

GREAT LAKES STORAGE CONDOMINIUM II

SITUATED IN THE CITY OF SHEFFIELD LAKE, COUNTY OF LORAIN, STATE OF OHIO, AND KNOWN AS BEING PART OF ORIGINAL SHEFFIELD TOWNSHIP LOT NUMBER 34. KNOWN AS BEING A RE-SUBDIVISION OF SUBLOTS 7, 8, 9, 10, 11, 12, 13, & 14 IN BLOCK F IN THE SUNSET COUNTRY CLUB ALLOTMENT AS RECORDED IN VOLUME 11, PAGE 6 OF THE LORAIN COUNTY PLAT RECORDS.

OVERALL ACREAGE BREAKDOWN

TOTAL UNIT AREA:	14940.00 SQ. FT.	0.3430 OF AN ACRE
TOTAL LIMITED COMMON AREA:	5930.47 SQ. FT.	0.1361 OF AN ACRE
TOTAL COMMON AREA (INCLUDING UTILITY ROOM):	11449.53 SQ. FT.	0.2629 OF AN ACRE
OVERALL GREAT LAKES STORAGE CONDOMINIUM:	32320.00 SQ. FT.	0.7420 OF AN ACRE

UNIT #	LIMITED AREA	LIMITED COMMON AREA
UNIT 1	2000.00 SQ. FT. 0.0458 OF AN ACRE	661.54 SQ. FT. 0.0152 OF AN ACRE
UNIT 2	2000.00 SQ. FT. 0.0458 OF AN ACRE	663.46 SQ. FT. 0.0152 OF AN ACRE
UNIT 3	1000.00 SQ. FT. 0.0230 OF AN ACRE	430.58 SQ. FT. 0.0099 OF AN ACRE
UNIT 4	1000.00 SQ. FT. 0.0230 OF AN ACRE	419.30 SQ. FT. 0.0096 OF AN ACRE
UNIT 5	1000.00 SQ. FT. 0.0230 OF AN ACRE	420.14 SQ. FT. 0.0096 OF AN ACRE
UNIT 6	1000.00 SQ. FT. 0.0230 OF AN ACRE	420.70 SQ. FT. 0.0096 OF AN ACRE
UNIT 7	1000.00 SQ. FT. 0.0230 OF AN ACRE	421.54 SQ. FT. 0.0097 OF AN ACRE
UNIT 8	1000.00 SQ. FT. 0.0230 OF AN ACRE	422.09 SQ. FT. 0.0097 OF AN ACRE
UNIT 9	1000.00 SQ. FT. 0.0230 OF AN ACRE	422.93 SQ. FT. 0.0097 OF AN ACRE
UNIT 10	1000.00 SQ. FT. 0.0230 OF AN ACRE	423.49 SQ. FT. 0.0097 OF AN ACRE
UNIT 11	1000.00 SQ. FT. 0.0230 OF AN ACRE	424.33 SQ. FT. 0.0098 OF AN ACRE
UNIT 12	1000.00 SQ. FT. 0.0230 OF AN ACRE	424.89 SQ. FT. 0.0098 OF AN ACRE
UNIT 13	940.00 SQ. FT. 0.0214 OF AN ACRE	375.48 SQ. FT. 0.0086 OF AN ACRE
TOTAL	14940.00 SQ. FT. 0.3430 OF AN ACRE	5930.47 SQ. FT. 0.1361 OF AN ACRE

CERTIFICATION

THIS IS TO CERTIFY THAT THE ATTACHED DRAWINGS CORRECTLY REPRESENT THE BUILDING AS OBSERVED BY RAFTER A, LTD ON MAY 6th 2019.

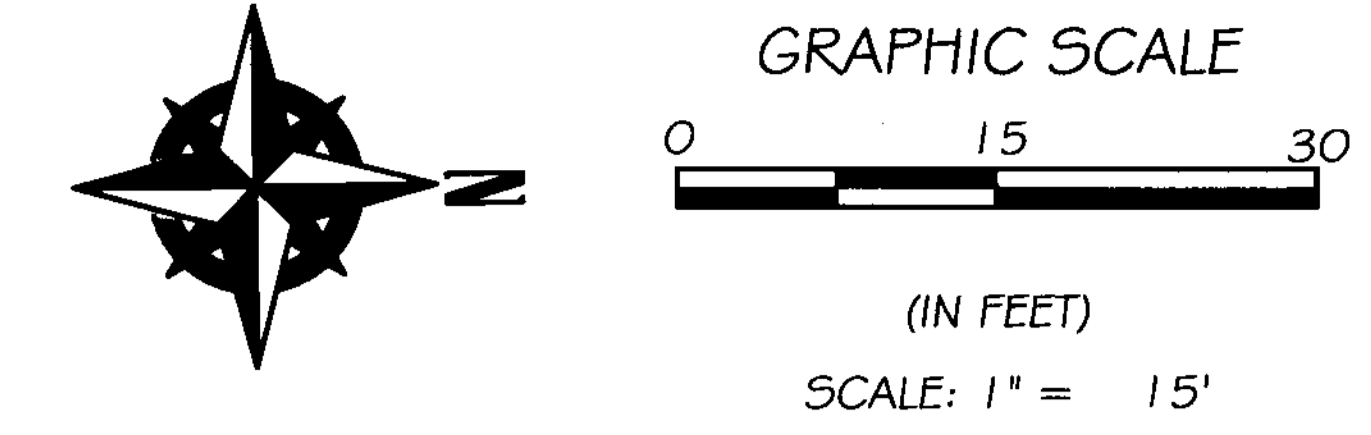
Brent D. Anderson
BRENT D. ANDERSON, P.S.
7/3/2019 DATE

SHEET LIST

CONDOMINIUM SURVEY VIEW.....	1
ARCHITECTURAL FLOOR PLAN.....	2
ARCHITECTURAL ELEVATION VIEWS, DETAILS & SECTIONS.....	3
ARCHITECTURAL ELEVATION VIEWS, DETAILS & SECTIONS.....	4
ARCHITECTURAL DETAILS.....	5

LEGEND:

- IRON PIN/PIPE FOUND AS NOTED
- REBAR SET WITH CAP STAMPED "Rafter A Ltd" (LINE PINS = GREEN, CORNER PINS = YELLOW)
- L.C.A. LIMITED COMMON AREA



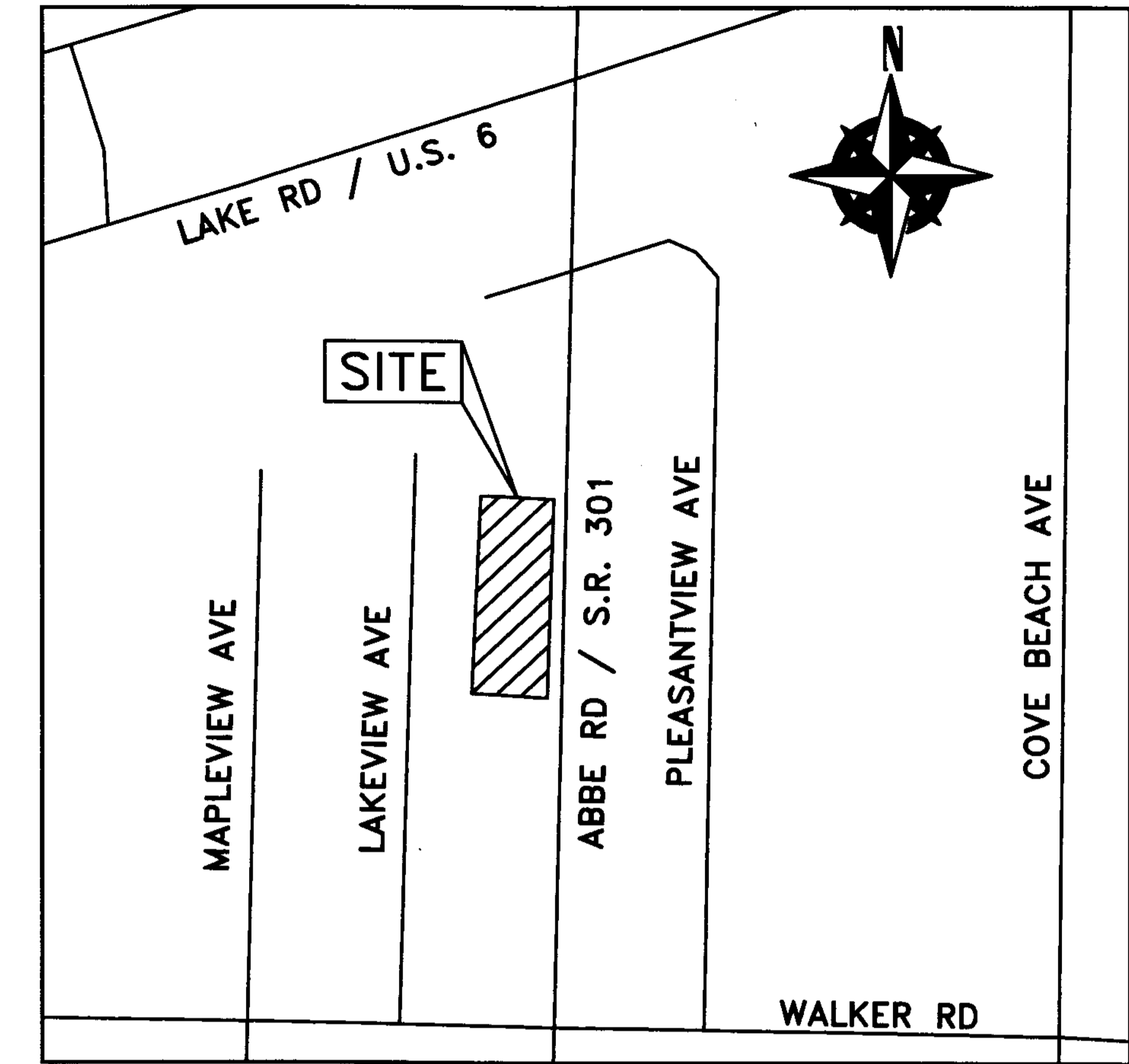
BASIS OF BEARINGS

BASIS OF BEARING IS ASSUMED AND IS USED TO DESCRIBE ANGLES ONLY. A PORTION OF THE CENTERLINE OF ABBE ROAD IS ASSUMED TO BE NORTH 0°41'06" EAST AS SHOWN HEREON.

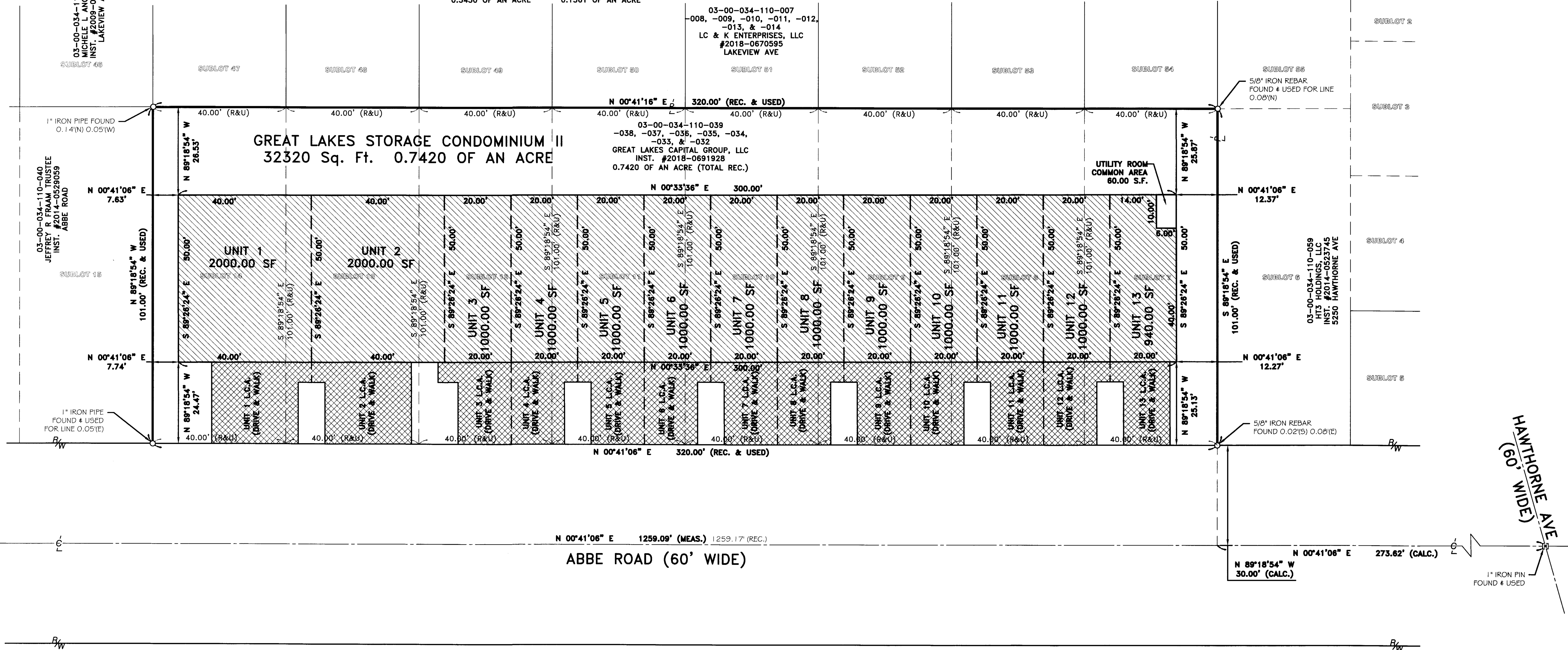
THIS SURVEY IS BASED UPON A FIELD SURVEY PERFORMED BY RAFTER A., LTD IN NOVEMBER 2018 AND MARCH & MAY OF 2019.

REFERENCES USED

- SUBJECT & ADJACENT PARCEL RECORDINGS AS LISTED HEREON
- LORAIN COUNTY TAX MAPS
- SURVEY PREPARED BY DOUGLAS H. MOSLEY, P.S. OF BRAMHALL ENGINEERING & SURVEYING COMPANY, INC. FOR DENNIS C. & KIM C. BRING IN JUNE OF 1996.
- SURVEY PREPARED BY DANIEL M. POWERS, P.S. ON DECEMBER 12TH, 2015
- SUNSET COUNTRY CLUB ALLOTMENT AS RECORDED IN VOLUME 11, PAGE 6 OF THE LORAIN COUNTY PLAT RECORDS.



VICINITY MAP
-NOT TO SCALE-



REV.	BY	DATE	DESCRIPTION
1	BDA	06-03-2019	ISSUE TO CLIENT
2	BDA	07-03-2019	REVISED PER TAX MAP COMMENTS

Doc ID: 021890940006 Type: OFF
Kind: PLAT
Recorded: 07/22/2019 at 09:09:10 AM
Fee Amt: \$438.00 Page 1 of 6
Lorain County, Ohio
Judith H. Madlock County Recorder
File # 2019-0722848

GREAT LAKES STORAGE CONDOMINIUM II
4357 EAST LAKE ROAD
SHEFFIELD LAKE, OH 44054
Plat Vol 106
Pg. 82, 83, 84, 85, 86.

TRANSFERRED
IN COMPLIANCE WITH SEC. 319.202
OHIO REV. CODE 319.202
JUL 22 2019
J. CRAIG SHODGRASS, CPA, CGFM
LORAIN COUNTY AUDITOR

TRANSFERRED
IN COMPLIANCE WITH SEC. 319.202
OHIO REV. CODE 319.202
JUL 16 2019
J. CRAIG SHODGRASS, CPA, CGFM
LORAIN COUNTY AUDITOR

GREAT LAKES STORAGE CONDOMINIUM II
CONDOMINIUM SURVEY VIEW
SITUATED IN THE CITY OF SHEFFIELD LAKE, COUNTY OF LORAIN,
STATE OF OHIO AND KNOWN AS BEING PART OF ORIGINAL
SHEFFIELD TOWNSHIP LOT NUMBER 34
GREAT LAKES STORAGE CONDOS LLC
4357 EAST LAKE ROAD
SHEFFIELD LAKE, OHIO 44054

RAFTER A, LTD
LAND SURVEYING & ENGINEERING
Office: 440-458-6294 700 Oberlin-Elyria Road
Fax: 440-458-4483 Elyria, Ohio 44035
www.RafterA.com
DRAWN BY: BDA CHECKED BY: RAF
JOB No: 2185-18 SHEET 1 of 5

DESIGN LOADS	
TRUSS DESIGN LOADS (FOR 4'-0" SPACINGS)	
TOP CHORD	LL 25 P.S.F.
DL	10 P.S.F.
BOTTOM CHORD DL	5 P.S.F.
TOTAL LOAD	40 P.S.F.
FIRST FLOOR LIVE LOAD	125 PSF (PER OBC TABLE 1607.1)
ROOF LIVE LOAD (SNOW LOAD)	25 P.S.F. + DRIFTING
GROUND SNOW LOAD	PS = 20 PSF (NOT USED)
FLAT ROOF SNOW LOAD	PF = 18 PSF (NOT USED)
MINIMUM RAIN ON SNOW SURCHARGE	23 PSF (NOT USED)
SNOW EXPOSURE FACTOR C _e	= 1.0
SNOW IMPORTANCE I	= 1.0
THERMAL FACTOR C _t	= 1.0
BASIC WIND SPEED	90 MPH
WIND EXPOSURE CLASSIFICATION	EXPOSURE 'B'
WIND IMPORTANCE FACTOR	1.0
CLADDING WIND PRESSURES	13.9 PSF (INHARD)
	18.2 PSF (SUCTION)
SEISMIC USE GROUP	GROUP 1
SITE CLASS	D
BASIC SEISMIC FORCE RESISTING SYSTEM	BRACED FRAME
DESIGN CATEGORY	B
ANALYSIS PER	OBC 1613.5
DESIGN SOIL PRESSURE	2,000 P.S.F. (ASSUMED)

DRAWING INDEX	
2 OF 5	CODE REVIEW, DRAWING INDEX, DESIGN LOADS, FLOOR PLAN, DOOR & FINISH SCHEDULE, FOUNDATION LEGEND
3 OF 5	NORTH, SOUTH & EAST ELEVATIONS, 1 HR & 2 HR RATED WALL DETAILS
4 OF 5	WEST ELEVATION, MEZZANINE DETAILS
5 OF 5	WALL SECTION, ELECTRICAL PLAN, PLUMBING ISOMETRIC, PANEL SCHEDULE, WATER HEATER PIPING DIAGRAM, RISER DIAGRAM

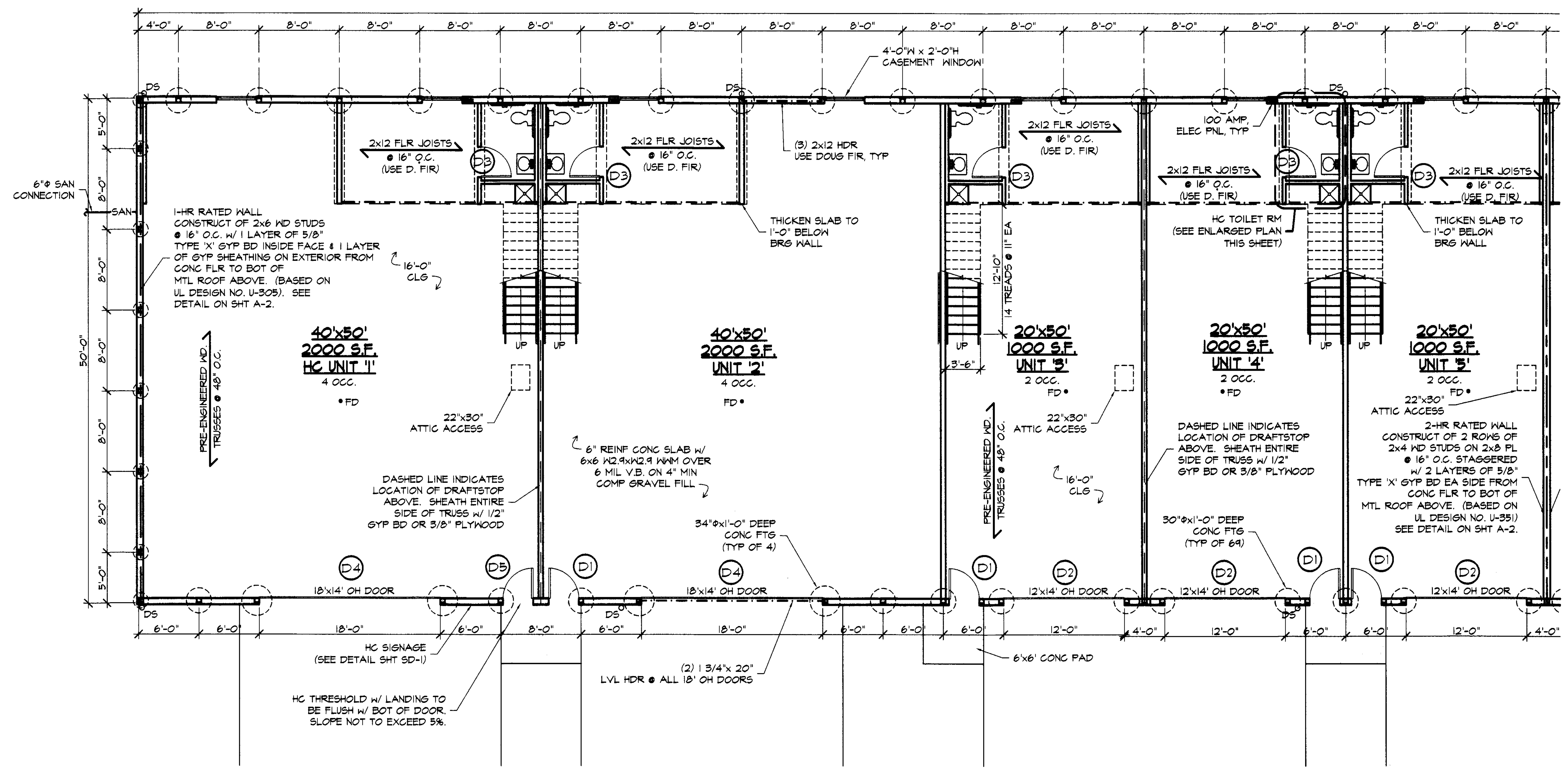
CODE REVIEW	
USE GROUP :	S-1
CONSTRUCTION TYPE :	VB
BUILDING AREA :	15,000 S.F.
OCCUPANCY :	30 OCC.

REVISIONS	BY

DOOR SCHEDULE							
NO.	MATL.	W.	H.	TH.	FRAME	HDK.	REMARKS
D1	STL	3'-0"	6'-8"	1 3/4"	HM	LOCKSET CLOSER	INSUL 6 PANEL STL DOOR TO BE READILY OPENABLE FROM EGRESS SIDE W/O KEY OR SPECIAL KNOWLEDGE.
D2	STL	12'-0"	14'-0"	1 5/8"	-	-	INSUL OH DOOR EQUIPPED W/ AUTOMATIC OPENER
D3	STL	3'-0"	6'-8"	1 3/4"	HM	PRIVACY	H.C. ACCESSIBLE LEVER HANDLES.
D4	STL	18'-0"	14'-0"	1 5/8"	-	-	INSUL OH DOOR EQUIPPED W/ AUTOMATIC OPENER
D5	STL	3'-0"	6'-8"	1 3/4"	HM	LOCKSET CLOSER	INSUL 6 PANEL STL DOOR TO BE READILY OPENABLE FROM EGRESS SIDE W/O KEY OR SPECIAL KNOWLEDGE. DOOR TO MEET 5 LB FORCE REG. EQUIP W/ H.C. LEVER HANDLES & H.C. THRESHOLD OF 1/2" MAX & H.C. SIGNAGE.

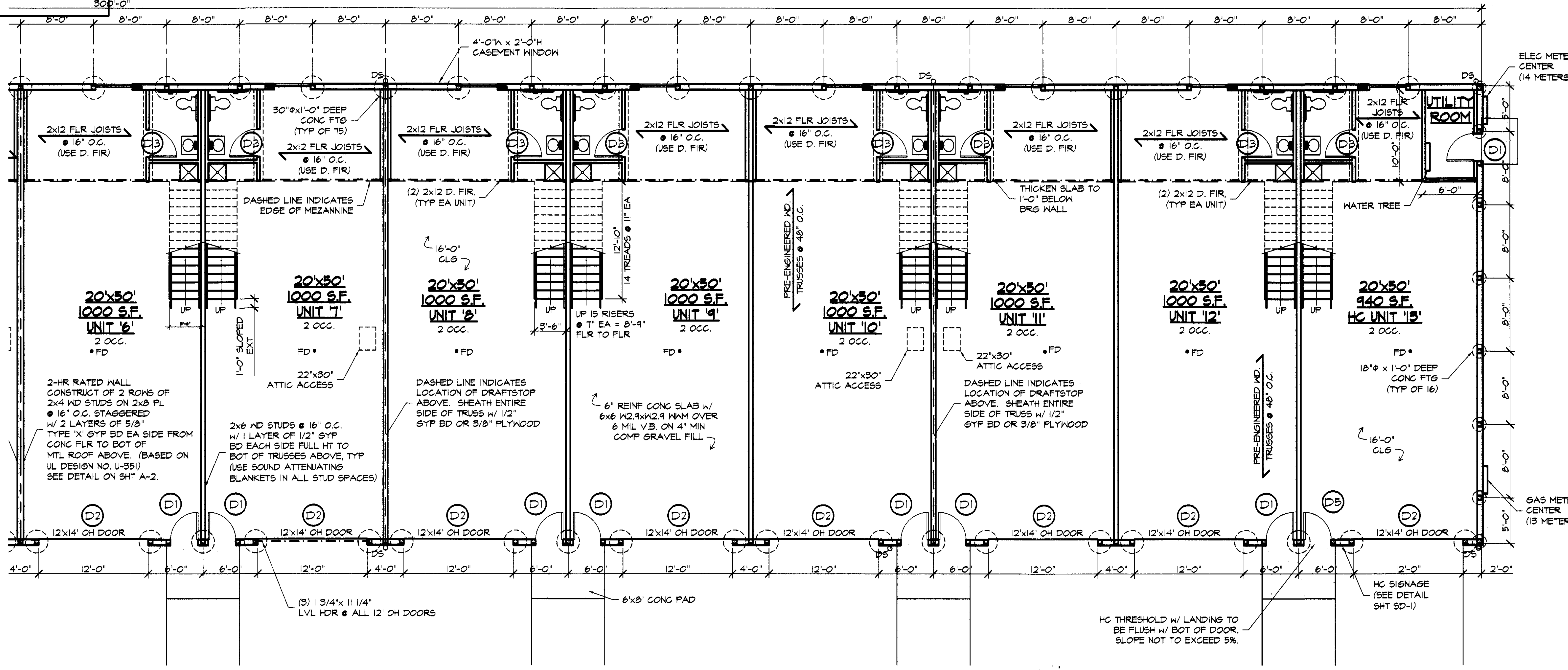
DOOR NOTES:
 1) ALL DOORS TO HAVE H.C. ACCESSIBLE LEVER HANDLES & H.C. APPROVED THRESHOLDS. (THRESHOLDS SHALL NOT EXCEED 1/2").
 2) ALL MEANS OF EGRESS DOORS TO BE READILY OPENABLE FROM EGRESS SIDE W/O KEY OR SPECIAL KNOWLEDGE.
 3) THERE SHALL BE A LEVEL LANDING ON EACH SIDE OF DOOR EXCEPT FOR THE EXTERIOR LANDING WHICH IS PERMITTED TO SLOPE A MAX OF 2%.

FINISH SCHEDULE							
NO.	ROOM NAME	BASE	FLOOR	WALLS	CEILING	HGT.	REMARKS
	TYP UNIT	-	CONC	GYP BD PAINT	24 SA MTL	16'-0"	CONC FLOOR W/ SEALER
	H.C. UNISEX TOILET	6" VINYL	VCT	GYP BD PAINT	TEXTURED GYP BD	7'-9"	



FOUNDATION LEGEND	
	18" ϕ x 1'-0" DEEP CONC FTG (16 REQ'D)
	30" ϕ x 1'-0" DEEP CONC FTG (69 REQ'D)
	34" ϕ x 1'-0" DEEP CONC FTG (4 REQ'D)

FOUNDATION NOTES:
 CONCRETE IN FOUNDATIONS SHALL DEVELOP A COMPRESSIVE STRENGTH OF 5,000 PSI IN 28 DAYS. ALL OTHER CONCRETE SHALL BE 4,000 PSI IN 28 DAYS. EXTERIOR CONCRETE TO BE 4,000 PSI IN 28 DAYS WITH AIR ENTRAINMENT TO MEET ASTM C 260, SPECIFICALLY 6% AIR ENTRAINMENT \pm 3%.



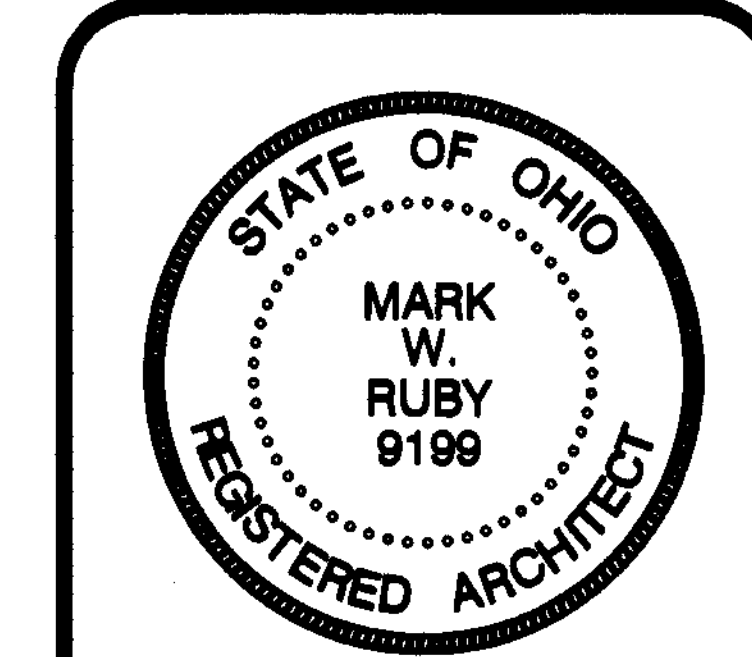
I CERTIFY THAT WITH THE EXCEPTION OF MINOR ARCHITECTURAL MODIFICATIONS MADE DURING CONSTRUCTION, THE DRAWINGS REPRESENT THE STRUCTURES AS BUILT.

Mark W. Ruby
 Mark W. Ruby, Architect #9199

FLOOR PLAN
 SCALE: 1/8" = 1'-0"

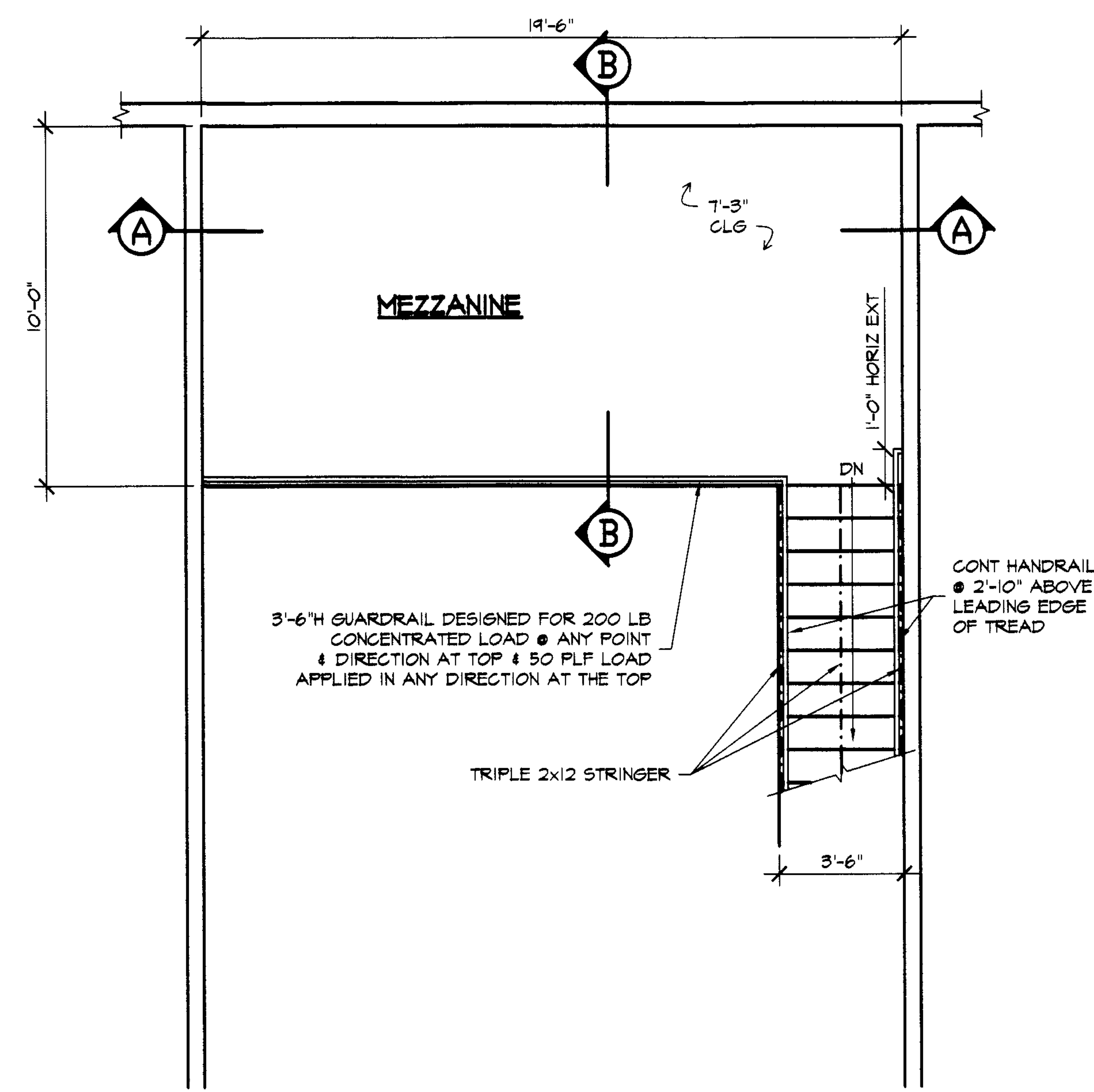
MARK W. RUBY
 ARCHITECT
 188 NORTH LEAVITT ROAD, SUITE 201
 AMHERST, OH 44001
 (440) 886-2081

NEW LOCATION FOR
 GREAT LAKES STORAGE CONDOMINIUM II
 300 ABBE RD.
 SHEFFIELD LAKE, OH

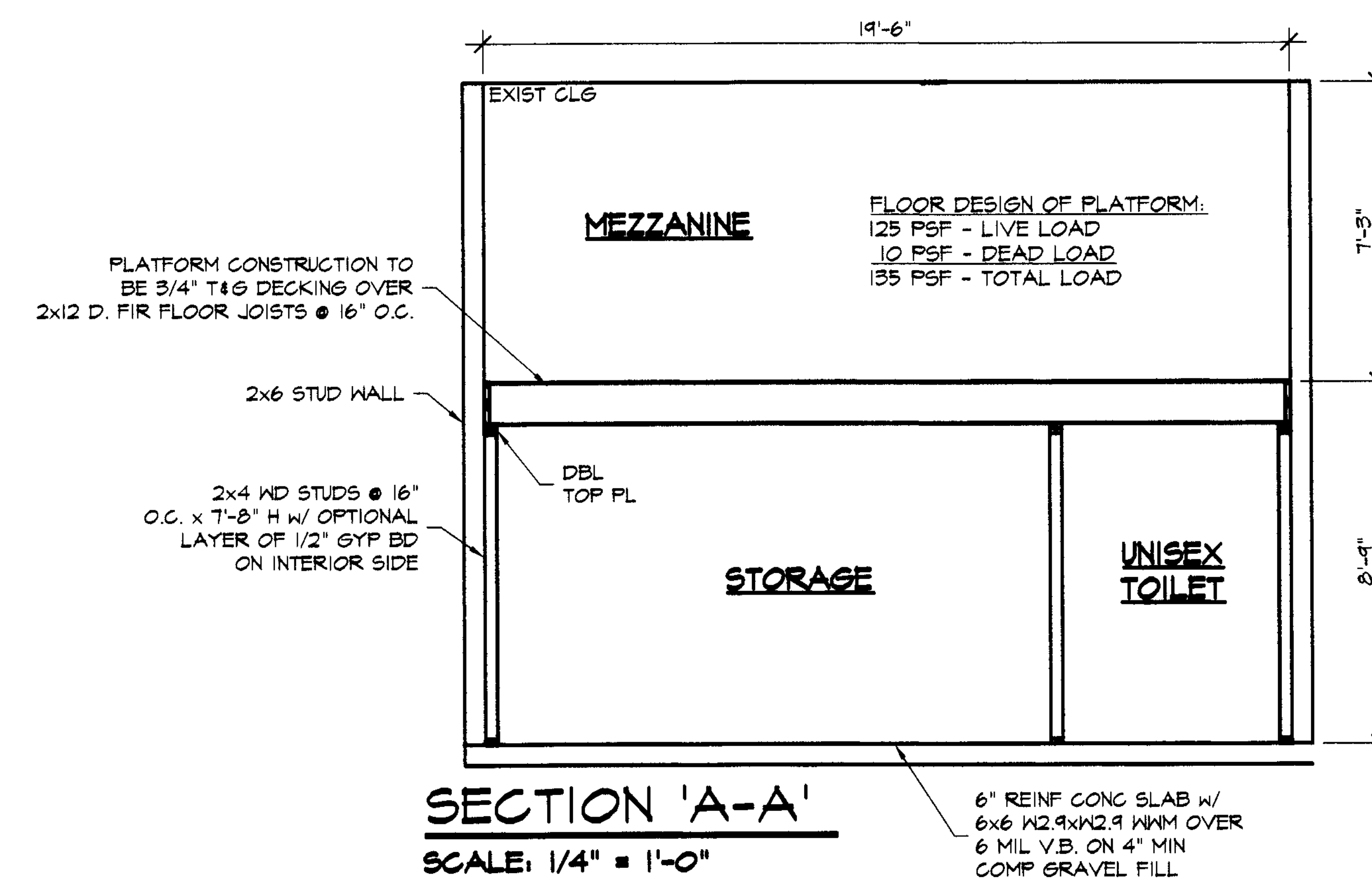


DATE 03/19
 PROJ. 1804
 SHEET

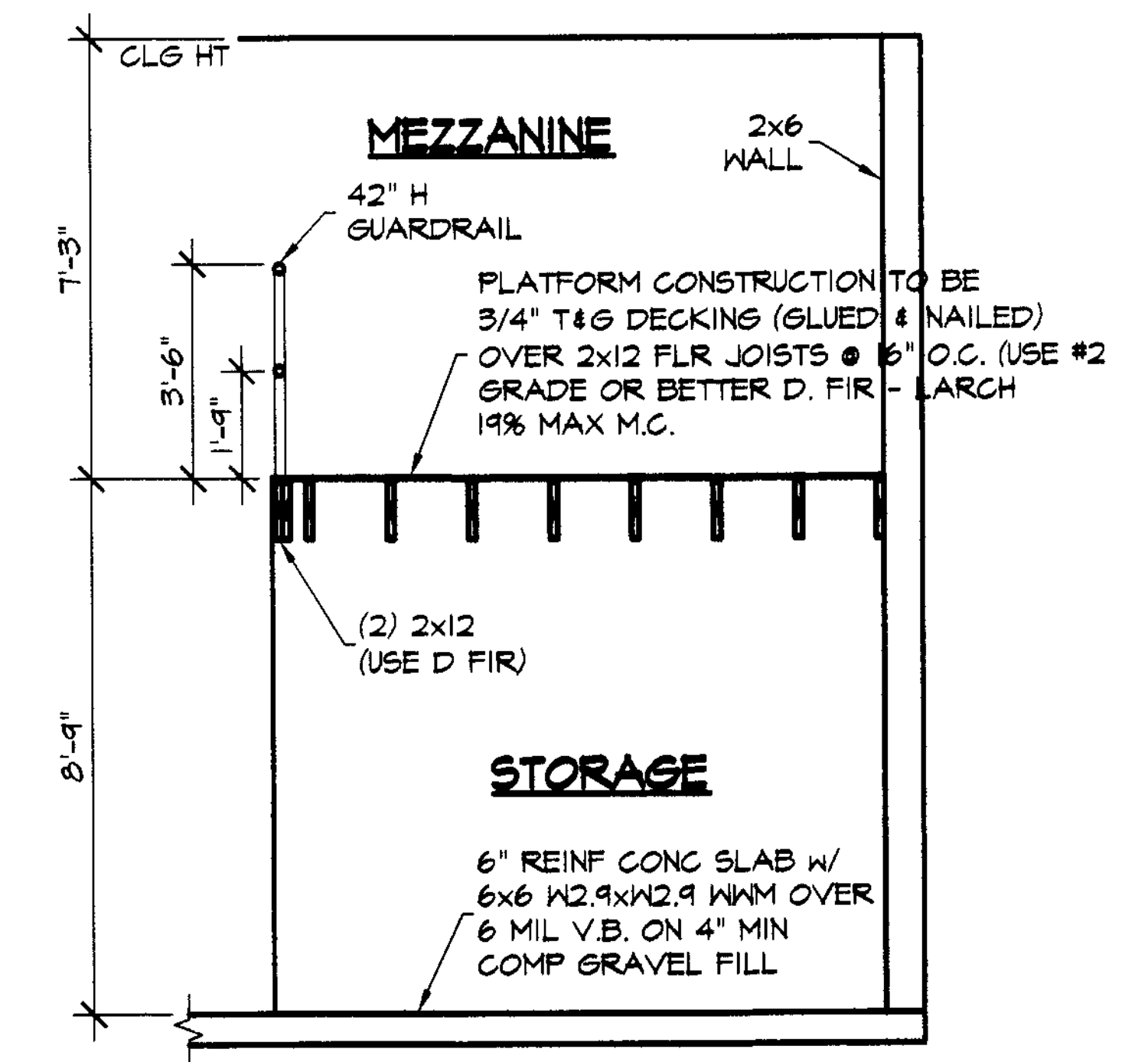
2 OF 5



MEZZANINE PLAN
SCALE: 1/4" = 1'-0"

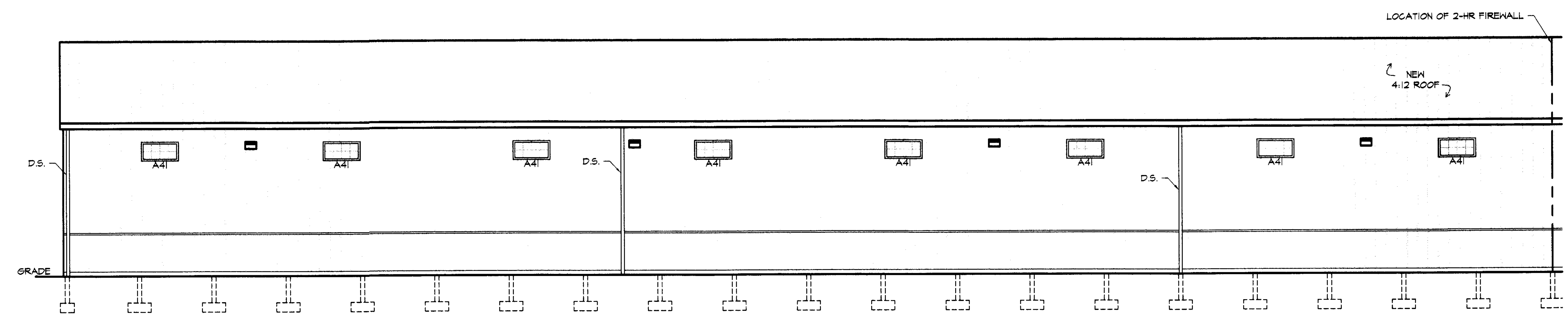
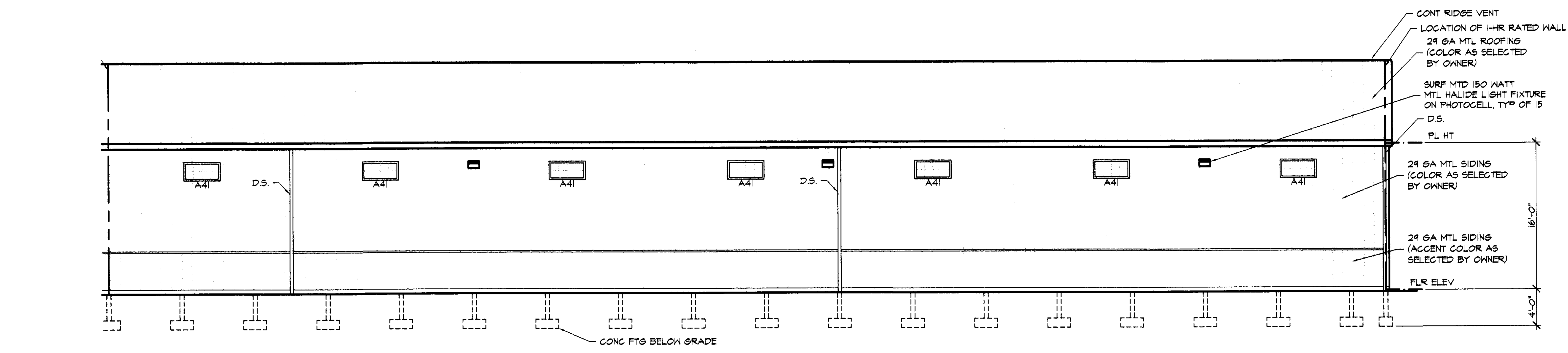


SECTION 'A-A'
SCALE: 1/4" = 1'-0"



SECTION 'B-B'
SCALE: 1/4" = 1'-0"

NOTE:
WINDOWS AS DESIGNATED BY "ANDERSEN"
AN ALTERNATIVE MANUF MAY BE USED AS
APPROVED BY OWNER



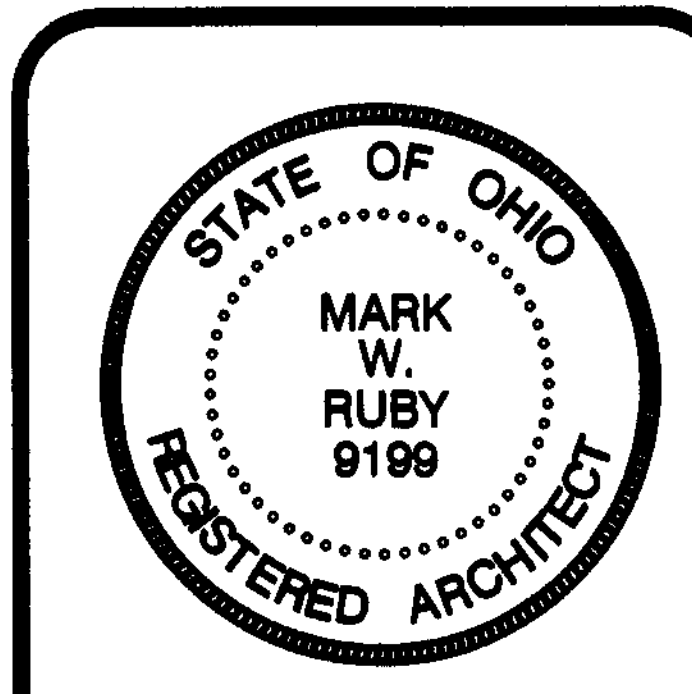
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MODIFICATIONS MADE DURING CONSTRUCTION, THE DRAWINGS
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Mark W. Ruby, Architect #9199

WEST ELEVATION
SCALE: 1/8" = 1'-0"

REVISIONS	BY

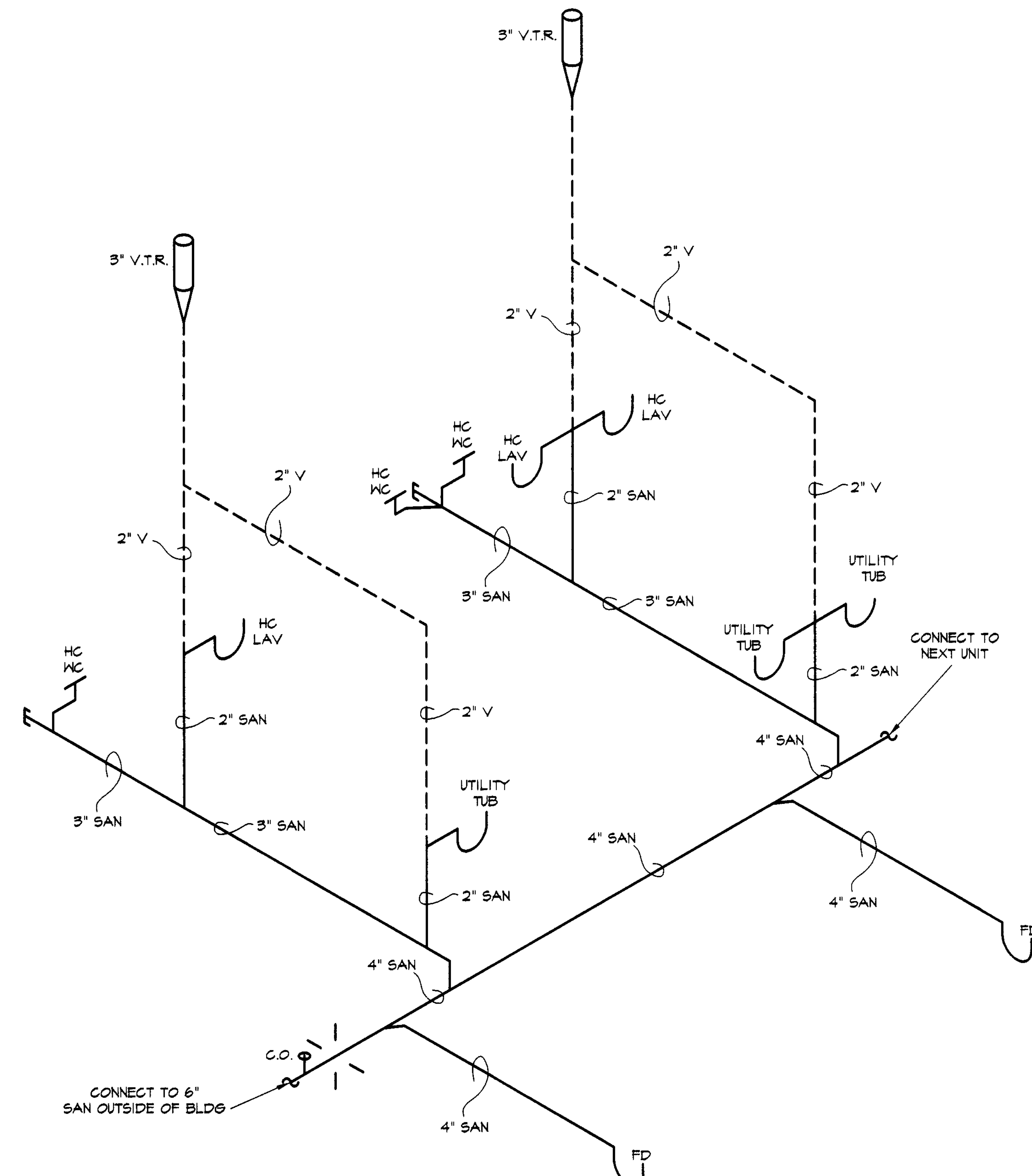
MARK W. RUBY
ARCHITECT
199 NORTH LEAVITT ROAD, SUITE 201
AMHERST, OH, 44001
(440) 865-2281

TITLE
NEW LOCATION FOR
GREAT LAKES STORAGE CONDOMINIUM II
300 ABBE RD.
SHEFFIELD LAKE, OH

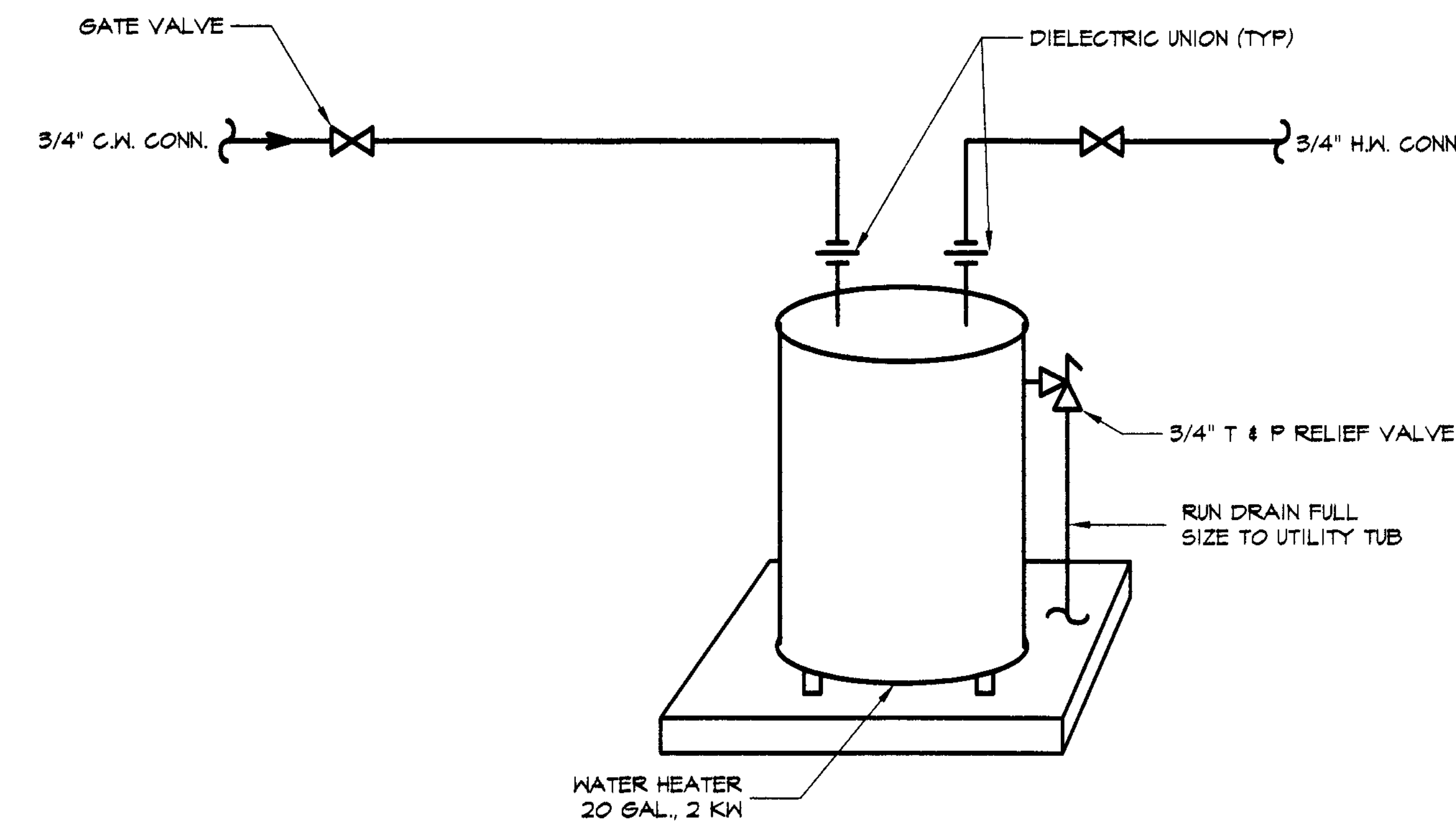


DATE 6/3/19
PROJ. 1804
SHEET

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TYP. UNIT PLUMBING ISOMETRIC
SCALE: N.T.S.

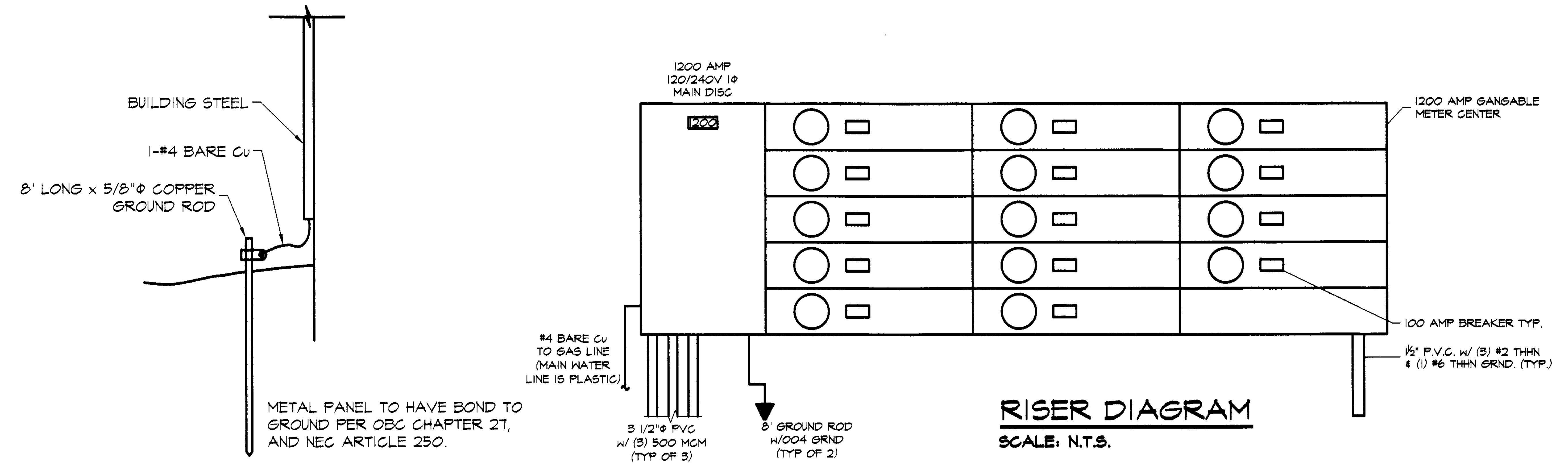


WATER HEATER PIPING DIAGRAM
NO SCALE

MHI WATER HEATER - ELECTRIC

A.O. SMITH MODEL DEL-20 STATE OR LOCHINVAR 20 GAL. STORAGE
2 KW UPPER/LOWER ELEMENT, 208V/119.9 GPH RECOVERY @ 90° F RISE.
COMPLETE WITH PRESSURE AND TEMPERATURE RELIEF VALVE, RUN DRAIN
FULL SIZE FROM RELIEF VALVE TO UTILITY TUB.
LOCATE WATER HEATER ON PLATFORM.

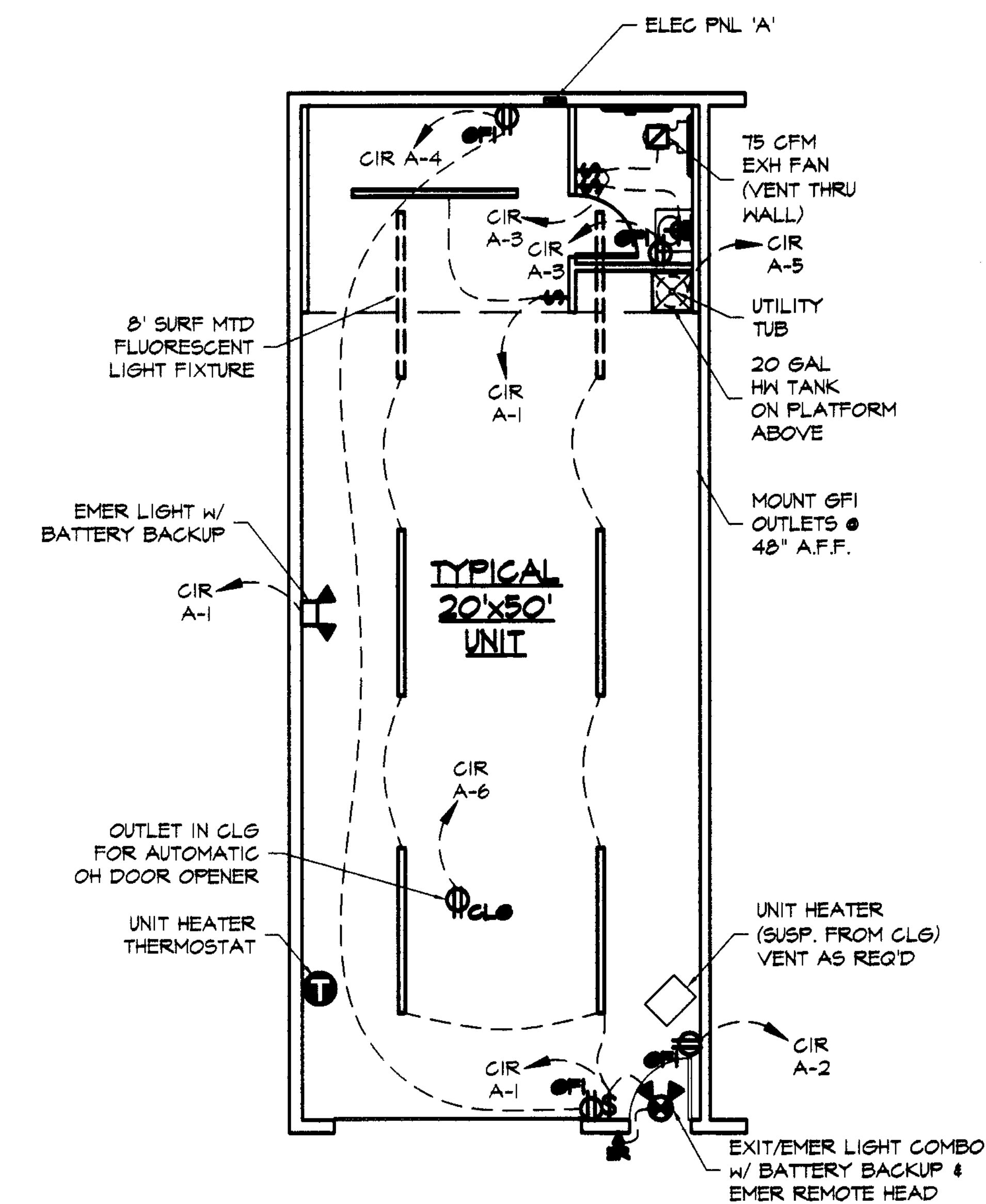
PANEL 'A' (TYP.)					
SERVICE: 100A M.B., 120/240V 1Ø 3Ø CIRC. M.L.O.					
LOCATION: WEST WALL					
BRANCH CIRCUIT	BREAKER	CKT. NO.	CKT. NO.	BREAKER	BRANCH CIRCUIT
LIGHTS	1P 20 AMP	1	2	1P 20 AMP	GAS UNIT HEATER
BATHROOM	1P 20 AMP	3	4	1P 20 AMP	OUTLETS
HOT WATER TANK	1P 20 AMP	5	6	1P 20 AMP	O.H. DOOR OPENER
SPARE		7	8		SPARE
SPARE		9	10		SPARE
SPARE		11	12		SPARE
SPARE		13	14		SPARE
SPARE		15	16		SPARE
SPARE		17	18		SPARE
SPARE		19	20		SPARE
SPARE		21	22		SPARE
SPARE		23	24		SPARE
SPARE		25	26		SPARE
SPARE		27	28		SPARE
SPARE		29	30		SPARE



RISER DIAGRAM
SCALE: N.T.S.

GROUNDING ROD DETAIL
SCALE: N.T.S.

ELECTRICAL SYMBOL LEGEND	
SYMBOL	DESCRIPTION
[Symbol]	LIGHTING FIXTURE - FLUORESCENT Ø SURFACE MOUNT
[Symbol]	WALL MOUNTED HALIDE FIXTURE
[Symbol]	BATTERY PACK EMER/ EXIT COMBO UNIT
[Symbol]	BATTERY PACK EMERGENCY LIGHTING FIXTURE
[Symbol]	20 AMP 120/240 VOLT SINGLE POLE TOGGLE SWITCH
[Symbol]	Ø 20 AMP 120 VOLT 2 POLE 3 WIRE GROUND FAULT CIRCUIT INTERRUPTING RECEPTACLE
[Symbol]	Ø 20 AMP 120 VOLT 2 POLE 3 WIRE GROUND FAULT CIRCUIT INTERRUPTING RECEPTACLE IN CLG
[Symbol]	JUNCTION BOX SIZED AS REQUIRED
[Symbol]	THERMOSTAT
[Symbol]	EXHAUST FAN, HORSEPOWER & VOLTAGE AS NOTED
[Symbol]	PANELBOARD - SEE SCHEDULES
[Symbol]	DISCONNECT SWITCH, AMFACILITY AS NOTED KP INDICATES NEMA SR UNLESS NOTED
[Symbol]	SURFACE MOUNTED INCANDESCENT FIXTURE
AFF	ABOVE FINISHED FLOOR
ER	EMERGENCY REMOTE HEAD



TYP. UNIT ELECTRICAL/MECHANICAL PLAN
SCALE: 1/8" = 1'-0"

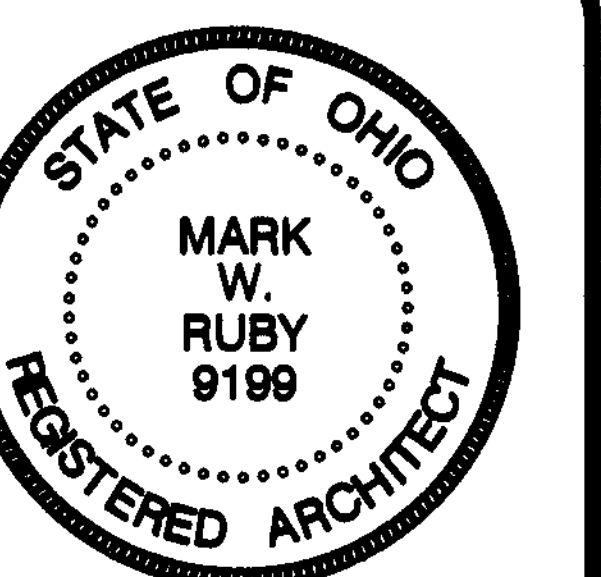
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REVISIONS BY

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300 ABBE RD.
SHEFFIELD LAKE, OH



DATE 6/3/19

PROJ. 1804

SHEET

5 OF 5

Plat Sheet

Instrument # 2019-0722848 Film # -

Name of Plat: Great Lakes Storage Condominium II

Owner: Great Lakes Capital Group LLC

Description: Situated in the City of Sheffield Lake, County of Lorain, State of Ohio. Being a part of original Sheffield Township lot 34. Easements also creating units 1 thru 13 inclusive -

Floor Plans: ✓

Related/Margin: Plat Vol II Pg. 6

Comments: (Declaration 2019-0722849)

Vol. 106

Pg. 82, 83, 84, 85, 86

Receiving Stamp

GREAT LAKES CAPITAL GROUP LLC
4357 EAST LAKE ROAD
SHEFFIELD LAKE, OH 44054

Amount: 436.00

Initials: SC