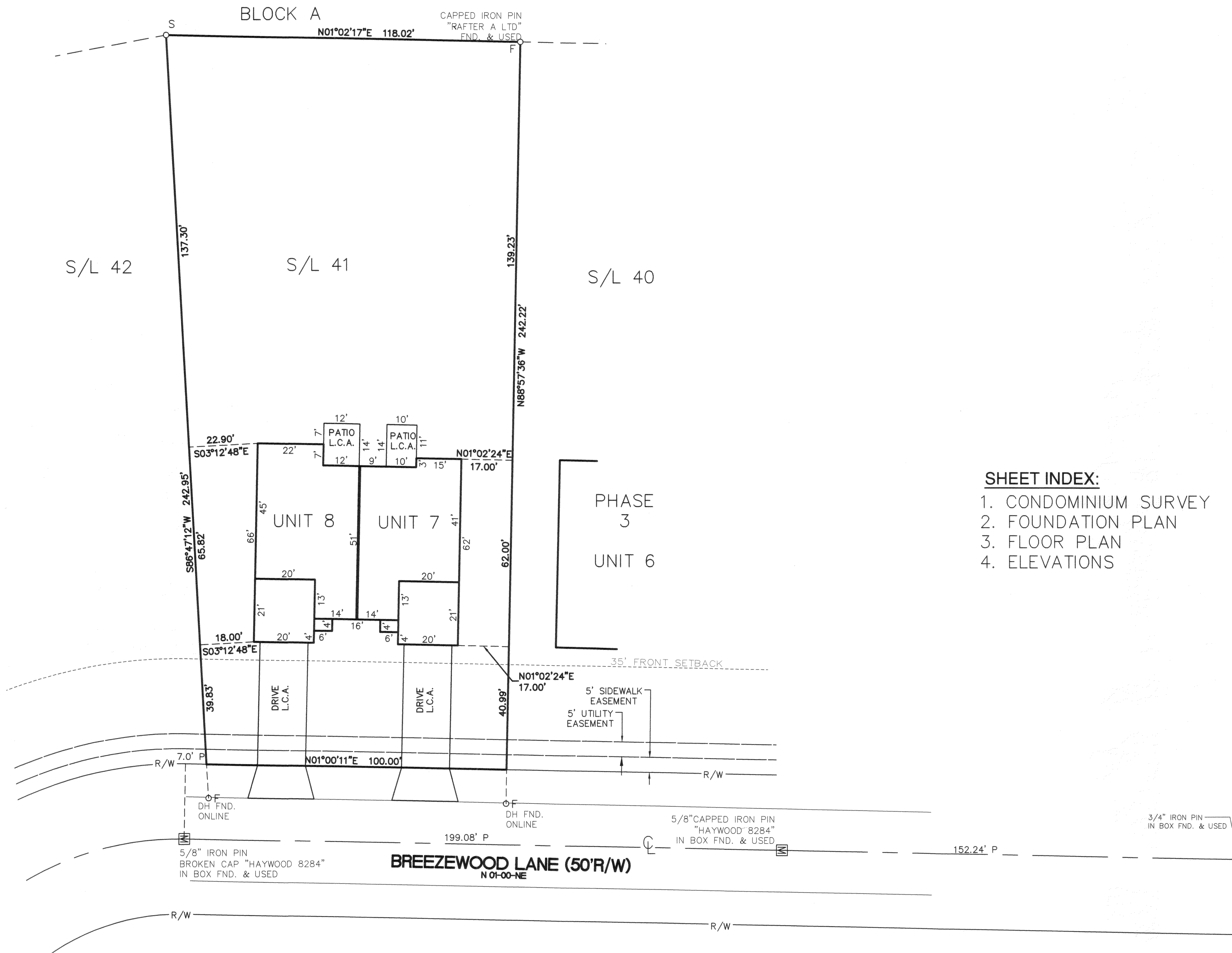
BREEZEWOOD LANE CONDOMINIUMS PHASE 4

CITY OF VERMILION, COUNTY OF LORAIN COUNTY, STATE OF OHIO

PART OF ORIGINAL BROWNHELM TOWNSHIP LOT 15 ALL OF S/L 41 OF HIGHLAND HEIGHTS SUBDIVISION NO. 4 LORAIN COUNTY PLAT VOLUME 92 PAGE 52



VICINITY MAP: NOT TO SCALE



LEGEND:

- F MONUMENTATION FOUND AS NOTED
- M MONUMENT BOX FOUND AS NOTED
- S SET 5/8" DIAMETER REBAR, 30" LONG WITH PLASTIC "ATWELL" CAP
- ⊕ CENTERLINE
- R/W RIGHT-OF-WAY
- P PLAT
- L.C.A. LIMITED COMMON AREA
- DH DRILL HOLE

SHEET INDEX:

1. CONDOMINIUM SURVEY
2. FOUNDATION PLAN
3. FLOOR PLAN
4. ELEVATIONS

CERTIFICATION:

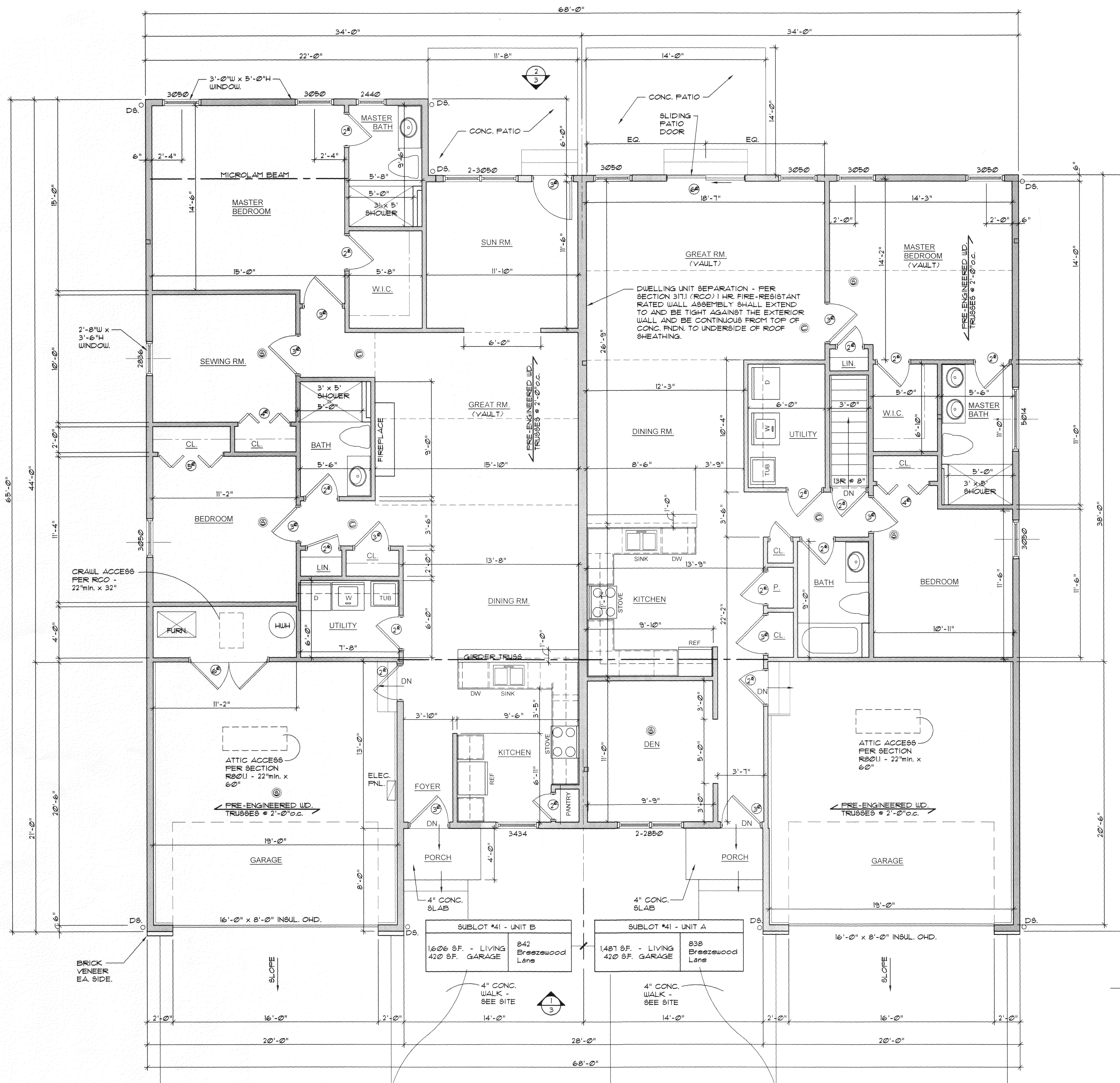
THIS IS TO CERTIFY THAT AT THE REQUEST OF CASSELL REALTY I HAVE PREPARED THIS CONDOMINIUM SURVEY FOR BREEZEWOOD LANE CONDOMINIUMS PHASE 4. THE DRAWINGS CORRECTLY REPRESENT THE BUILDING AS CONSTRUCTED AND THERE ARE NO ENCROACHMENTS. DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. BEARINGS ARE BASED ON STATE PLANE OHIO NORTH ZONE.

Alex E. Marks, Professional Surveyor No. 8616, dated 02/09/2021



REINHARDT & ASSOCIATES 4385 E. LAKE ROAD SHEFFIELD LAKE, OH 44054

Plat Vol. 109 pg. 56-59



LOCAL CODES AND ORDINANCES

CITY: VERMILION
 ZONING CLASSIFICATION: R-4a TWO-FAMILY RESIDENCE

SETBACKS
 FRONT YARD 35'
 SIDE YARD 15' MIN, SUM OF SIDES 35'
 REAR YARD 35'

MIN LOT AREA - 16,900 SF.
 MIN LOT WIDTH - 85' SF.
 MAX HEIGHT - 30'

RESIDENCE
 UNIT 'A' 1,487 s.f.
 GARAGE 420 s.f.
 TOTAL 1,907 s.f.

UNIT 'B'
 GARAGE 420 s.f.
 TOTAL 2,026 s.f.

RCO 2019

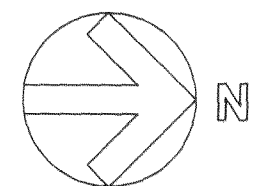
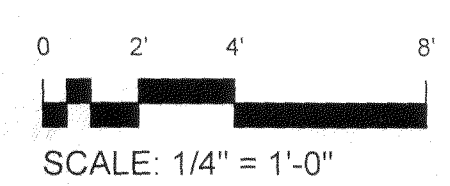
USE GROUP... SINGLE FAMILY DWELLING
 CONSTRUCTION TYPE... 5B
 CONSTRUCTION...
 FLOOR... PLYWOOD SHEATHING ON WOOD JOISTS
 WALLS... PLYWOOD SHEATHING ON WOOD STUDS
 ROOF... PLYWOOD SHEATHING ON WOOD TRUSSES
 STRUCTURE... LOAD BEARING EXTERIOR WALLS

- NOTES**
- ALL WINDOW UNITS 'ANDERSEN' 200 SERIES WINDOWS WITH INSECT SCREEN UNLESS STATED OTHERWISE. WINDOW UNITS MEET/ EXCEED REQUIRED OPENINGS FOR EMERGENCY ESCAPE AND RESCUE PER SECTION 310 OF THE 2019 RESIDENTIAL CODE OF OHIO. FENESTRATION U-FACTOR 0.30 MIN.
 - ALL CEILING HEIGHTS AT 8'-0" ABOVE FINISH FLOOR UNLESS STATED OTHERWISE AND R49 BATT INSULATION ABOVE CEILING.
 - ALL EXTERIOR WALLS - 2x6 WOOD STUDS AT 1'-4" O.C. WITH AIR / WATER BARRIER ON 1/2" EXTERIOR SHEATHING AND R20 BATT INSULATION IN WALL CAVITY.
 - ALL INTERIOR WALLS - 2x4 WOOD STUDS AT 1'-4" O.C. WITH 1/2" GYPSUM BOARD EACH SIDE - PAINTED.
 - PROVIDE SMOKE DETECTORS AS REQUIRED PER SECTION 314 OF RCO.
 - PROVIDE CARBON MONOXIDE DETECTORS AS REQUIRED PER SECTION 315 OF RCO.
 - BUILDING THERMAL ENVELOPE SHALL COMPLY WITH ENERGY EFFICIENCY CHAPTER 11 - PRESCRIPTIVE COMPLIANCE METHOD SECTIONS 1101.14 THROUGH 1104 RCO 2019.

SYMBOL LEGEND

- SMOKE DETECTOR
- SMOKE / CO DETECTOR
- INCHES / FEET DOOR & WINDOW SIZE IN FEET & INCHES.
- SWING TYPE DOOR - BUTT HINGES, PASSAGE SET OR LOCKSET HARDWARE BY OWNER

FLOOR PLAN



I CERTIFY THAT WITH THE EXCEPTION OF MINOR ARCHITECTURAL MODIFICATIONS MADE DURING CONSTRUCTION, THE DRAWINGS REPRESENT THE STRUCTURES AS BUILT.

Giuseppe Ernandes, R. Architect #10074

GE Architect

3009 State Rd. Rt. 60
 Vermilion, Ohio 44089

Tel.: (440) 308-7284
 Email: gearch1@yahoo.com

December 29, 2020

Floor Plan

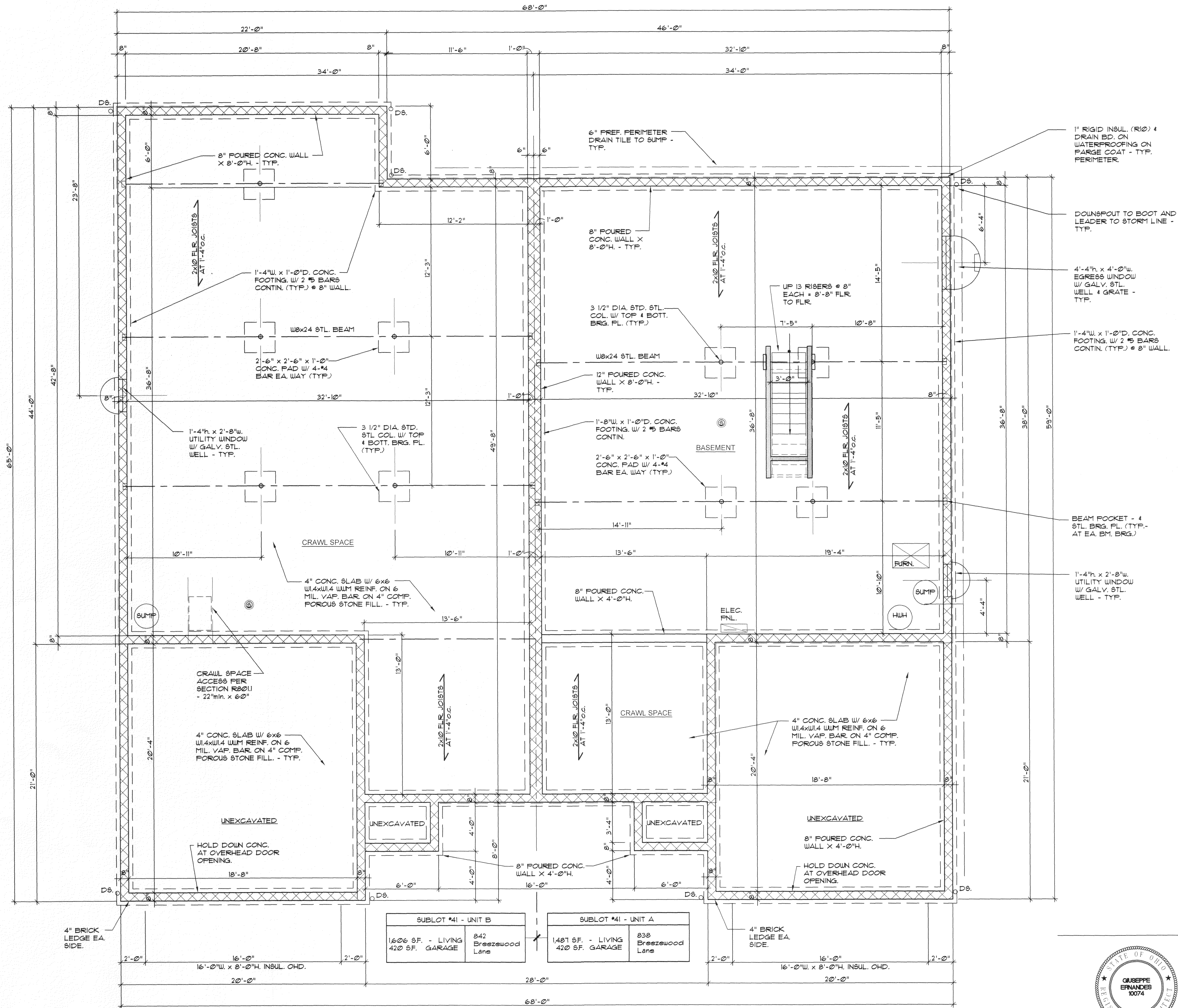
New Residence

Sub Lot 41

838 / 842 Breezewood Lane
 Vermilion, Ohio 44089

project number 2012
 sheet

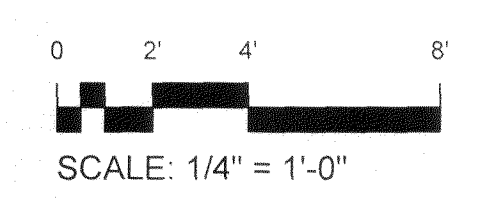
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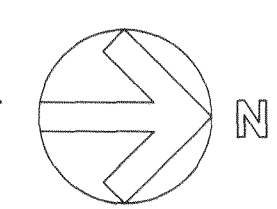
GENERAL FOUNDATION NOTES:
 GENERAL CONTRACTOR SHALL VERIFY ALL LAYOUT DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING ANY WORK.
 ALL CONCRETE FOOTINGS SHALL BE INSTALLED TO VIRGIN SOIL AT MINIMUM DEPTH AS SHOWN ON THE DRAWINGS. CONCRETE FOOTINGS HAVE BEEN DESIGNED FOR MINIMUM SOIL BEARING OF 2000 PSI. IF SOIL CONDITIONS SUCH AS SEEPAGE WATER IS ENCOUNTERED, OR WHEN DIFFERENT BEARING MATERIAL IS EVIDENT AND THERE IS QUESTION OF THE BEARING CAPACITY, STOP WORK AND CONSULT THE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH ANY FURTHER WORK IN THAT AREA.
 DURING EXCAVATION FOR FOOTINGS AND FOUNDATIONS, CARE SHALL BE TAKEN NOT TO DISTURB THE BOTTOM OF THE EXCAVATION. EXCAVATE BY HAND TO THE FINAL GRADE JUST BEFORE THE FINAL CONCRETE IS PLACED. TRIM BOTTOMS TO THE REQUIRED LINES AND GRADES TO LEAVE A SOLID BASE TO RECEIVE CONCRETE.

CAST-IN-PLACE-CONCRETE:
 ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE IN 28 DAYS SHALL BE 3000 PSI FOR FOOTINGS AND 4000 PSI FOR ALL OTHER WATER TO CEMENT RATIO SHALL NOT BE ALTERED ONCE CONCRETE HAS LEFT BATCH PLANT. ALL CONCRETE PLACEMENT, HANDLING, AND MIXING TO BE CARRIED OUT IN STRICT ACCORDANCE WITH THE CURRENT AMERICAN CONCRETE INSTITUTE PRINTED CODES, STANDARDS AND SPECIFICATION.
 ALL REINFORCEMENT, STEEL FABRICATION, HANDLING AND PLACEMENT SHALL BE PERFORMED IN STRICT ACCORDANCE WITH CURRENT CRSI, PRINTED STANDARDS AND REGULATIONS, AND AS INDICATED ON DRAWINGS.
 PROVIDE EXPANSION JOINTS AND/OR SAW CUTS AS INDICATED ON THE DRAWINGS.
 WELDED STEEL WIRE FABRIC FOR CONCRETE SLAB REINFORCING SHALL CONFORM WITH ASTM SPECIFICATIONS A-185-58. ALL WORK SHALL COMPLY WITH OBC ARTICLE 15.

SYMBOL LEGEND
 (S) SMOKE DETECTOR
 (C) SMOKE / CO DETECTOR



FOUNDATION PLAN
 1/4"=1'-0"



Joe Erandes #10074 Expires 12-31-21

I CERTIFY THAT WITH THE EXCEPTION OF MINOR ARCHITECTURAL MODIFICATIONS MADE DURING CONSTRUCTION, THE DRAWINGS REPRESENT THE STRUCTURES AS BUILT.

Giuseppe Erandes, R. Architect #10074

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 Email: gearch1@yahoo.com

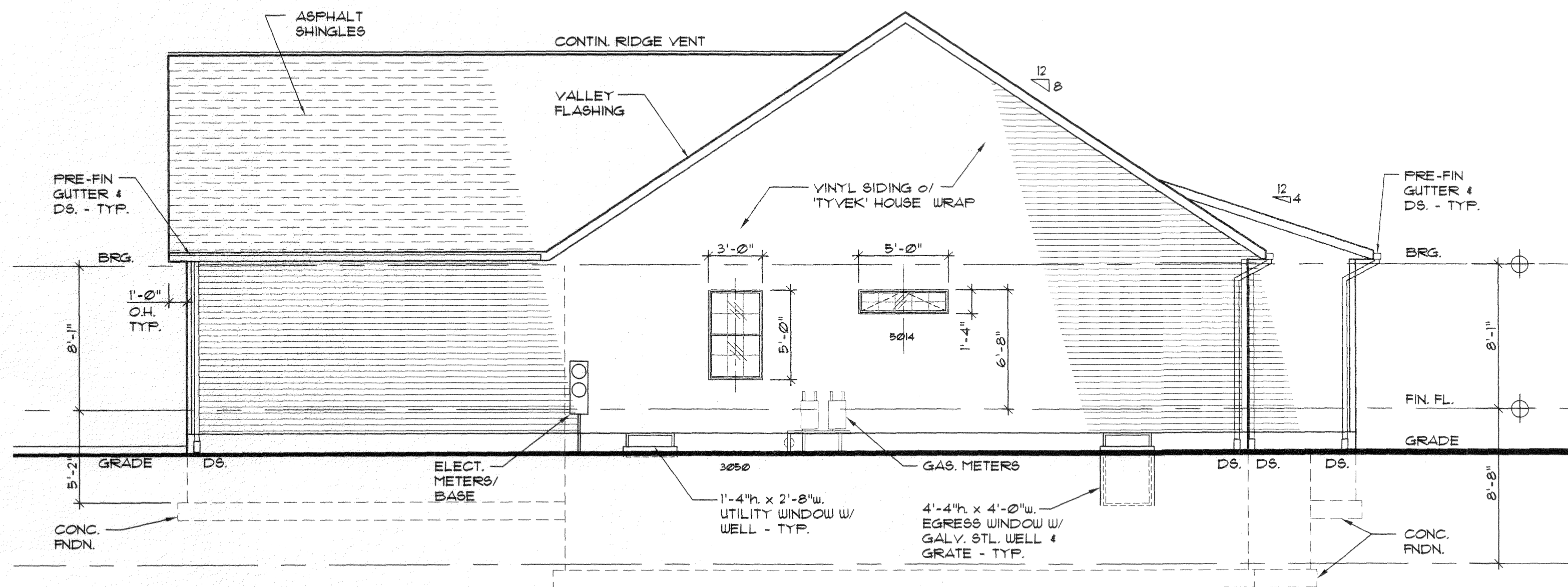
dates / revisions
December 29, 2020

sheet description
Foundation Plan

project name
New Residence
Sub Lot 41
 838 / 842 Breezewood lane
 Vermilion, Ohio 44089

project number
 2012
 sheet

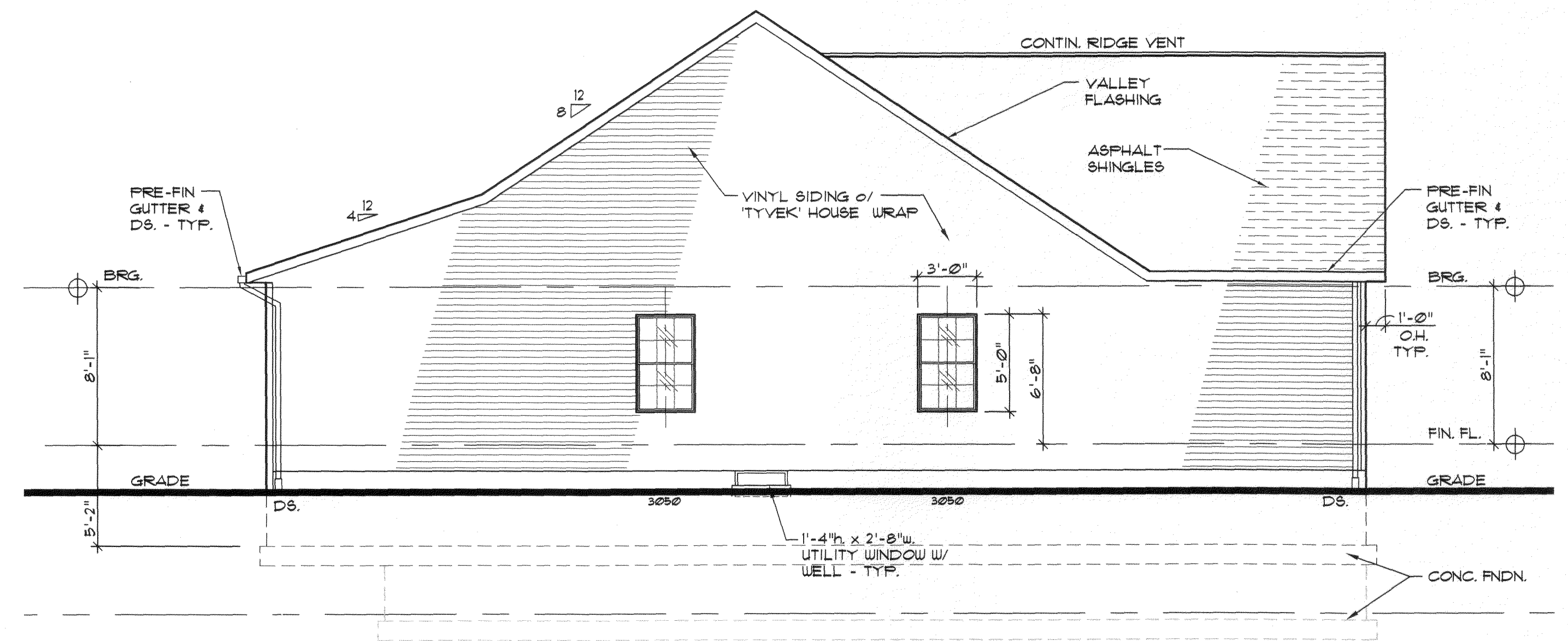
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NORTH ELEVATION

3/16"=1'-0"

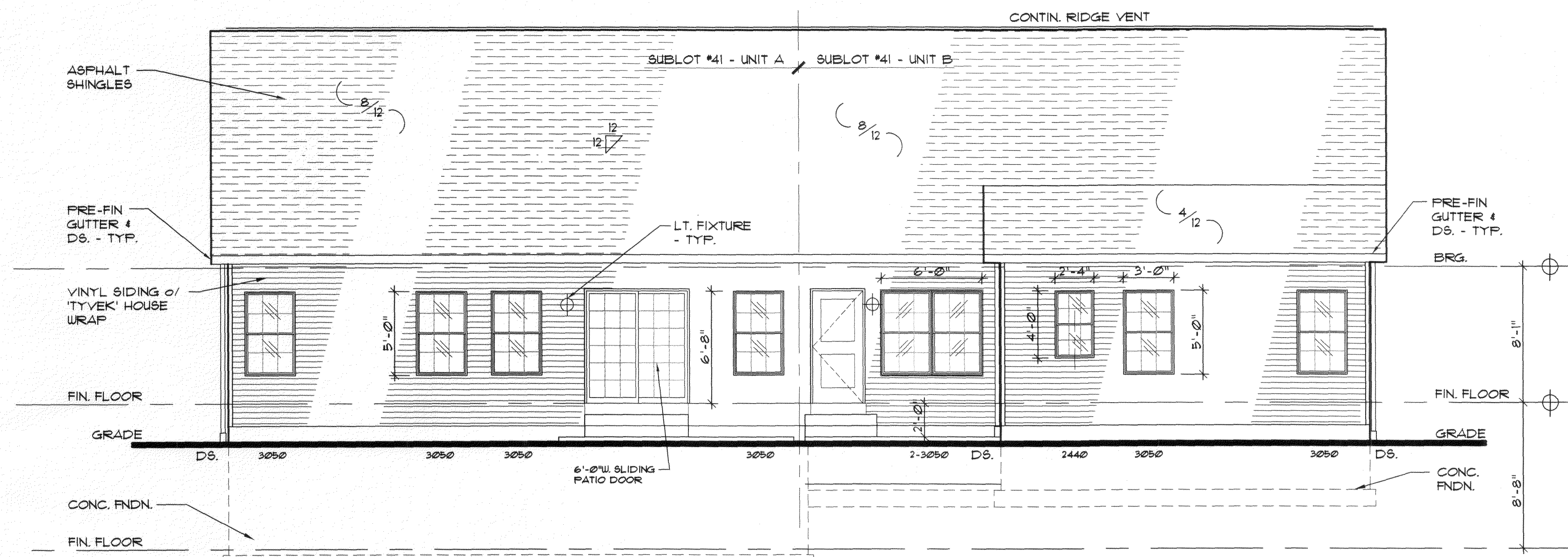
3/3



SOUTH ELEVATION

3/16"=1'-0"

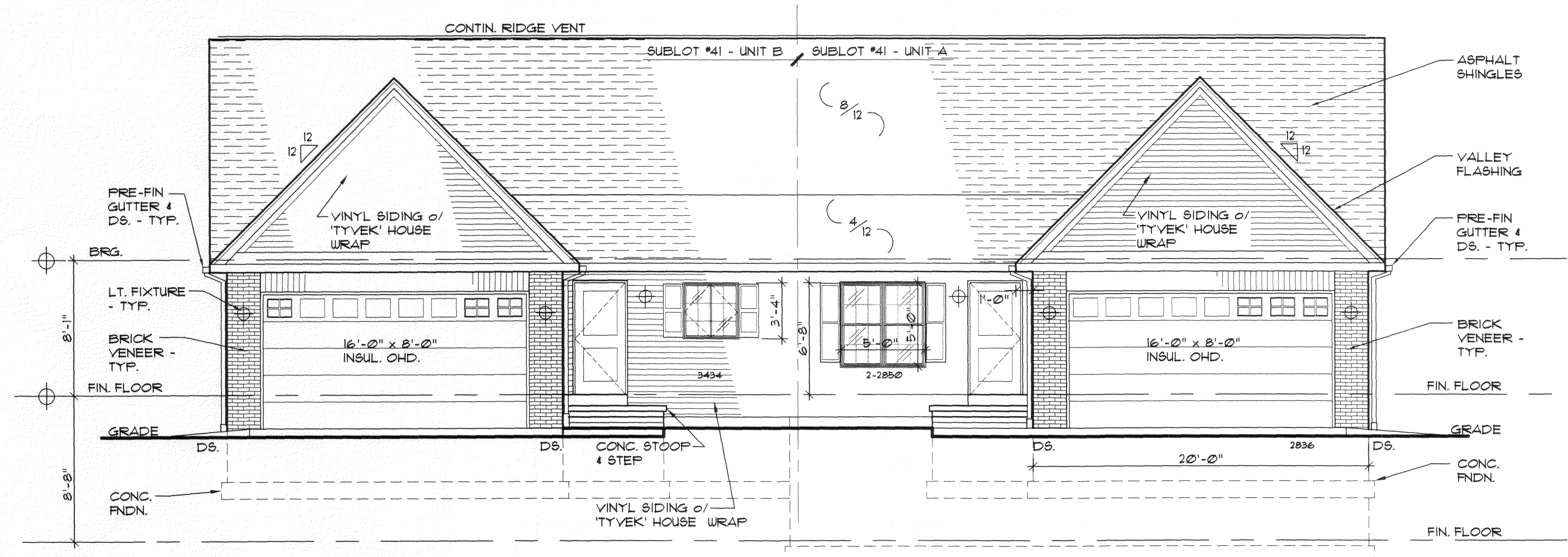
4/3



WEST ELEVATION

3/16"=1'-0"

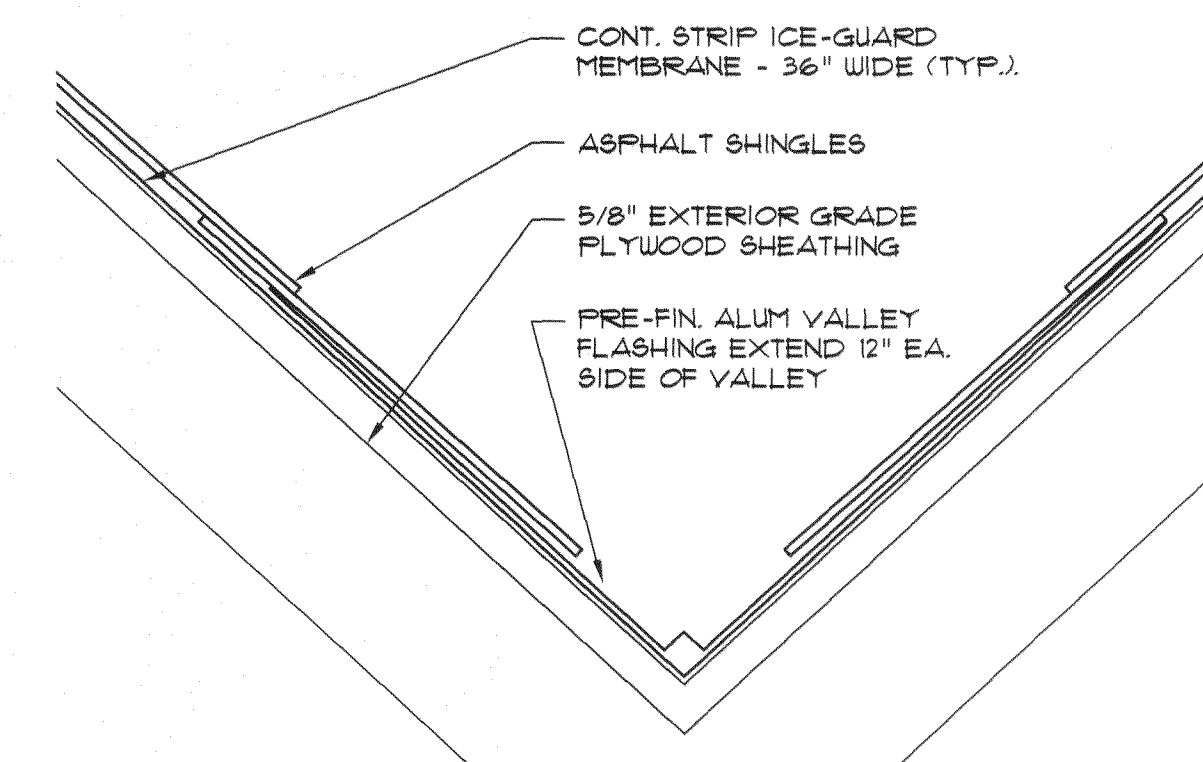
2/3



EAST ELEVATION

3/16"=1'-0"

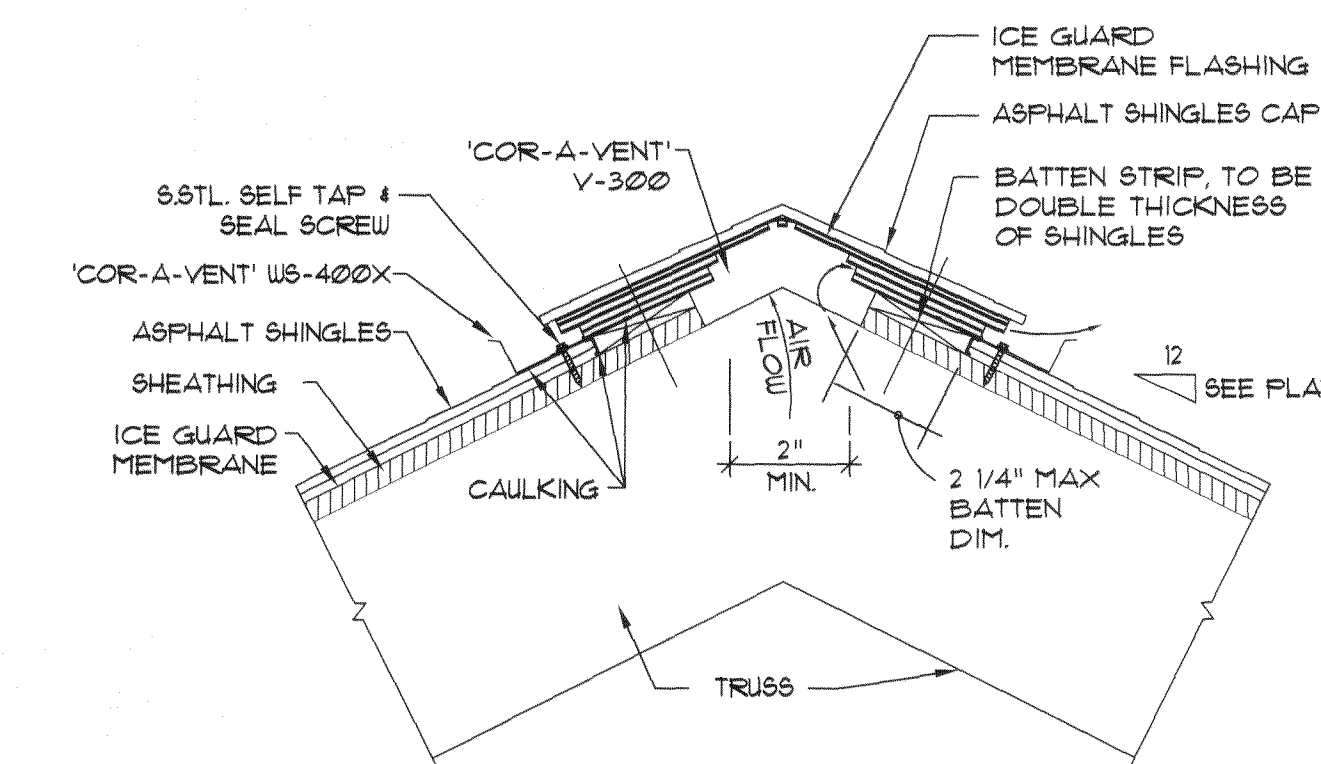
1/3



DETAIL

3"=1'-0"

6/32



DETAIL

3"=1'-0"

5/32

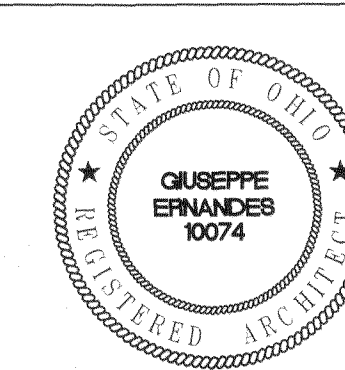
LOADING CONDITIONS:

Floor loads:	Live load	40	Stairs:	100 PSF LL
	Dead load	20		
	Total loads	60		
Roof loads:	Live load	25		
	Dead load	20		
	Total loads	45		

WOOD FRAMING NOTES:

- All structural wood framing (excluding trusses and stud walls) shall be Douglas Fir with the minimum bending stress (Fb)=1200 PSI and a modulus of elasticity (E)=1.4 x 10⁶, unless otherwise noted.
- General contractor shall provide diagonal wind bracing at all exterior walls as required by all governing codes. Wind bracing shall conform to O.B.C. 1104.3
- General contractor shall provide and install galvanized metal joist hangers for support at all joists and beams/headers that butt to ledgers, headers or beams. Those joists bearing a minimum of 1 1/2" on walls or beams do not require hangers.

NOTE: All headers and beams shall rest on minimum 6" solid bearing at end. All wood construction shall comply with the provisions of Article 11 of the O.B.C.



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December 29, 2020

sheet description

**Exterior Elevations
Details**

project name

**New Residence
Sub Lot 41**

838 / 842 Breezewood lane
Vermilion, Ohio 44089

project number

2012

sheet

A3.0

Plat Sheet

Instrument # 2021-0804347 Film # _____

Name of Plat: Breeze Wood Lane Condominiums Phase 4

Owner: Cassell Realty Co.

Description: Situated in the city of Vermilion, county of Lorain, and state of Ohio, being part of original Brownhelm Township lot 15, and all of subplot 41 of Highland Heights Subdivision No. 4.

Creating units 7 and 8.

Floor Plans: See Image

Related/Margin: Plat Vol. 92 / pg. 52

Comments: _____

Vol. 109

Receiving Stamp

Pg. 56, 57, 58, 59

REINHARDT & ASSOCIATES
4365 E. LAKE ROAD
SHEFFIELD LAKE, OH 44054

Amount: 349.60

Initials: HR